

GENERAL NOTES:

- Boundary survey by R.B. Pharr & Associates, P.A. Surveying & Mapping, August 11, 2006.
- Project to be serviced with public (CMUD) water and sewer service connections from public lines along Carmel and Kingswood Roads.
- The location of the subject property has been checked against area FEMA/FIRM maps, and it has been determined that it is NOT located in a special flood hazard area (Community Panel number 3701580247E, effective date: February 4, 2004).
- Land Development Inspector to be given 24 hours notice prior to start of construction.
- Coordinate all curb and street grades in intersections with inspector.
- Project is expected to be completed by December 2010.
- Provide handicap ramp curb depressions at street intersections per CLDSM standard detail 10.33, latest revision.
- There will be no on-site demolition landfills associated with this project. All demolition shall be hauled off-site and legally disposed in an approved off-site landfill.
- All lot dimensions and lot areas shown are approximate. See record plot for exact dimensions and areas.
- All work and materials shall conform to the latest edition of the Charlotte Land Development Standards Manual.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the inspector and based on field conditions.
- The contractor shall maintain two-way traffic at all times when working within existing streets. The contractor shall place and maintain signs, danger lights, and barricades and furnish watchmen or flagmen to direct traffic in accordance with the latest edition *Work Area Traffic Control Handbook (WATCH)*.

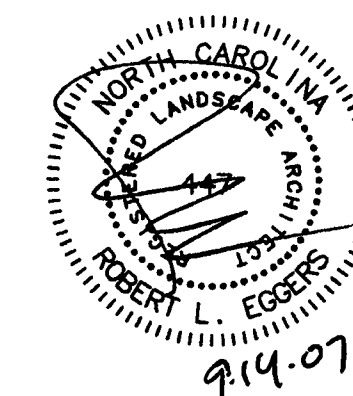
- All road improvements along Kingswood Road are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Sight triangles shown are the minimum required.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance and any structures and/or obstruction to storm water flow is prohibited.
- The developer shall maintain each stream, creek, or backwash channel in an obstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- "As-Built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City Engineering Department in accordance with the City Subdivision Ordinance.
- Non-standard items (i.e. pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation before installation.
- The current "Land Development Standards Manual" by the Charlotte Engineering Department will govern in case of conflicts in site construction specifications, details, notes standards and policies. Where necessary, construction of the following standard details, (and all "STD." numbers) shall be referenced to the current Charlotte Land Development Standards manual.

- 2'-6" Standard & and 2'-0" Valley Gutter
Curb Transition: 2'-6" C & G to 2'-0" Valley
Concrete Sidewalk
Type II Modified Driveway
Graded Driveway for Valley Gutter
CB Frame in Valley Gutter
Accessible Ramp Standard with Planting Strip
HC Ramp with Valley Gutter
Standard Placement of HC Ramps & General Notes
Trench Detail for Storm Drain Pipes
Subdrain Detail
Minimum Drainage Easement Requirements
Street Sign Names
Street Name Sign Installation Locations
- 10.17 A/B/C
10.19
10.22
10.25E
10.27
10.29
10.31 A/B
10.33 A/B
10.35
20.25
20.28
20.30
50.05 A/B
50.06

- Carmel Road is a minor thoroughfare. Right-of-way equal to 35 feet from the road centerline will be dedicated to the Charlotte Department of Transportation.
- All lots to be serviced with one common driveway in location shown in front of lot 1. No other vehicular access points will be allowed onto Carmel Road or Kingswood Road. Internal private driveway shown (north of cul-de-sac) is approximate location only, subject to change. Driveway shall be located outside the 30' Carmel Road setback.

DEVELOPMENT DATA:

Parcel ID#.....209-153-04
Existing Zoning.....R-3
Site Area.....4.55 Ac.
Proposed Number of Lots.....12
Proposed Density.....2.64 Lots/Ac.
Min. Lot Area.....8,000 SF*
Min. Setback (Carmel Road).....30 Ft.
Min. Setback (Kingswood Road).....20 Ft.*
Min. Rear Yard (Exterior Lots).....45 Ft.
Min. Rear Yard (Interior Lots).....30 Ft.*
Min. Interior Side Yard.....3 Ft.
Min. Exterior Side Yard.....6 Ft.
Min. Lot Width.....60 Ft.
Tree Save Required.....0.455 Ac. (10.00% of Site Area)
Tree Save Provided.....0.460 Ac. (10.11% of Site Area)
Common Open Space Provided.....0.68 Ac. (14.95% of Site Area)
* Development Standards based upon incentives of Charlotte Tree Ordinance.



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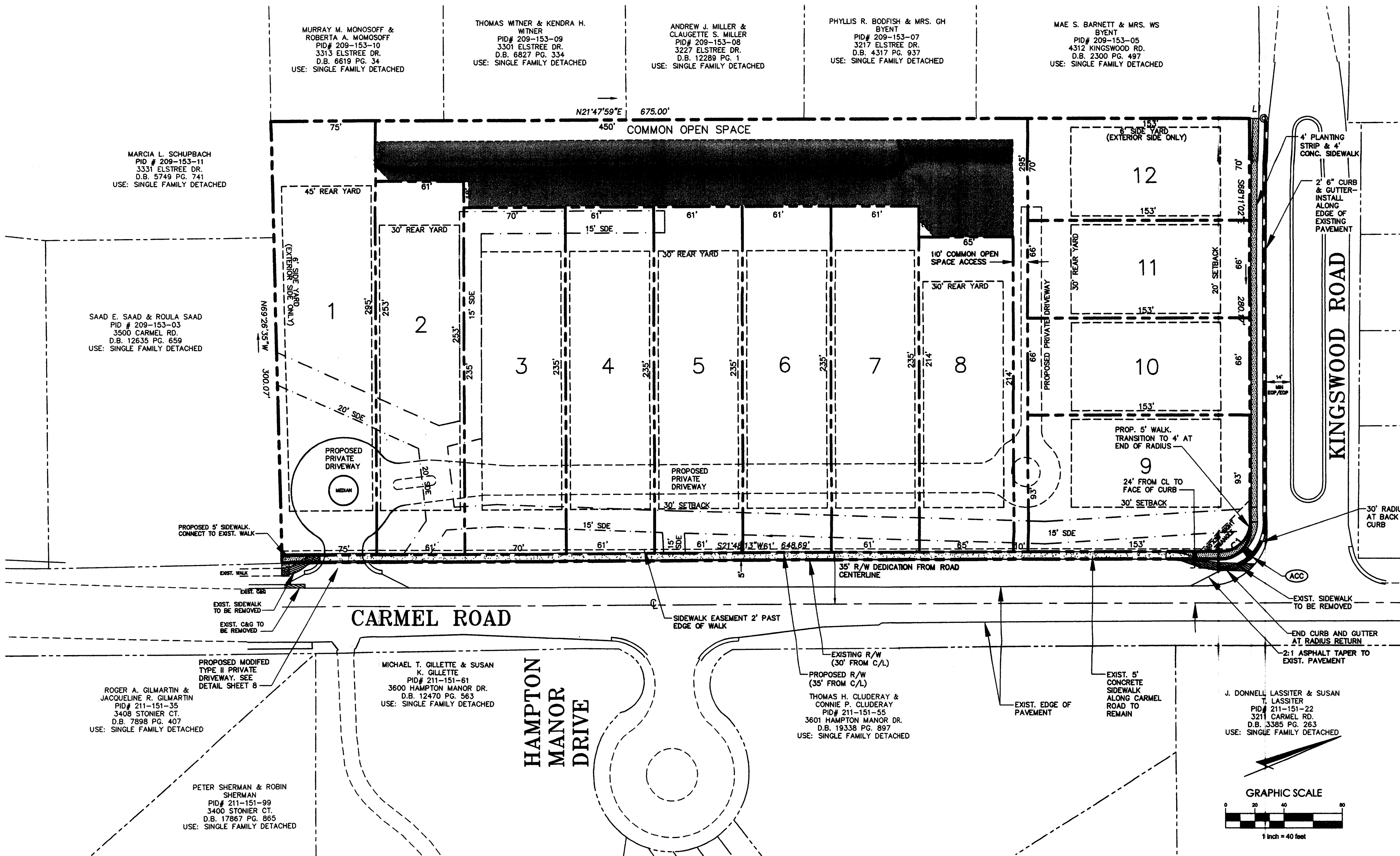
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M C M X X V I

PRELIMINARY SUBDIVISION PLAN

REVISIONS		
MARK	DATE	DESCRIPTION
1	9/13/07	PER CITY AND CLIENT REVIEW

Date	Job No.
SEPTEMBER 13, 2007	2007-0997
Scale	Sheet
1" = 40'	3/10



References

- North Carolina Department of Transportation, January 1, 2006 or most recent edition, *Standard Specifications for Road and Structures*
- City of Charlotte Department of Transportation, June, 1995 or most recent edition, *Work Area Traffic Control Handbook (WATCH)*
- City of Charlotte Storm Water Services-Mecklenburg County Storm Water Services, July 8, 1993 or most recent edition, *Charlotte-Mecklenburg Storm Water Design Manual*
- American Association of State Highway and Transportation Officials, 1990 or most recent edition, *A Policy on Geometric Design of Highways and Streets*
- North Carolina Department of Transportation, *Roadway Design Manual*
- North Carolina Department of Environment, Health, and Natural Resources, September 1, 1988 or most recent edition, *Erosion and Sediment Control Planning and Design Manual*

LOT AREA TABLE	
LOT	S.F.
1	26,278
2	18,439
3	18,444
4	18,330
5	18,331
6	18,331
7	18,331
8	18,908
9	18,130
10	18,100
11	18,101
12	10,735

LINE TABLE			
LINE	LENGTH	BEARING	
LI	73.08	N56°17'37"E	

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING
C1	72.60	300.00	36.48	72.42
				N48°21'39"E
				13°31'57"

LEGEND

- 15' SDE
- Prop. Storm Drainage Easement
- Prop. Setback
- Prop. Property Line
- Prop. Site Boundary / Right-of-Way
- Existing Concrete Sidewalk to remain (along Carmel Road)
- Proposed Concrete Sidewalk (along Kingswood & Carmel Road)
- Existing Concrete Sidewalk to be removed
- Accessible Ramp
- Tree Save Area
- Proposed 2'-6" Curb & Gutter (along Kingswood Road)

APPROVED FOR
CONSTRUCTION
C.M.P.C.
JLB 10/29/2007