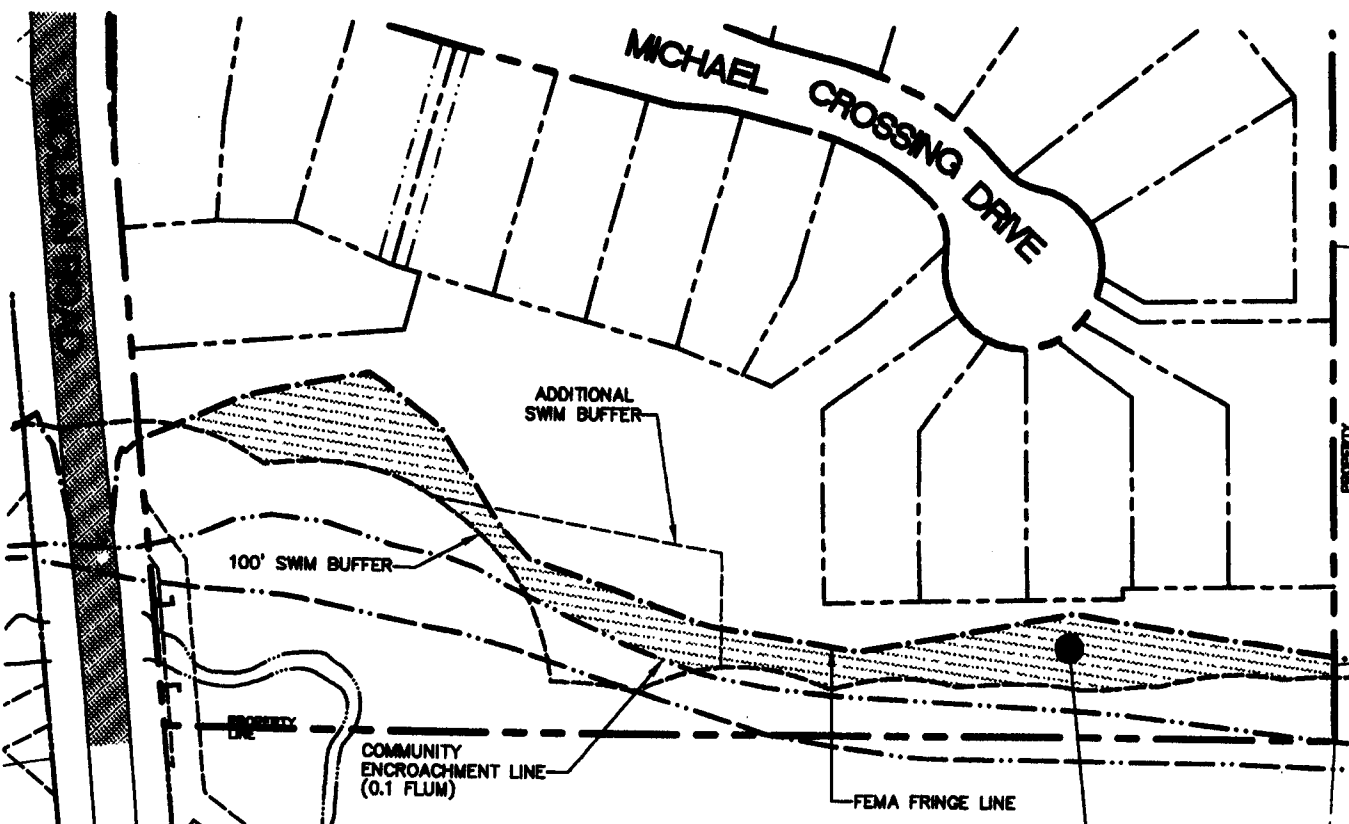


ADDITIONAL SWIM BUFFER CALCULATION

SCALE: 1" = 100'



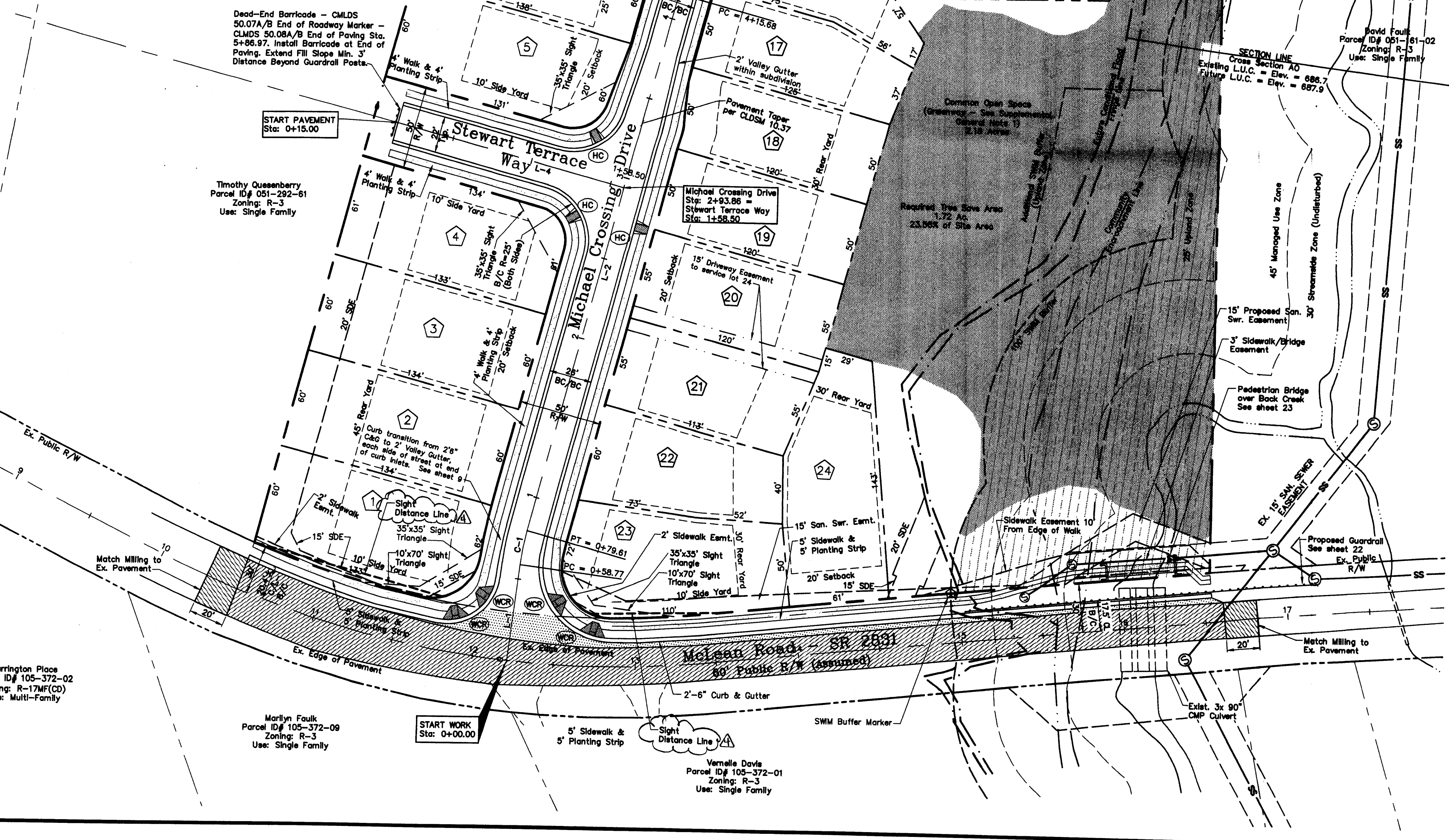
AREA BETWEEN FEMA FRINGE & 100' SWM BUFFER/COMMUNITY ENCROACHMENT LINE = 0.36 AC.

ADDITIONAL REQUIRED SWM BUFFER = 0.18 AC.
ADDITIONAL SWM BUFFER PROVIDED = 0.19 AC.

LINE	LENGTH	BEARING
L1	58.77	N43°44'55"E
L2	337.95	N81°42'22"E
L3	65.04	S87°03'35"E
L4	143.50	S38°17'38"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD DIRECTION	DELTA
C1	20.83	150.00	10.43	20.82	S42°16'22"W	82°02'31"
C2	104.35	150.00	54.55	102.11	S17°40'36"W	48°45'57"



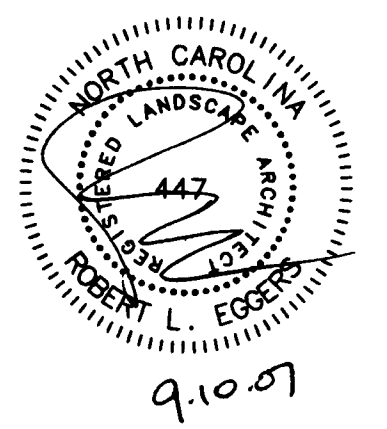
SITE DEVELOPMENT DATA:

Parcel ID#: 051-292-81
Existing Zoning: R-3
Site Area: 7.30 Ac.
Number of Lots: 24
Gross Density: 3.29 Lots/Ac.
Tree Save Area: 1.90 Ac. (26.03% of Site Area)
Common Open Space (Greenway): 2.18 Ac. (29.86% of Site Area)
Common Open Space (Private): 0.23 Ac. (3.15% of Site Area)

LOT DEVELOPMENT DATA:

	Exterior Lots	Interior Lots**
Min. Lot Size:	8000 s.f.	6000 s.f.
Min. Lot Width:	60 ft.	50 ft.
Min. Front Setback:	15 ft.*	15 ft.*
Min. Garage Setback:	20 ft.*	20 ft.*
Rear Yard:	45 ft.	30 ft.
Side Yard (Interior Lots):	3 ft.*	3 ft.*
Side Yard (Exterior Lots):	6 ft.	n/a
Side Yard (Corner Lots):	10 ft.	10 ft.

* As allowed by SWM Ordinance, Section 12.805
** The following are considered interior lots for this project: Lots 8-10, 12-22, and 24.
Lot Development Standards based upon Incentives of the Charlotte Tree Ordinance for Preservation of greater than 25% of Site Area Trees within Common Open Space.



Supplemental General Notes

- All common open space east of Michael Crossing Drive to be dedicated to Mecklenburg County Park and Recreation Department as Greenway. Common open space west of lot 11 to be private, maintained by a homeowners association established for the development.
- McLean Road is a Collector Road. Right-of-way equal to 30' from the Road Centerline shall be dedicated to the North Carolina Department of Transportation.
- All streets to be public, developed to City of Charlotte and NCDOT standards.
- Project to be serviced with public (CMU) water and sewer systems.
- The location of the subject property has been checked against area FEMA/FIRM maps, and it has been determined that it is located in a Special Flood Hazard Area, FEMA map number 37119C0150E.
- Site Development is estimated to be completed by December 2010.
- All lot dimensions shown are approximate. See record plot for exact dimensions.
- There shall be no on-site demolition landfills associated with this project. All demolition materials shall be hauled off-site and legally disposed in an approved off-site landfill.
- Lots 1, 23 & 24 shall not have direct vehicular access to McLean Road. The Developer shall disclose this information in any sale or lease agreements with prospective buyers. Lot 24 shall have vehicular access via a driveway easement along lots 20 and 21, as shown and labeled on plan.
- Land Development Insurance to be given 24 hours notice prior to start of construction.
- Coordinate all curb and street grades in intersections with inspections.
- The developer will provide street signs per CMLDS 50.05 (9" signs only).
- Sight triangles shown are the minimum required.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- The City of Charlotte Engineering Dept. has not reviewed the structural stability of any retaining walls on the site does not assume responsibility for them. Retaining walls in critical areas may require a PE seal prior to installation.
- Non-standard items (i.e. powers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the North Carolina Department of Transportation/Charlotte Department of Transportation before installation.
- Provide handicap ramp curb depressions of street intersections per CMLDS standard detail 10.33 latest review.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance and any structures and/or obstruction to storm water flow is prohibited.
- Project shall comply with Tree Ordinance requirements including preservation of existing trees and planting of new trees along public streets.
- Project is not located in a watershed protection area.
- The Community Floodway Encroachment Line must be marked and maintained on site until final grading is completed.
- This project is subject to the restrictions imposed by the Floodway Regulations of the City of Charlotte and Mecklenburg County.
- Any construction or use within the areas delineated as Community Encroachment (0.1') Floodway Encroachment Area is subject to the restrictions imposed by the Floodway Regulations of the City of Charlotte and Mecklenburg County.
- All road improvements to McLean Road are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Curb and gutter shown on plans along McLean Road may be adjusted based upon field staking by City Engineering. Associated storm drainage may also required modification based upon field conditions.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City Engineering Department in accordance with the City Subdivision Ordinance.
- The Developer shall contact the Charlotte Department of Transportation (Gas Jrdl, 704-336-7060) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer shall be responsible for all related relocation cost and/or repair cost caused by the contractor/developer.
- Contact Bill Thigle at (704) 336-3734 concerning floodland development permit if grading in a Flood Conditions Flood Fringe area. Approval required prior to plan approval.

SWIM Stream Buffer Notes

- This project contains S.W.I.M. stream buffers which are under the jurisdiction of Mecklenburg County Department of Environment and Natural Resources.
- All S.W.I.M. buffers within this project are a width of 100 feet from the top of bank, as shown on these plans. The lower 30 feet is the streamside zone, the middle 45 feet is the managed use zone and the upper 25 feet is the upland zone.
- The streamside zone of the buffer must be left completely undisturbed. In the upland zone, a limited number of trees can be removed provided that the tree density remaining is a minimum of 8 trees per acre. Removal of existing vegetation must be performed in such a manner as to prevent damage to the roots of the remaining trees.
- Plans clearly indicate that no fill material is to be brought into the buffer and that no structures are allowed within any of the buffer areas (except non-commercial out buildings not exceeding 150 square feet).
- Grading and other land disturbing activities are allowed only in the upland zone; however, these activities must be performed in such a manner as to prevent damage to the roots of existing trees. Grass or other suitable ground cover can be applied to the upland zone.
- The outside buffer boundary must be clearly marked by orange fabric fencing prior to any land clearing activities (grading, tree cutting or stumping, etc.) at the site, and this fencing must be called out on the plans.
- The outside boundary of the stream buffer must be permanently marked with an iron pin or other acceptable property corner marker at street crossings, and this marker must be called out on the plans.
- Top of bank locations, as shown on plan, have been field verified by a registered land surveyor.

PLANS FOR IMPROVEMENT
OF
**MICHAEL CROSSING
SUBDIVISION**
1935 MCLEAN ROAD
CHARLOTTE, NORTH CAROLINA

PREPARED FOR:
Gohen Properties, Inc.
3300 Back Creek Church Road
Charlotte, NC 28213

PREPARED BY:

EMHT
Evans, Mechwart, Hambleton, & Tilton, Inc.
Engineers - Surveyors - Planners - Scientists
3300 University Executive Park Drive, Suite 201, Charlotte, NC 28213
Phone: 704.548.0333 Fax: 704.548.0334

SITE PLAN

MARK	DATE	DESCRIPTION
1	3/05/07	Per City Review
2	7/18/07	Per City Review
3	8/22/07	Added Common Open Space/Greenway area
4	9/10/07	Added sight distance line on lots 1 & 23

Date	Job No.
July 19, 2007	2006-1749
Scale	Sheet
1" = 40'	4/24