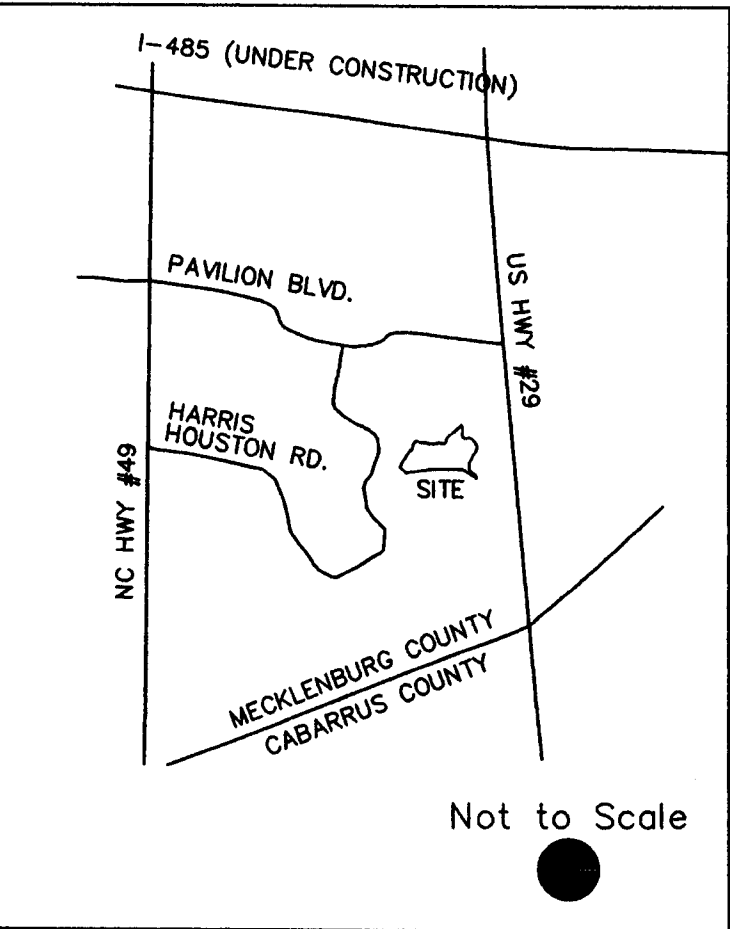


Vicinity Map



NOTES:

- 1. SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF THE STREET A MINIMUM OF 4' FROM THE BACK OF CURB.
- 2. THE CROWN (TRANSVERSE SLOPE) FOR THE TYPICAL SECTIONS ON THIS SHEET IS 3/8" PER FT.
- 3. IF EXISTING PUBLIC STREET RIGHT-OF-WAY IS NOT AVAILABLE, THE SIDEWALK IS REQUIRED TO BE CONSTRUCTED OUTSIDE THE STREET RIGHT-OF-WAY ON A PERMANENT EASEMENT.
- 4. PLANTING STRIP ADJACENT TO SIDEWALK SHALL BE GRADED TO 1/4 INCH PER FOOT (MIN.) UP TO 1 1/4 INCH PER FOOT (MAX.), EXCEPT WHERE EXCESSIVE NATURAL GRADES MAKE THIS REQUIREMENT IMPRACTICAL. IN SUCH CASES, THE CITY/COUNTY ENGINEER MAY AUTHORIZE A SUITABLE GRADE.
- 5. SIDEWALK WIDTHS SHALL BE A MINIMUM OF FOUR(4) FEET UNLESS OTHERWISE SPECIFIED. A 5' X 5' SIDEWALK IS REQUIRED AT LEAST EVERY 200' AS REQUIRED BY ADA FOR A PASSING ZONE UNLESS OTHERWISE PROVIDED BY RESIDENTIAL DRIVEWAYS, INTERSECTING SIDEWALK, ETC.

- STAKING NOTES:**
- 1. 20' RADIUS AT R/W FOR LOCAL STREETS.
 - 2. 30' RADIUS AT E/C FOR LOCAL STREETS.
 - 3. ACCESSIBLE RAMP, SEE DETAIL 9.22 ON SHEET 8.3
 - 4. SIGHT TRIANGLE, 35'X35' AT ALL INTERSECTIONS.
 - 5. LOCAL RESIDENTIAL STREET, SEE DETAIL 1 ON SHEET 8.3
 - 6. CUL-DE-SAC, SEE SHEET 8.3
 - 7. RESIDENTIAL COLLECTOR STREET, SEE DETAIL 4 ON SHEET 8.3
 - 8. STAKING INFORMATION IS AVAILABLE ON DISC (R-14 OR 2000) UPON REQUEST.

- TREE SAVE NOTES:**
- 1. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINE STANDARDS.
 - 2. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
 - 3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
 - 4. VIOLATIONS OF THE TREE PROTECTING REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
 - 5. PLANT LARGE MATURING SHADE TREES ON 40-50 FT. SPACING WHEN POWER LINES ARE NOT PRESENT.
 - 6. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 - 7. FOR NEW PLANTING AREAS, REMOVE CONSTRUCTION DEBRIS, UN-COMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
 - 8. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - 9. PLEASE CALL 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS 1 TO 2 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
 - 10. ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
 - 11. NEW TREES SHALL BE 2" CALIPER FOR STREET TREE REQUIREMENTS. SUPPLEMENTAL TREES SHALL BE 1-1/2" CALIPER IF PLANTED IN INDIVIDUAL LOTS, AND 3/4" CALIPER IF PLANTED IN COMMON OPEN SPACE.
 - 12. ENCROACHMENT INTO TREE SAVE AREAS IS NOT PERMITTED. LOTS THAT CONTAIN TREE SAVE AREA SHALL BE DEED RESTRICTED TO PREVENT REMOVAL OF PROTECTED TREES.
 - 13. CONTRACTOR TO REMOVE ALL TRASH, DEBRIS AND DEAD LIMBS FROM THE FIRST 15' OF ALL TREE SAVE AREAS AT THE DIRECTION OF THE OWNER AND UPON APPROVAL OF LOCAL AUTHORITIES.

LINE TABLE		
LINE	LENGTH	BEARING
L1	122.61	N44°30'16"E
L2	46.97	N32°31'44"E
L3	121.12	N46°18'19"E
L4	34.29	S09°26'18"W
L5	99.04	S21°33'47"E
L6	90.01	S10°07'56"E
L7	257.83	N78°46'47"E
L8	73.81	N67°52'29"E
L9	95.81	S75°09'44"E
L10	115.93	N43°41'41"W
L11	99.97	N69°34'57"E
L12	305.32	N01°59'43"W
L13	131.57	N85°23'26"W
L14	235.93	N80°25'03"W
L15	479.52	N04°26'34"E

CURVE TABLE			
CURVE	LENGTH	RADIUS	TANGENT/DELTA
C1	192.23	250.00	98.60 31°28'52"
C2	125.05	405.00	63.03 17°41'28"
C3	162.32	300.00	83.20 31°09'09"
C4	199.07	100.00	99.87 11°24'51"
C5	277.90	425.00	144.12 37°27'51"
C6	45.47	225.00	22.81 11°34'41"
C7	247.93	170.00	151.90 83°39'42"
C8	491.25	325.00	297.08 64°51'37"
C9	365.32	500.00	191.24 41°51'45"

Development Data

Tax Parcel No.: 05106122
Zoning: R-4 CD
Zoning Jurisdiction: Charlotte, NC (ETJ)
Zoning Petition: 9918C
Deed References: DB 19015 PG 17
DB 10763 PG 244

Total Property Area: 45.17 Ac.
Lots Allowed by Zoning: 180
Lots Proposed: 113
Density Proposed: 2.45 d.u./Ac.
Tree Save Required: 4.52 Ac. (10%)
Tree Save Provided: 14.47 Ac. (32%)

Lot Data
Typ. Lot Size: 60' x 130'
Min. Lot Width: 60'
Min. Lot Size: 6,000 SF
Setbacks
Front: 30'
Side: 5'
Corner side: 15'
Rear: 30' internal
40' external

	Acreage	# lots	COS ac.	COS %	Greenway ac.
Existing Phase 1	45.37	142	5.12	11.28 %	8.53
Phase 2	45.17	113	16.03	35.49 %	15.89
TOTAL	90.437	361 MAX	21.15	23.39 %	24.42

Greenway Calculations

Petition No. 99-18C
Total Greenway to be dedicated: 22.4 Ac.
Greenway dedicated for Houston Hills Phase 1: 8.53 Ac.
Total Greenway Required for The Meadows at Houston Hills: 13.87 Ac.
Total Greenway dedicated for the Meadows at Houston Hills: 15.89 Ac.

SWIM Buffer Calculations

Total Area Between SWIM Buffer and FEMA Fringe: 7.30 Ac.
50% Total area Required Between SWIM Buffer and FEMA Fringe: 3.65 Ac.
Additional SWIM Buffer Area Provided: 3.84 Ac.

LEGEND:

SYMBOL	DETAIL
	PROPOSED EDGE OF PAVEMENT / BACK OF CURB
	PROPOSED SIDEWALK
	PROPOSED ACCESSIBLE RAMP
	PROPOSED STOP SIGN
	PROPOSED STREET SIGN
	FLOODWAY
	COMMUNITY ENCROACHMENT LINE
	FEMA FLOODWAY ENCROACHMENT LINE
	MECK. COUNTY DEDICATED GREENWAY LINE
	FLOODPLAIN
	FUTURE CONDITIONS FLOOD FRINGE LINE
	FEMA FLOOD FRINGE LINE
	EXISTING WETLANDS
	50% ADDITIONAL SWIM BUFFER
	SWIM BUFFER - STREAM SIDE ZONE (UNDISTURBED)
	SWIM BUFFER - MANAGED USE ZONE
	SWIM BUFFER - UPLAND ZONE
	PROPOSED 35'X35' SIGHT TRIANGLE
	100+1 STORMWATER ELEVATION LINE

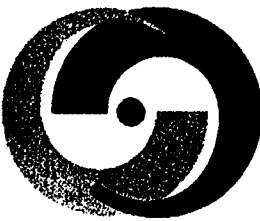
100+1 Storm Water Elevation Summary

Section	100 yr W.S.E.	100 yr S.W.P.E.
X1	587.50	588.50
X2	587.50	588.50
X3	587.50	588.50
X4	587.50	588.50
X5	587.50	588.50
X6	587.50	588.50
X7	587.50	588.50
X8	587.50	588.50
X9	587.50	588.50
X10	587.50	588.50
X11	588.63	590.83
X12	591.42	592.42
X13	592.69	593.69
X14	593.29	594.29
X15	594.77	595.77
X16	598.88	599.88

Storm Water & Flood Protection Elevations

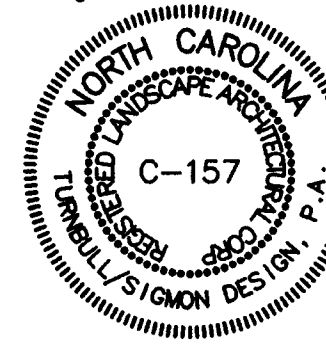
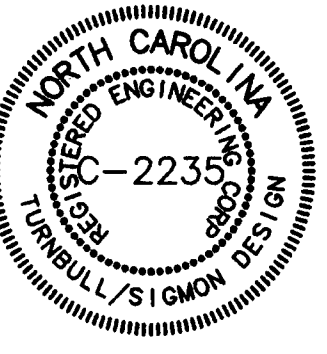
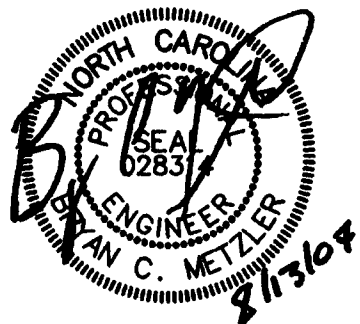
Lot #	F.P.E.	Lot #	S.W.P.E.
26	589.30	81	588.50
27	589.30	82	588.50
28	589.30	83	588.50
29	589.30	84	588.50
54	589.30	85	588.50
55	589.30	86	588.50
56	589.30	87	588.50
57	588.50	88	588.50
58	588.50	89	588.52
59	588.50	90	588.52
60	588.50	91	588.52
113	589.30	72	588.92
		73	590.83
		74	592.42
		75	593.69
		76	593.69
		77	594.29
		78	595.77
		79	595.77
		80	595.77
		87	599.88
		88	599.88

TURNBULL SIGMON DESIGN



Turnbull Sigmon Design
1001 Morehead Square Dr.
Suite 520
Charlotte, NC 28203
Phone: 704.529.6500
Fax: 704.522.0882

LAND DEVELOPMENT DESIGN SERVICES



THE DRAWINGS AND THE DESIGN SHOWN THEREON ARE INSTRUMENTS OF TURNBULL SIGMON DESIGN, P.A. THE REPRODUCTION OR UNAUTHORIZED USE OF THE DOCUMENTS WITHOUT THE CONSENT OF TURNBULL SIGMON DESIGN, P.A. IS PROHIBITED. 2007

Capital Land Partners

1001 MOREHEAD SQUARE DRIVE
SUITE 280
CHARLOTTE, NC 28203

The Meadows at Houston Hills

CITY OF CHARLOTTE, ETJ
NORTH CAROLINA

Preliminary Subdivision Plan

APPROVED FOR CONSTRUCTION
CML 8/31/07

PROJECT NUMBER: 06-051

DRAWN BY: ALL

DESIGNED BY: ALL

ISSUE DATE: 01/31/07

- 4. 08/13/07 JTS PER LUESA COMMENTS
 - 3. 08/01/07 JTS PER CITY/LUESA COMMENTS
 - 2. 06/15/07 JTS PER CITY COMMENTS
 - 1. 04/24/07 JTS PER CITY COMMENTS
- NO. DATE: BY: REVISIONS: