

# MIDWOOD CENTRAL PHASE II

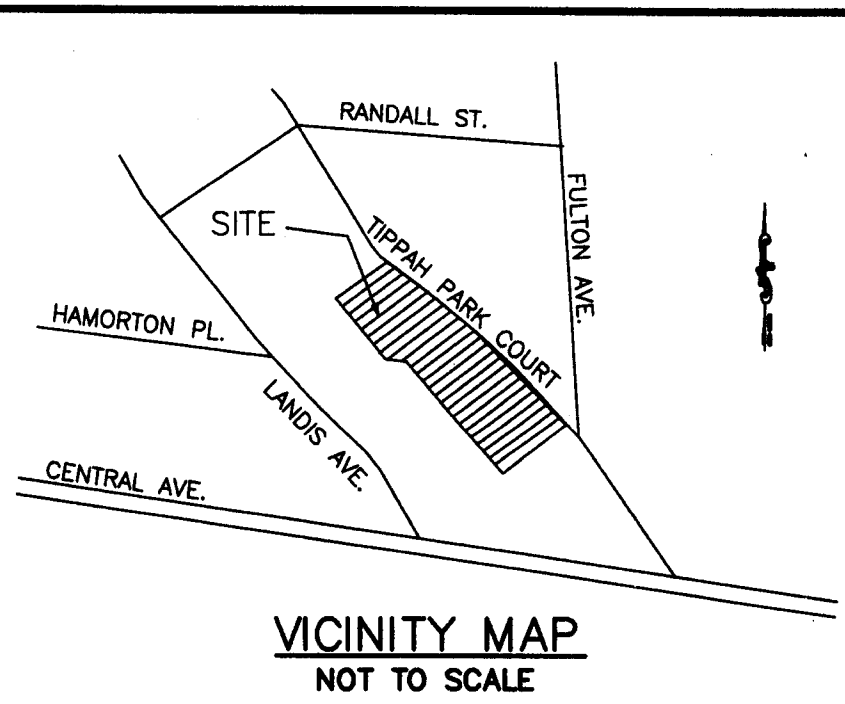
## CHARLOTTE, NORTH CAROLINA

### THE DRAKEFORD COMPANY

1914 BRUNSWICK AVENUE SUITE 2A

CHARLOTTE, NORTH CAROLINA 28207

PHONE: (704) 344-0332 FAX: (704) 344-9992



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#### GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY NOVA ENGINEERING AND SURVEYING ON SEPT. 28, 2005
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMVD STD. 50.05 (9" SIGNS ONLY).
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50 PERCENT SLOPE ON THE CURB.
11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND / OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
13. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
14. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
15. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE.
16. THE CITY OF CHARLOTTE HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
17. A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVEMENT, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. IT IS POSSIBLE THAT CDOT MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENCROACHMENT AGREEMENT.
18. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
19. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.
20. RETAINING WALLS DESIGNED FOR CRITICAL AREAS (I.E., ON PROPERTY LINES AND R/W) MAY REQUIRE PE SEAL.
21. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
22. ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
23. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
24. CHANGES TO SITE PLANS MAY GENERATE NEW COMMENTS FROM CDOT ON SUBSEQUENT REVIEWS.

#### SWIM BUFFER NOTES:

1. BUILDINGS, PARKING AREAS, GRADING AND FILL DIRT AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED WITHIN THE SWIM BUFFER, AS GENERALLY INDICATED ON THE PLAN. THIS ENCROACHMENT IN THE SWIM BUFFER PER AGREEMENT WITH L.U.E.S.A., PER THE APPROVED SWIM BUFFER MITIGATION PLANS. SEE SHEET L-4 FOR ADDITIONAL INFORMATION.
2. CONCENTRATED FLOW INTO SWIM BUFFER FROM ALL OUTFALLS SHALL BE DISPERSED USING LEVEL SPREADERS. SEE STORM DRAINAGE PLAN, SHEET C2, FOR SPREADER LOCATIONS. SEE STORM DRAINAGE DETAILS SHEET C4 FOR DETAILS AND SPECIFICATIONS.

#### CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
2. SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINE.
3. INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
6. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
7. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
8. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N. C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U. S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.

#### EROSION CONTROL NOTES:

1. ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. ALL SLOPES MUST BE SEEDED AND MULCHED WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL OTHER AREAS, 15 WORKING DAYS OR 90 CALENDAR DAYS WHICHEVER IS SHORTER. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 110' REQUIRE ADEQUATE TERRACING [CMVDS #30.16]
8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
9. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

#### CONDITIONAL DEVELOPMENT NOTES:

1. PLAN DEVELOPED USING UR-2 ZONING CRITERIA (14' SETBACK FROM BACK OF CURB, 5' SIDEYARDS AND 10' BUILDING SEPARATIONS MAINTAINED).
2. BUILDING PRODUCT TO BE 18" WIDE BY 40" DEPTH. SEE ARCHITECTURAL ELEVATIONS.
3. LOTS TO BE APPROXIMATELY 35' WIDE AND 3000' SF MIN.
4. LOTS 3-14 TO UTILIZE SHARED DRIVEWAYS. CROSS ACCESS AGREEMENTS TO BE DEFINED FOR EACH LOT PRIOR TO PLATTING AND LOT SALE.
5. IMPACTS OF SWIM BUFFER TO BE MITIGATED THROUGH SEPARATE PLANS. MITIGATION PLAN TO BE PER MECKLENBURG COUNTY WATER QUALITY PROGRAM SWIM BUFFER MITIGATION REVIEW PROCESS GUIDELINES DATED JANUARY 9, 2004 OR LATER.
6. BUILDINGS TO HAVE ACCESS FROM FIRTH CT. VIA WALKS, STOOPS, PORCHES, AND/OR LANDINGS.
7. TREE LOCATIONS SCHEMATIC ONLY. STREET TREES TO BE PROVIDED ALONG FIRTH CT. FRONTAGE PER CITY STANDARD OF 40' SPACING FOR LARGE MATURING TREES, 35' SPACING FOR SMALL MATURING TREES UNDER POWER LINES.
8. SITE PEDESTRIAN AND STREET LIGHTING TO BE REVIEWED AND PLANNED DURING SITE PLANNING PROCESS.
9. DEVELOPER TO DEDICATE AND CONVEY SUFFICIENT LAND TO PROVIDE 25' R.O.W. FROM CENTERLINE.
10. SIDEWALK TO BE 6' WIDE BEHIND 8' PLANTING STRIP.
11. PROPOSED RELOCATION OF STORM DRAIN AND EASEMENT REQUIRES APPROVAL.

#### SITE DATA:

TAX MAP NO:

ZONING:  
PROPOSED USE:  
TOTAL SITE AREA:  
PARKING REQUIRED:

PARKING PROVIDED:  
MIN. SETBACK:  
MIN. SIDE YARD:  
MIN. REAR YARD:  
MAXIMUM BLDG HEIGHT:  
MINIMUM LOT WIDTH:  
MAXIMUM FLOOR AREA RATIO:  
TRASH PICK UP PROVIDED:  
RECYCLE PICK UP PROVIDED:

095-071-07, 095-071-08, 095-071-10, 095-071-11,  
095-071-12, 095-071-13, 095-071-15, 095-071-16,  
095-071-17  
UR-2(CD) REZONING PET. NO. 2005-62  
12 LOTS, SINGLE FAMILY RESIDENTIAL  
68,492.95 SF (1.57 ACRES)  
1 SPACE MIN/ 2 SPACES MAX PER LOT ~ 12 MIN, 24 MAX  
24 SPACES  
14' FROM BACK OF PROPOSED CURB  
3 FEET, PER 12.805(3) SWM BUFFER INCENTIVES  
10 FEET  
40 FEET  
20 FEET  
1.0  
PUBLIC ROLL OUT CONTAINERS, 1 PER LOT  
PUBLIC PICK UP

#### SEEDBED PREPARATION:

1. SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN.
2. AREAS TO BE SEEDED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL.
3. TOTAL SEEDBED PREPARED DEPTH SHALL BE 4" TO 6" DEEP.
4. LOOSE ROCKS, ROOTS AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION.
5. IF NO SOIL TEST IS TAKEN, FERTILIZE AND LIME TO BE ACCORDING TO SEEDING SPECIFICATIONS ABOVE. IN ADDITION, PROVIDE 15 LBS./1,000 SF OF SUPERPHOSPHATE.
6. IF SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT.
7. LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.

#### TEMPORARY SEEDING SCHEDULE

##### 3:1 SLOPES OR FLATTER:

1. APPLY AGRICULTURAL LIME AT THE RATE OF 90 LBS./1,000 SF.
  2. APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS./1,000 SF.
  3. SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND APPLICATION RATES:
- | DATE              | TYPE            | PLANTING RATE                   |
|-------------------|-----------------|---------------------------------|
| AUG. 15 - NOV. 1  | TALL FESCUE     | 300 LBS./AC. OR 7 LBS./1,000 SF |
| NOV. 1 - MAR. 1*  | TALL FESCUE AND | 300 LBS./AC. OR 7 LBS./1,000 SF |
| MAR. 1 - APR. 15  | TALL FESCUE     | 300 LBS./AC. OR 7 LBS./1,000SF  |
| APR. 15 - JUL. 30 | HULLED COMMON   | 30 LBS./AC. OR 1 LB./1,000 SF   |
| JUL. 15 - AUG. 15 | TALL FESCUE AND | 300 LBS./AC. OR 7 LBS./1,000 SF |

- |                       |                               |
|-----------------------|-------------------------------|
| ABRUZZI RYE           | 25 LBS./AC. OR 1 LB./1,000 SF |
| BERMUDA GRASS         |                               |
| BROWNTOP MILLET OR    | 35 LBS./AC. OR 1 LB./1,000 SF |
| SORGHUM-SUDAN HYBRIDS | 30 LBS./AC. OR 1 LB./1,000 SF |
4. MULCH WITH STRAW APPLIED AT THE RATE OF 75 - 100 LBS./1,000 SF. \* HEAVILY MULCHED DURING PERIOD OF JANUARY THROUGH MARCH

##### SLOPES GREATER THAN 3:1 TO 2:1

1. APPLY AGRICULTURAL LIME AT THE RATE OF 90 LBS./1,000 SF.
  2. APPLY 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS./1,000 SF.
  3. SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE AND APPLICATION RATES:
- | DATE                  | TYPE                              | PLANTING RATE                 |
|-----------------------|-----------------------------------|-------------------------------|
| MAR. 1 - JUNE 1       | SERICEA LESPEDEZA (SCARIFIED) AND | 50 LBS./AC. OR 1 LB./1,000SF  |
| OR                    | ADD TALL FESCUE                   | 150 LBS./AC. OR 3 LB./1,000SF |
| MAR. 1 - JUNE 1       | ADD WEEPING LOVEGRASS             | 5 LBS./AC. OR 1 LB./1,000 SF  |
| JUNE - SEPT. ***      | TALL FESCUE AND                   | 60 LBS./AC. OR 1 LB./1,000 SF |
| BROWN TOP MILLET      | 35 LBS./AC. OR 1 LB./1,000 SF     | OR                            |
| SORGHUM-SUDAN HYBRIDS | 30 LBS./AC. OR 1 LB./1,000 SF     | OR                            |
| 1 SERICEA LESPEDEZA   | 70 LBS./AC. OR 1 LB./1,000 SF     | (UNHULLED-UNSCARIFIED)        |
| TALL FESCUE           | 150 LBS./AC. OR 3 LB./1,000 SF    |                               |
| MILLET OR SUDAN       | 20 LBS./AC. OR 1 LB./1,000 SF     |                               |
- \*\* TEMPORARY - RESEED SEPTEMBER 1 AT RECOMMENDED RATES.

4. MULCH WITH 3" STRAW APPLIED AT THE RATE OF 50 - 90 LBS./1,000 SF AND ANCHOR WITH ASPHALT EMULSION TACK COAT APPLIED AT THE RATE OF 14 - 20 GAL./1,000 SF OR 800 - 1,200 GAL./AC.

#### CONSULTANTS:

DEVELOPER:

ARCHITECT:

LANDSCAPE ARCH.:

CIVIL ENGINEER:

SURVEYOR:

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#### SCHEDULE OF DRAWINGS:

- L-1 COVER SHEET
- L-2 EXISTING CONDITIONS
- L-3 SITE PLAN & REQUIRED PLANTING PLAN
- L-4 SWM BUFFER IMPACT MITIGATION
- L-5 GRADING PLAN
- L-6 SITE DETAILS
- L-7 EXISTING GROUND CROSS SECTIONS
- L-8 EXISTING GROUND CROSS SECTIONS
- L-9 CROSS SECTIONS
- L-10 CROSS SECTIONS

- C-1 PHASE I EROSION CONTROL PLAN
- C-2 STORM DRAINAGE PLAN
- C-3 EROSION CONTROL DETAILS
- C-4 STORM DRAINAGE DETAILS
- C-5 OFFSITE DRAINAGE AREA PLAN
- C-5A FLOOD STUDY DRAINAGE AREA PLAN
- C-6 OVERALL WATER AND SEWER PLAN
- C-7 UTILITY DETAILS

APPROVED FOR  
CONSTRUCTION

CMPC *3/1/2007*

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• Landscape Architecture

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COVER  
SHEET

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Scale: NOT TO SCALE  
Date: JUNE 23, 2006  
Project No.: 090-007  
Revisions:  
1. SEPT 14, 2006 PER CMPC COMMENTS  
2. JAN 10, 2007 PER CMPC COMMENTS

Sheet L-1



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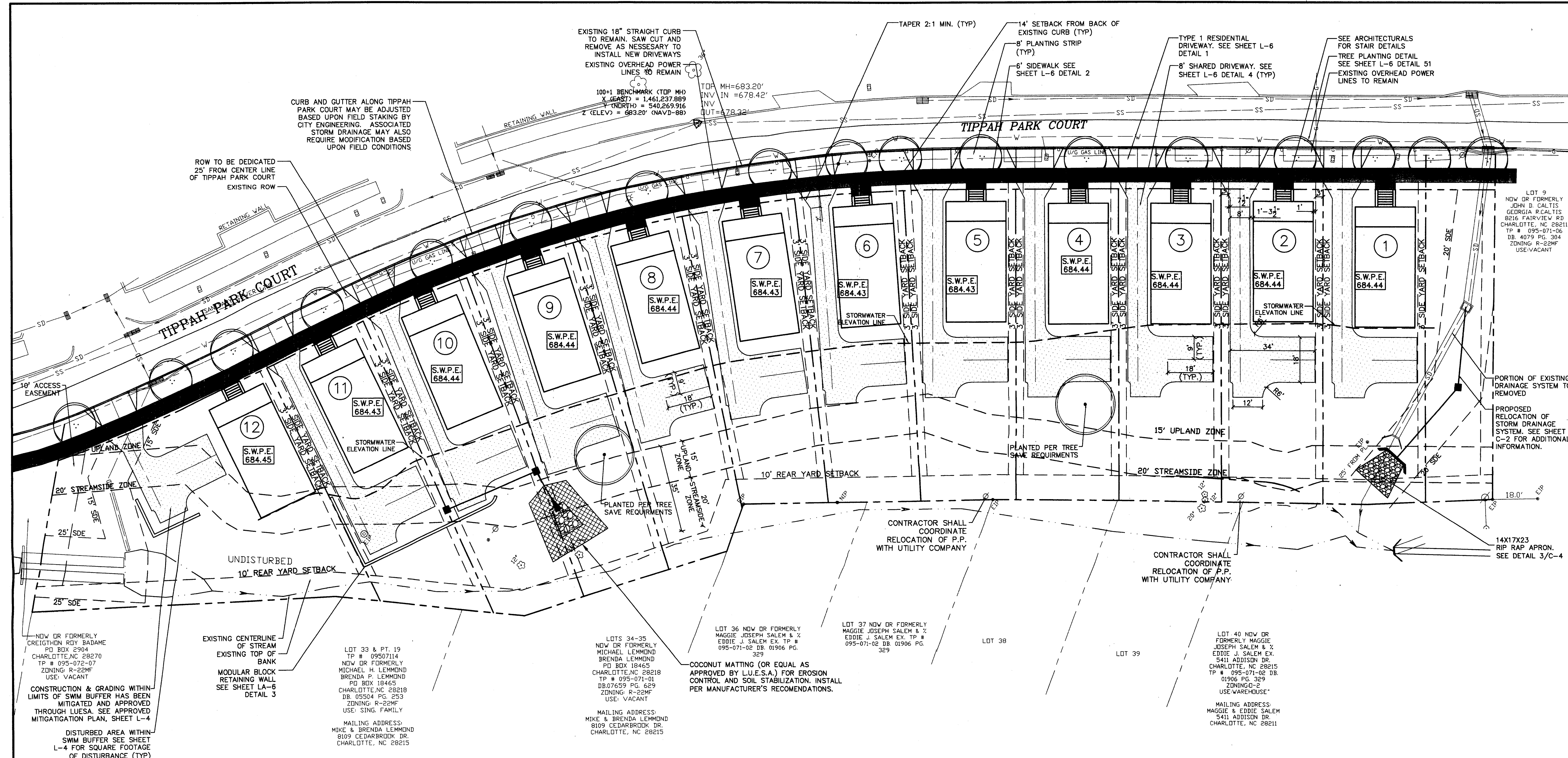
SITE PLAN &  
REQUIRED PLANTING  
PLAN

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Scale: 1"=20'  
Date: JUNE 23, 2006  
Project No.: 090-007  
Revisions:  
1. SEPT 14, 2006 PER CMPC COMMENTS  
2. JAN 10, 2007 PER CMPC COMMENTS

Sheet L-3



**SITE DATA:**  
TAX MAP NO: 095-071-07, 095-071-08, 095-071-10, 095-071-11,  
095-071-12, 095-071-13, 095-071-15, 095-071-16,  
095-071-17  
ZONING: UR-2(CD) REZONING PET. NO. 2005-62  
PROPOSED USE: 12 LOTS, SINGLE FAMILY RESIDENTIAL  
TOTAL SITE AREA: 68,492.95 SF (1.57 ACRES)  
PARKING REQUIRED: 1 SPACE MIN / 2 SPACES MAX PER LOT ~ 12 MIN, 24 MAX  
PARKING PROVIDED: 24 SPACES  
MIN. SETBACK: 14' FROM BACK OF PROPOSED CURB  
MIN. SIDE YARD: 3 FEET, PER 12.805(3) SWM BUFFER INCENTIVES  
MIN. REAR YARD: 10 FEET  
MAXIMUM BLDG HEIGHT: 40 FEET  
MINIMUM LOT WIDTH: 20 FEET  
MAXIMUM FLOOR AREA RATIO: 1.0  
TRASH PICK UP PROVIDED: PUBLIC ROLL OUT CONTAINERS, 1 PER LOT  
RECYCLE PICK UP PROVIDED: PUBLIC PICK UP

LOT TABULATION		
LOT	TOTAL LOT SQUARE FEET / ACRES	BUILDABLE AREA* SQUARE FEET / ACRES
1	4,726.36 / .11	4,036.13 / .09
2	4,714.25 / .11	4,023.38 / .09
3	4,699.31 / .11	4,011.37 / .09
4	4,745.14 / .11	3,993.78 / .09
5	4,745.14 / .11	4,069.83 / .09
6	4,632.71 / .11	3,955.29 / .09
7	4,436.88 / .10	3,955.29 / .09
8	5,249.49 / .12	4,108.00 / .09
9	5,455.41 / .13	4,341.82 / .10
10	5,401.36 / .12	4,293.53 / .10
11	4,752.52 / .11	3,672.85 / .08
12	8,665.92 / .20	7,033.99 / .16

\* AREA DEFINED BY PROPOSED R.O.W. SIDE AND REAR YARDS  
TOTAL SITE AREA: 68,492.95 SF / 1.57 AC  
ROW DEDICATION: 7,744.20 SF / 0.18 AC

- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. HEIGHT AND WIDTH SIZES SHALL BE MET REGARDLESS OF CONTAINER OR CONDITION SHOWN.
  - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
  - CONTRACTOR TO REVIEW PLANT SELECTION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND DURING PROPOSAL PREPARATION FOR QUALITY CONTROL AND VALUE ENGINEERING.
  - LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATION IN THE FIELD, PRIOR TO BEGINNING CONSTRUCTION.
  - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES--PLANT 15'-20' OFF SEWER AND STORM DRAINAGE LINES; 10'-15' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.
  - ANY CONFLICT BETWEEN TREES AND UTILITIES SHALL BE RESOLVED IN THE FIELD WITH FINAL TREE LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT AND THE PLANNING DEPARTMENT.
  - LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
  - PLEASE CALL 336-4255 FOR AN INSPECTION OF TREE PROTECTION AND/ OR TREE PLANTING AREAS. 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
  - ATTENTION CONTRACTOR/LANDSCAPER: IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 336-3599 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SIGHT, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES.
  - VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/ OR IMMEDIATE CORRECTIVE ACTION/ MITIGATION.
  - MINIMUM TREE SIZE AT PLANTING IS 3-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL. MITIGATION TREES ARE 3-3 1/2" CAL.
  - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
  - FOR NEW PLANTING BEDS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL -OR- UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE OR PLANTING AREA).
  - MULCH ALL PLANTING BEDS WITH 4" OF PINE NEEDLE MULCH.
  - APPLY PRE-EMERGENT HERBICIDE TO PLANTING BEDS PRIOR TO MULCHING.
  - SEED ALL DISTURBED AREAS EXCEPT PLANTING BEDS AS NOTED.
  - ALL PLANT BEDS AND LAWN AREAS SHALL HAVE 2" - 4" TRENCH EDGE.
  - NO LIGHT POLES SHALL BE LOCATED IN PLANTER ISLANDS WITH TREES.

**PERIMETER TREE REQUIREMENTS**  
LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAYS  
STREET: TIPPDAH PARK COURT = 591.53 LF  
REQUIRED: 13 LARGE TREES OR 17 SMALL MATURING TREES  
EXISTING TREES TO BE REMOVED PER AGREEMENT WITH LANDSCAPE MANAGEMENT/ URBAN FORESTRY  
NO EXISTING TREES SHOWN FOR CREDIT  
PROVIDED: (17) 2" CAL., 10-12" HT., FOREST PANSY REDBUDS.  
IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25 FT. OF LINES. OTHERWISE 75% OF NEW TREES MUST BE LARGE MATURING.  
NOTE: IF EXISTING OVERHEAD POWERLINES ARE REMOVED, SMALL MATURING TREES TO BE SUBSTITUTED WITH 3" CAL., 14' HT. SHUMARD OAKS @ 40' O.C. MAX.

**TREE PROTECTION NOTES:**  
TREE PROTECTION FENCE/BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINES STANDARDS.  
TREE PROTECTION FENCE/BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/ CONSTRUCTION, AND NOT REMOVED UNTIL AFTER AN INSPECTION BY URBAN FORESTRY STAFF.  
NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.  
VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.

**ADDITIONAL PLANTING NOTES:**  
ALL TREES SHALL BE PLANTED PER CMDS DETAILS 40.01 AND 40.09.  
ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.  
LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER TO RESOLVE BEFORE PLANTING.  
ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.  
NEW TREES SHALL BE A MINIMUM 3 1/2" CALIPER FOR STREET TREE REQUIREMENTS.  
SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.

**HERITAGE TREES:**  
THIS SITE HAS BEEN INSPECTED BY DESIGN RESOURCE GROUP AND NO HERITAGE TREES ARE PRESENT ON THIS SITE.

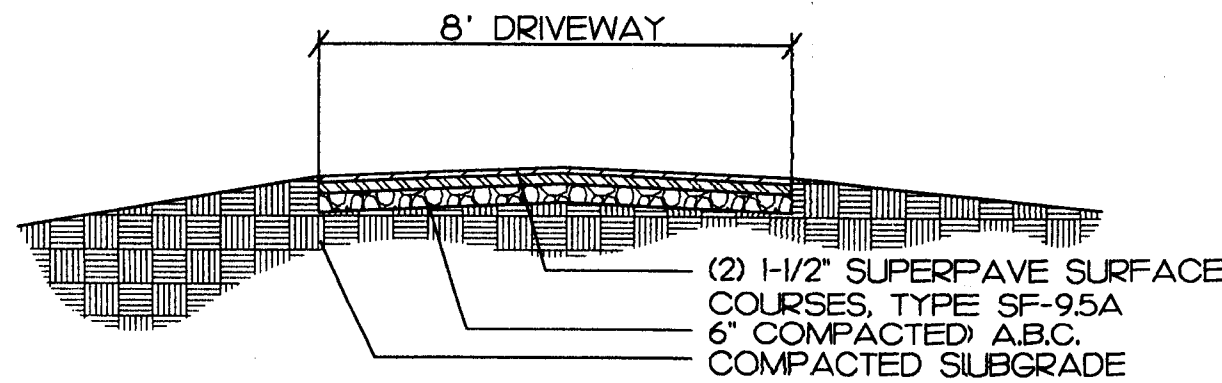
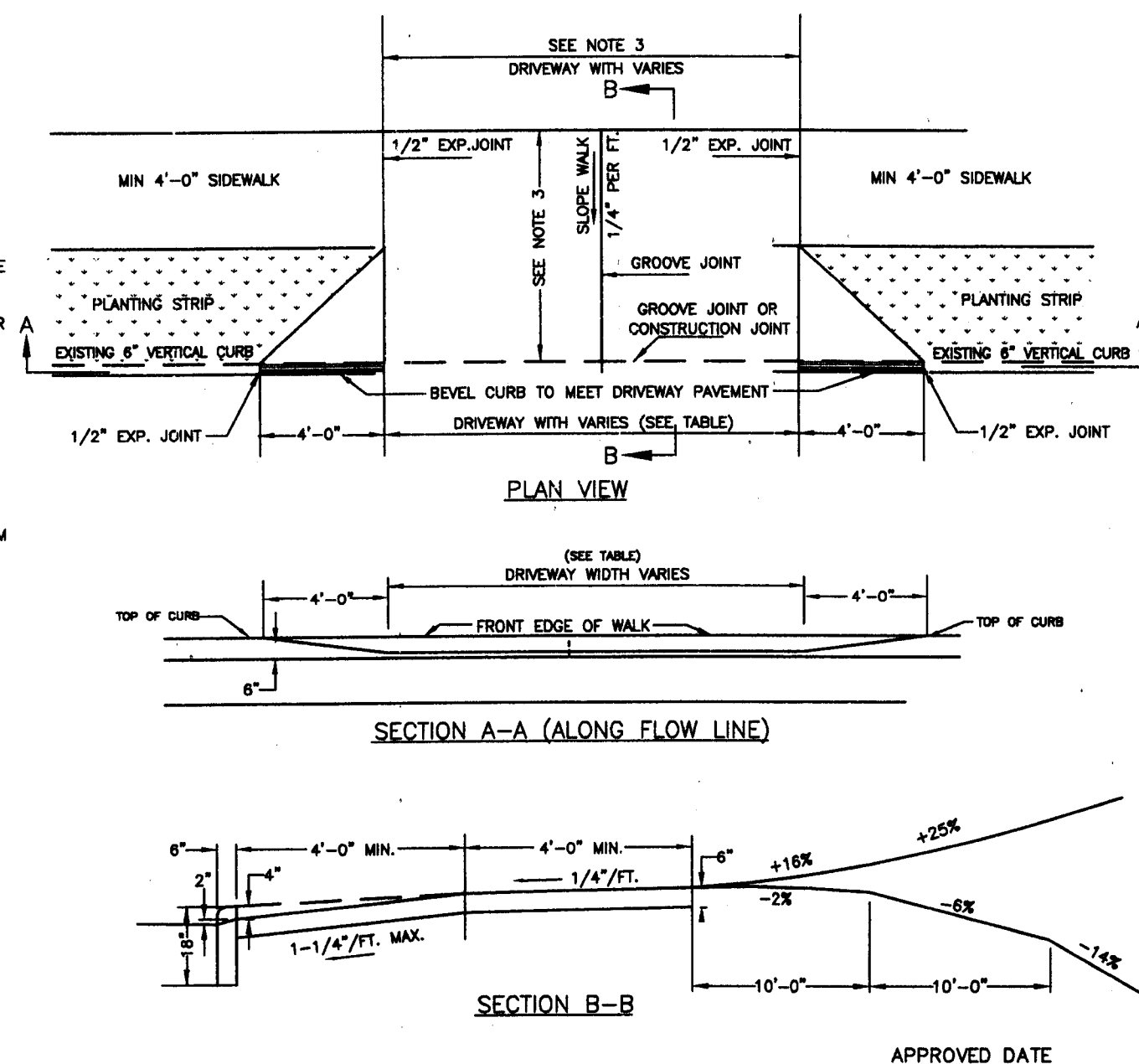
**TREE SAVE CALCULATIONS:**  
GROSS SITE AREA: 68,492.95 SF (1.57 ACRES)  
NET SITE AREA: 64,220.32 SF (1.47 ACRES)  
PROPOSED TREE SAVE AREA: 0.00 SF. (NO EXISTING TREES)  
5% TREE SAVE: 3,425 SF. (0.08 AC.)  
TREES REQUIRED: 2  
TREES PROPOSED: 2 SHUMARD OAK



# NOTES:

1. ALL CONCRETE TO BE 3600 P.S.I.
2. ALL CURB OR CURB AND GUTTER AND SIDEWALK ARE TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE STD. NO. 10.17 FOR JOINT DETAIL.
3. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT AND BACK OF CURB TO BACK OF DRIVEWAY.
4. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.

DRIVEWAYS CLASSIFICATION		
TYPE DRIVEWAYS	MINIMUM	MAXIMUM
ONE-WAY TYPE I -	15'	30'



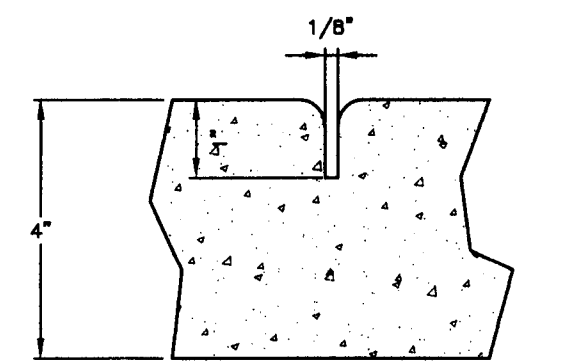
1  
L-6  
CHARLOTTE - MECKLENBURG  
LAND DEVELOPMENT  
STANDARDS

RESIDENTIAL DROP CURB TYPE I DRIVEWAY WITH  
PLANTING STRIP (6" X 18" VERTICAL CURB)

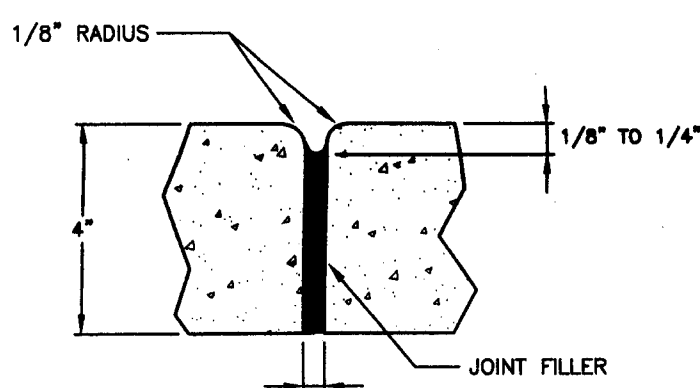
4  
L-6  
STD. NO. REV.  
10.25C

ASPHALT DRIVEWAY PAVING SECTION

7  
L-6



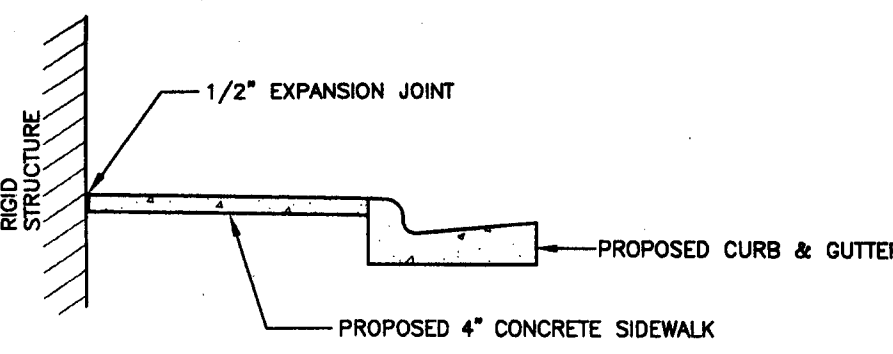
GROOVE JOINT IN SIDEWALK



TRANSVERSE EXPANSION  
JOINT IN SIDEWALK

## GENERAL NOTES:

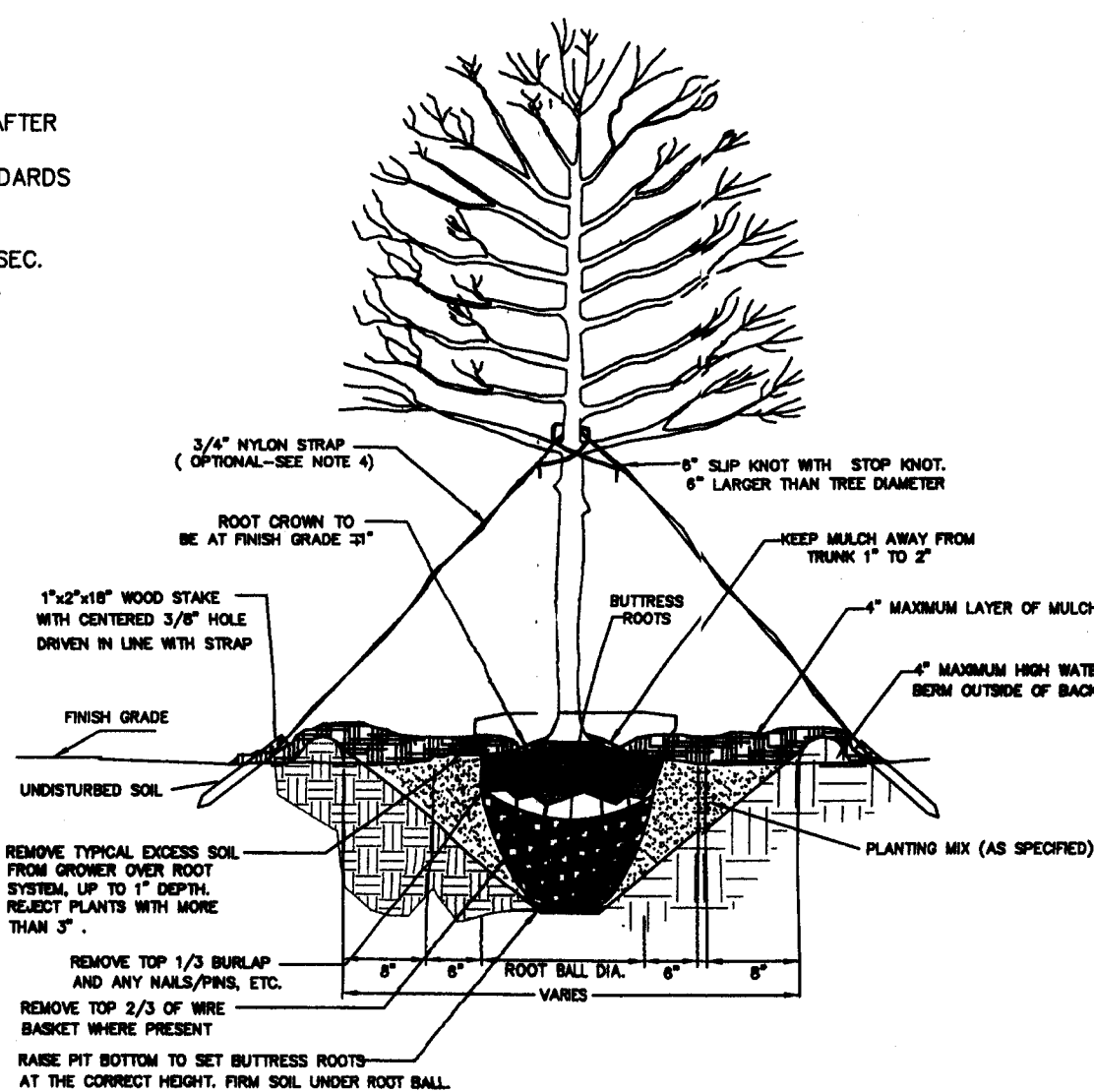
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 5'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CITY/COUNTY ENGINEER.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE A MINIMUM OF 4'. UNLESS OTHERWISE SPECIFIED BY TOWN SUBDIVISION ORDINANCE.
5. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
6. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.



DETAILS SHOWING EXPANSION JOINTS  
IN CONCRETE SIDEWALK

## NOTES:

1. REMOVE WIRE OR NYLON TWINE FROM BALL.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
4. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES, SEC. 04100-TREE PLANTING, PART 3 PARAGRAPH B.9.



NO.	DATE	REVISIONS
1	5/89	DELETED NOTES 5-7 REVISED DETAIL LABELS

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMS, 1990, PART 1, "SHADE AND FLOWERING TREES")  
FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH

2"	12-14'	18'	24'	18'
5"	14-18'	18'	32'	21"

APPROVED DATE

2  
L-6  
CHARLOTTE - MECKLENBURG  
LAND DEVELOPMENT  
STANDARDS

CONCRETE SIDEWALKS

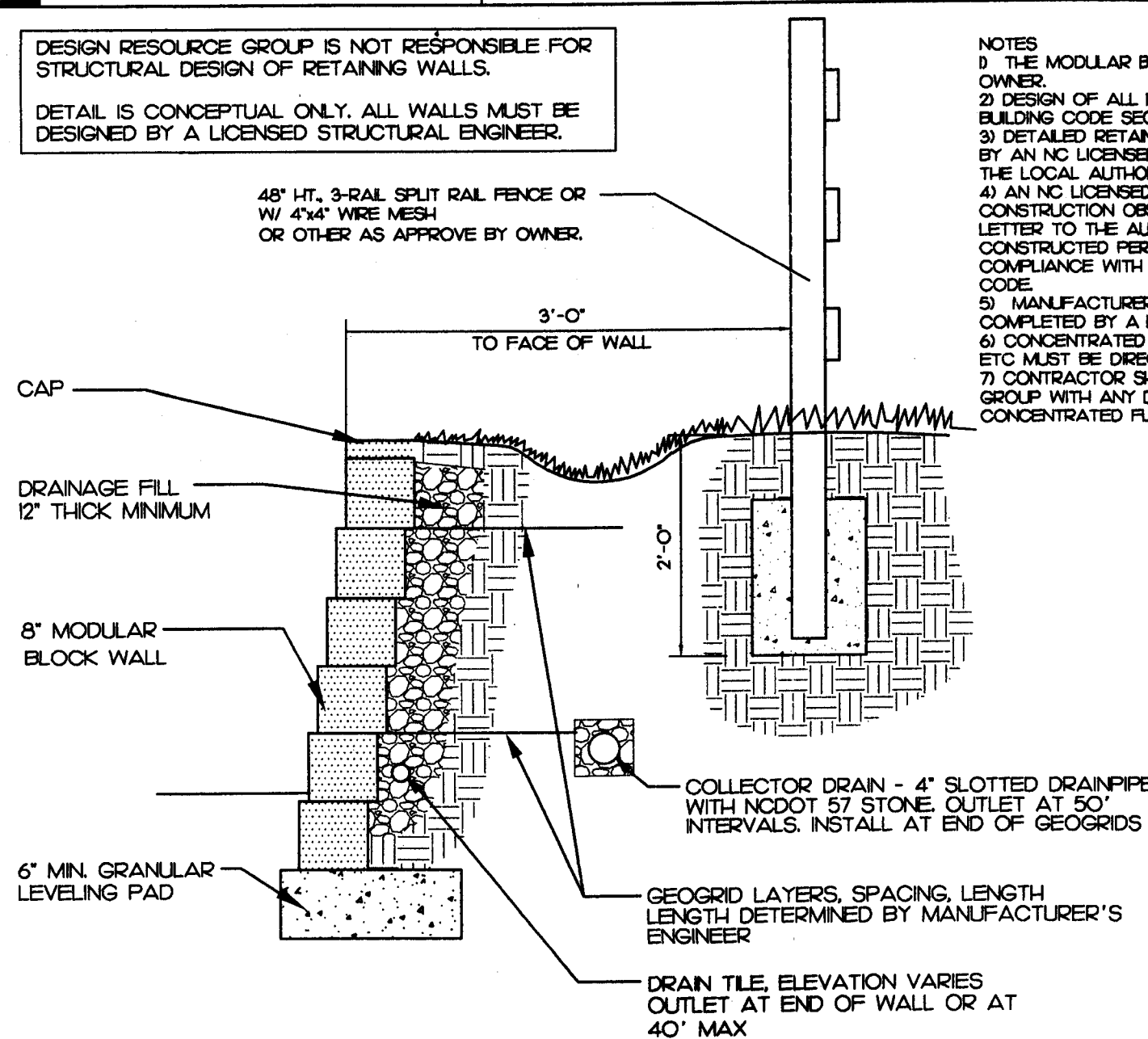
5  
L-6  
STD. NO. REV.  
10.22

CHARLOTTE - MECKLENBURG  
LAND DEVELOPMENT  
STANDARDS

TREE PLANTING  
(FOR SINGLE AND MULTI-STEM TREES)

8  
L-6  
STD. NO. REV.  
40.01

DESIGN RESOURCE GROUP IS NOT RESPONSIBLE FOR  
STRUCTURAL DESIGN OF RETAINING WALLS.  
DETAIL IS CONCEPTUAL ONLY. ALL WALLS MUST BE  
DESIGNED BY A LICENSED STRUCTURAL ENGINEER.



- 1) THE MODULAR BLOCK COLOR TO BE CHOSEN BY THE OWNER.
- 2) DESIGN OF ALL RETAINING WALLS IS TO BE PER NC BUILDING CODE SECTION 903.3.
- 3) DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
- 4) AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION VERIFIED IN A SEALED LETTER TO THE AUTHORITY THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS IN COMPLIANCE WITH SECTION 903.3 OF THE NC BUILDING CODE.
- 5) MANUFACTURER SHALL PROVIDE CALCULATIONS COMPLETED BY A LICENSED STRUCTURAL ENGINEER.
- 6) CONCENTRATED FLOW FROM SWALES, DOWNSPOUTS, ETC. MUST BE DIRECTED AWAY AND AROUND WALL.
- 7) CONTRACTOR SHALL NOTIFY DESIGN RESOURCE GROUP WITH ANY DISCREPANCIES WITH PLANS AND CONCENTRATED FLOW PATTERNS.

PLANTINGS IN STREET RIGHT-OF-WAY

## GENERAL NOTES:

1. TREE GRATES AND ASSOCIATED IRRIGATION SYSTEMS ARE REQUIRED AT VARIOUS LOCATIONS IN THE UPTOWN AREAS TO COMPLY WITH THE UPTOWN STREETScape GUIDELINES AND OTHER ZONING REQUIREMENTS. ALL OTHER INSTALLATIONS OF IRRIGATION SYSTEMS WITHIN THE RIGHT-OF-WAY OF CITY OR STATE MAINTAINED STREETS REQUIRE AN ENCROACHMENT AGREEMENT EXECUTED THROUGH CDOT OR NCDOT. THE CITY'S ENCROACHMENT AGREEMENT REVIEW/APPROVAL PROCESS MAY INCLUDE ADDITIONAL REQUIREMENTS. CONTACT CDOT OR NCDOT FOR ADDITIONAL INFORMATION REGARDING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
2. A DRAINAGE SYSTEM IS REQUIRED AS SHOWN FOR ALL IRRIGATED PLANTING AREAS LOCATED ADJACENT TO STREETS. ALL IRRIGATION/DRAINAGE SYSTEMS NOT REQUIRED BY THE UPTOWN STREET GUIDELINES REQUIRE AN ENCROACHMENT AGREEMENT EXECUTED BY CDOT OR NCDOT FOR CITY OR STATE-MAINTAINED ROADS, RESPECTIVELY. CONTACT CDOT OR NCDOT FOR ADDITIONAL INFORMATION REGARDING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.
3. AN INSPECTION SCHEDULE IS NEEDED FOR TREES THAT WILL BE PLANTED IN THE STREET RIGHT OF WAY DUE TO ZONING OR OTHER REQUIREMENTS. LANDSCAPE INSPECTION INCLUDE THE FOLLOWING:  
SUBDRAINAGE INSPECTION  
TREE PIT/WELL OR PLANTING STRIP INSPECTION  
SOIL MIX APPROVALS/INSPECTIONS  
TREE APPROVALS/INSPECTIONS - PRIOR TO PURCHASING THE TREES, TO BE MADE BY THE CITY ARBORIST OR ASSISTANT CITY ARBORIST - 336-4282. THIS MAY INCLUDE PHOTO APPROVAL OR PARTICIPATION IN TAGGING THE TREES.  
TREE PLANTING INSPECTION  
IRRIGATION INSPECTION  
FINAL WALK THROUGH  
ALL OF THE ABOVE INSPECTIONS WILL BE PERFORMED BY THE CITY LAND DEVELOPMENT DIV. (URBAN FORESTRY (SECTION) EXCEPT FOR THE TREE APPROVALS AS NOTED.

NO.	DATE	REVISIONS
1	1/99	NOTE 3

APPROVED DATE

3  
L-6  
MODULAR BLOCK RETAINING WALL

6  
L-6  
CHARLOTTE - MECKLENBURG  
LAND DEVELOPMENT  
STANDARDS

TREE PLANTING-NOTES  
(DRAINAGE AND INSPECTION)

9  
L-6  
STD. NO. REV.  
40.10

MIDWOOD CENTRAL PHASE II  
CHARLOTTE, NORTH CAROLINA

THE DRAKEFORD COMPANY  
1914 BRUNSWICK AVENUE SUITE 2A  
CHARLOTTE, NORTH CAROLINA 28207  
PHONE: (704) 344-0332 FAX: (704) 344-9992

Design  
Resource Group

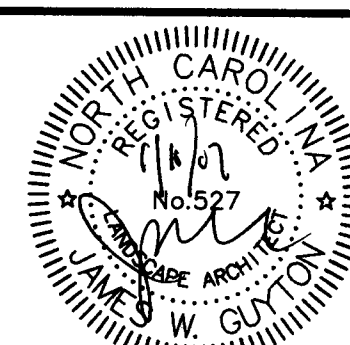
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- Civil Engineering
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SITE  
DETAILS

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Scale: NOT TO SCALE

Date: JUNE 23, 2006

Project No.: 090-007

Revisions:

1. SEPT 14, 2006 PER CMPC COMMENTS
2. JAN 10, 2007 PER CMPC COMMENTS

Sheet L-6