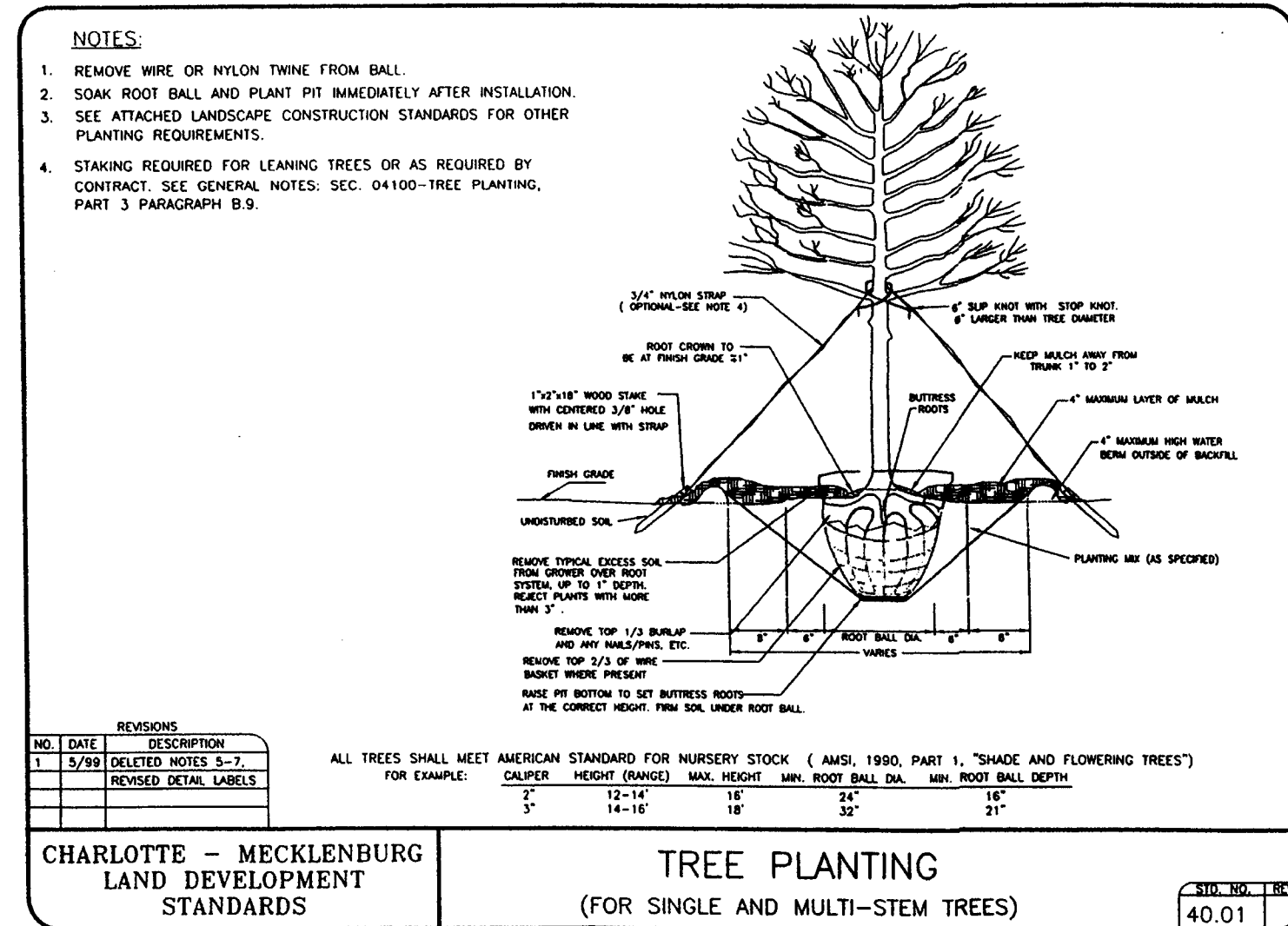
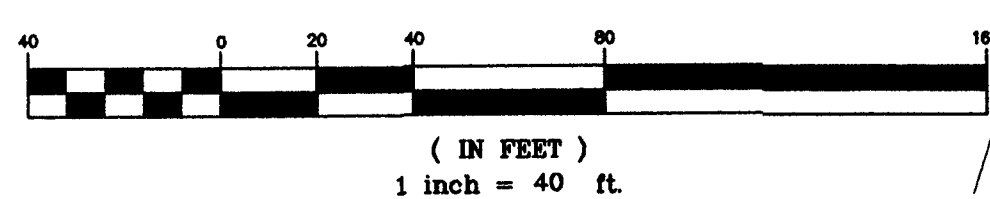


Mia Manor
Subdivision
City of Charlotte
Mecklenburg County
North Carolina

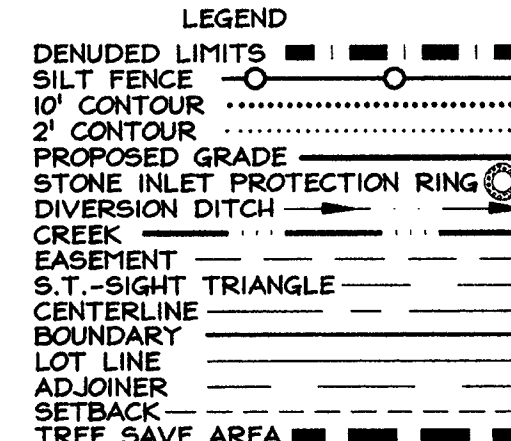
SITE DATA / GENERAL NOTES:

- Existing Zoning: R-3
District Standards:
Front Setback: 30 ft
Side Yard: 5 ft
Rear Yard: 45 ft
Minimum Lot Width: 70 ft
Minimum Lot Area: 10,000 sq. ft.
Required tree save area= 10% (5.06Ac.) = 10.14%
Tree save area provided= 0.513 Ac. = 10.14%
- Proposed Number of Lots: 13
- Total Acreage: 5.06 Acres
- Tax Parcel Number: 204 551 05 & 06
- All street construction to be in conformance with all applicable Charlotte Land Development Standards. (Sidewalks constructed on both sides of all streets.)
- ON-SITE BURIAL PITS ("STUMP HOLES") REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- THIS PROJECT TO COMMENCE ON: FEB. 15, 2007
AND BE COMPLETED ON: DEC. 31, 2007
- DEVELOPER WILL PROVIDE STREET SIGNS AS PER CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARD NO. 50.05A. ("S" SIGNS ONLY)
- IN ROLLING AND HILLY TERRAIN, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
- NON-STANDARD ITEMS (ie. PAVERS IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM AND DESIGNED DITCHES MUST BE SUBMITTED TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CHARLOTTE SUBDIVISION ORDINANCE.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MIN. OF 0.5% SLOPE ON THE CURB.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS ON SHARON HILLS DRIVE ARE TO BE COORDINATED WITH CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- S.D.E. = STORM DRAINAGE EASEMENT
- THE PURPOSE OF STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- ALL EXISTING STRUCTURES TO BE REMOVED.
- DIRECT VEHICULAR ACCESS TO SHARON HILLS ROAD FROM LOTS 1 & 10-15 IS PROHIBITED.
- CURB AND GUTTER SHOWN ON PLANS ALONG SHARON HILLS ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7066) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

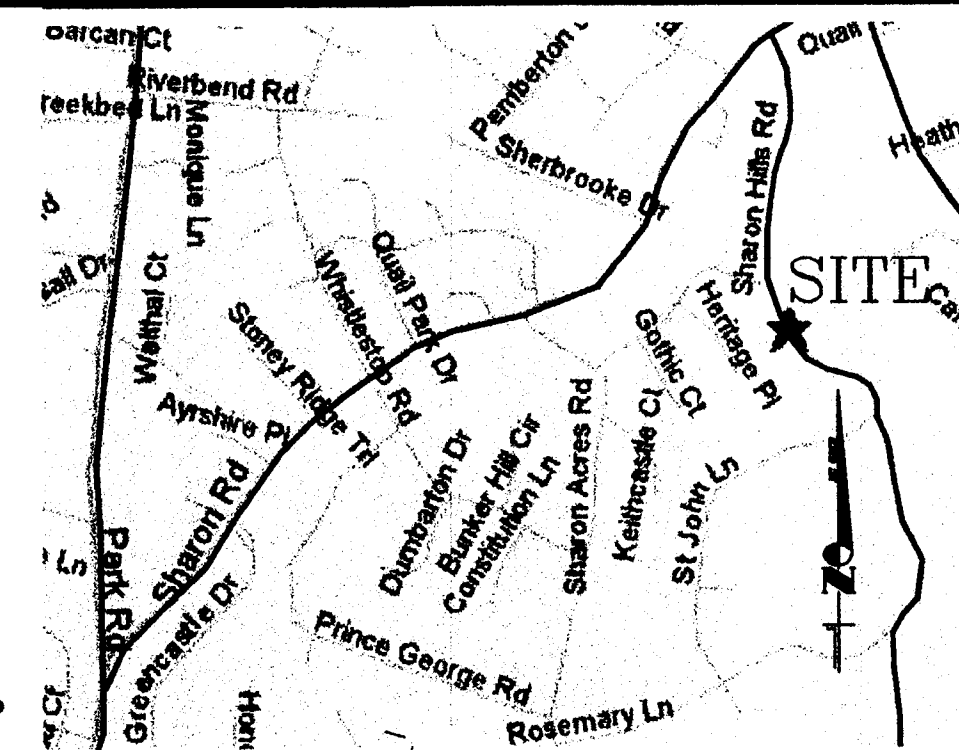
GRAPHIC SCALE



APPROVED FOR
CONSTRUCTION
C.M.P.C. JSL



VICINITY MAP

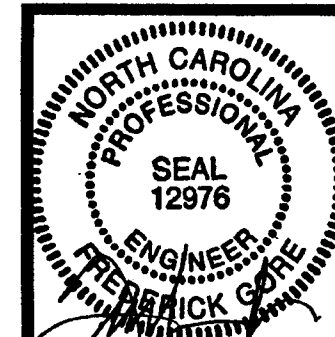


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PRELIMINARY SUBDIVISION PLAN
for
MIA MANOR SUBDIVISION
City of Charlotte
Mecklenburg County, North Carolina

Revisions:
11/02/06 REVISED PER CMPC COMMENTS
1/15/07 REVISED PER CMPC COMMENTS



Drawn by:
JMP
Approved by:
F.I.G.
Date:
6/30/06
Job name:
KINGSLAND/SHARONHILL

Scale:
1"=40' (H)

Sheet No.
1