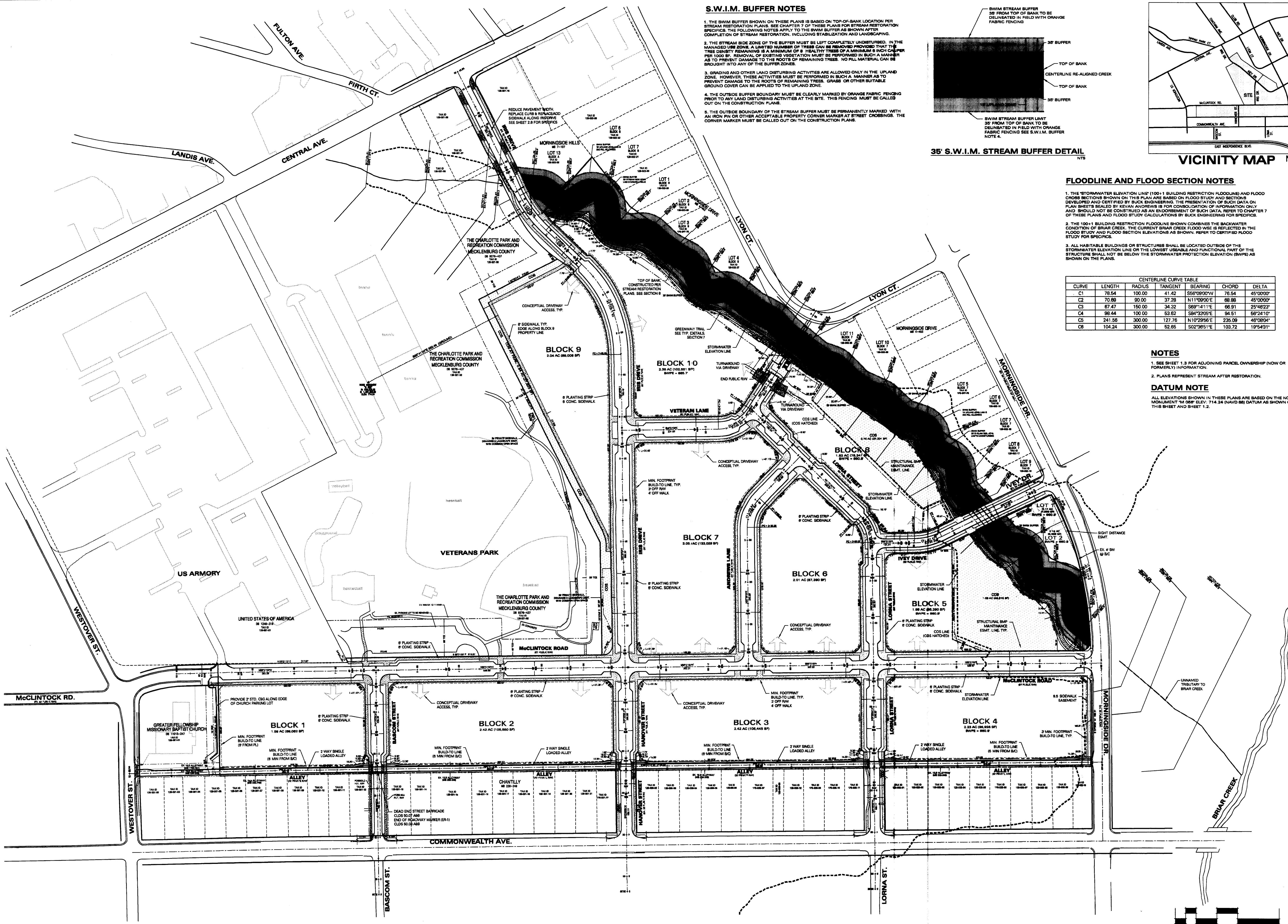
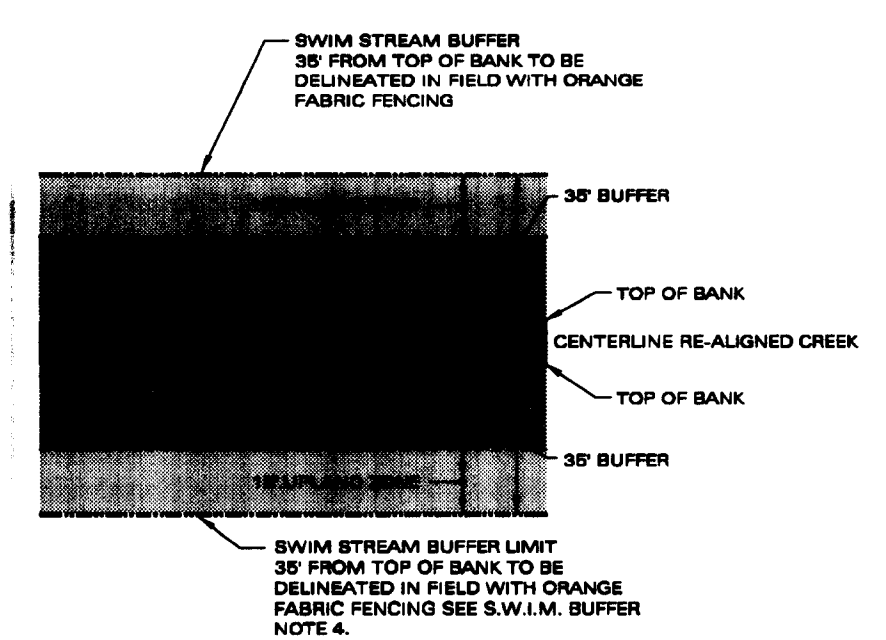


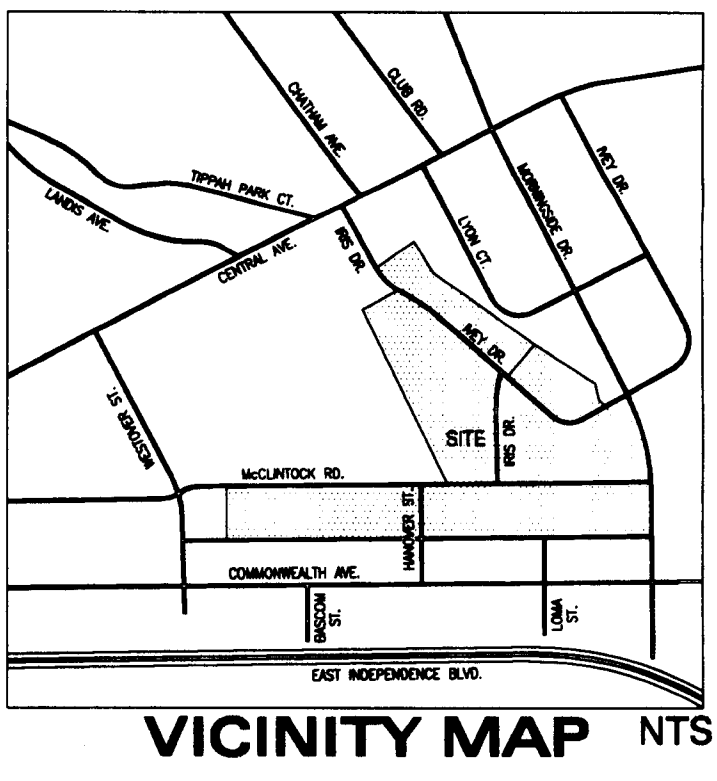


S.W.I.M. BUFFER NOTES

- 1. THE SWIM BUFFER SHOWN ON THESE PLANS IS BASED ON TOP-OF-BANK LOCATION PER STREAM RESTORATION PLANS. SEE CHAPTER 7 OF THESE PLANS FOR STREAM RESTORATION SPECIFICS. THE FOLLOWING NOTES APPLY TO THE SWIM BUFFER AS SHOWN AFTER COMPLETION OF STREAM RESTORATION, INCLUDING STABILIZATION AND LANDSCAPING.
- 2. THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 8 INCH CALIPER PER 1000 SF. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. NO FILL MATERIAL CAN BE BROUGHT INTO ANY OF THE BUFFER ZONES.
- 3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE. HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRADE OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
- 4. THE OUTSIDE BUFFER BOUNDARY MUST BE CLEARLY MARKED BY ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES AT THE SITE. THIS FENCING MUST BE CALLED OUT ON THE CONSTRUCTION PLANS.
- 5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS. THE CORNER MARKER MUST BE CALLED OUT ON THE CONSTRUCTION PLANS.



35' S.W.I.M. STREAM BUFFER DETAIL



FLOODLINE AND FLOOD SECTION NOTES

- 1. THE "STORMWATER ELEVATION LINE" (100+1 BUILDING RESTRICTION FLOODLINE) AND FLOOD CROSS SECTIONS SHOWN ON THIS PLAN ARE BASED ON FLOOD STUDY AND SECTIONS DEVELOPED AND CERTIFIED BY SUCK ENGINEERING. THE PRESENTATION OF SUCH DATA ON PLAN SHEETS SEALED BY KEVAN ANDREWS IS FOR CONSOLIDATION OF INFORMATION ONLY AND SHOULD NOT BE CONSTRUED AS AN ENDORSEMENT OF SUCH DATA. REFER TO CHAPTER 7 OF THESE PLANS AND FLOOD STUDY CALCULATIONS BY SUCK ENGINEERING FOR SPECIFICS.
- 2. THE 100+1 BUILDING RESTRICTION FLOODLINE SHOWN COMBINES THE BACKWATER CONDITION OF BRIAR CREEK. THE CURRENT BRIAR CREEK FLOOD WISE IS REFLECTED IN THE FLOOD STUDY AND FLOOD SECTION ELEVATIONS AS SHOWN. REFER TO CERTIFIED FLOOD STUDY FOR SPECIFICS.
- 3. ALL HABITABLE BUILDINGS OR STRUCTURES SHALL BE LOCATED OUTSIDE OF THE STORMWATER ELEVATION LINE OR THE LOWEST USABLE AND FUNCTIONAL PART OF THE STRUCTURE SHALL NOT BE BELOW THE STORMWATER PROTECTION ELEVATION (SWPE) AS SHOWN ON THE PLANS.

CENTERLINE CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
C1	78.54	100.00	41.42	S65°09'00"W	78.54	45°00'00"
C2	70.89	90.00	37.28	N11°09'00"E	88.88	45°00'00"
C3	67.47	150.00	34.32	S69°14'11"E	66.91	25°42'23"
C4	96.44	100.00	52.62	S84°33'05"E	94.51	66°24'10"
C5	241.55	300.00	127.76	N10°25'56"E	235.09	40°08'04"
C6	104.24	300.00	52.85	S02°36'51"E	103.72	19°54'31"

NOTES

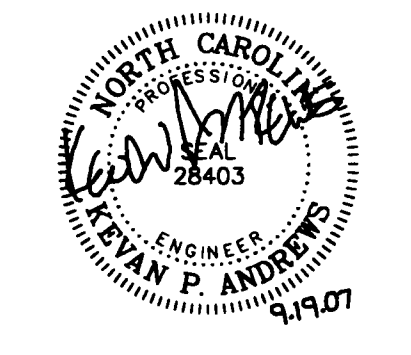
- 1. SEE SHEET 1.3 FOR ADJOINING PARCEL OWNERSHIP (NOW OR FORMERLY) INFORMATION.
- 2. PLANS REPRESENT STREAM AFTER RESTORATION.

DATUM NOTE

ALL ELEVATIONS SHOWN IN THESE PLANS ARE BASED ON THE NC85 MONUMENT "M DBP" ELEV. 714.24 (NAVD 88) DATUM AS SHOWN ON THIS SHEET AND SHEET 1.2.

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APPROVED FOR
CONSTRUCTION
CMPC



MORNINGSIDE VILLAGE
Site Plan
City of Charlotte, Mecklenburg County, NC
Morningside Village, LLC

Revisions:
08.20.07 PER REVIEW
08.21.07 PER REVIEW
08.19.07 PER CDD COMMENT

Date: 1.26.07
By: KPA
Scale: 1" = 100'
Project Number: 44757
Sheet Number: