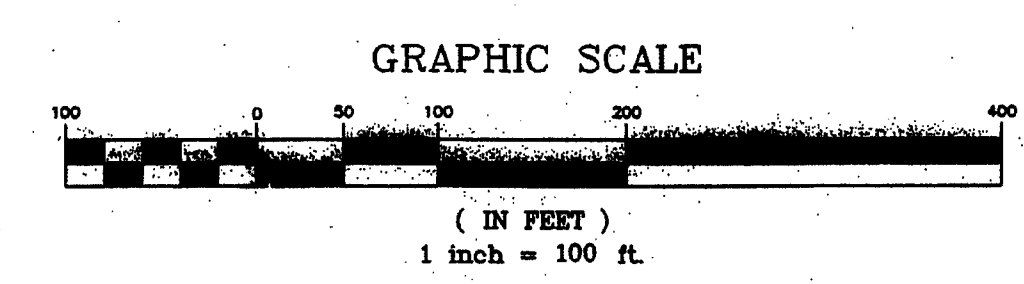
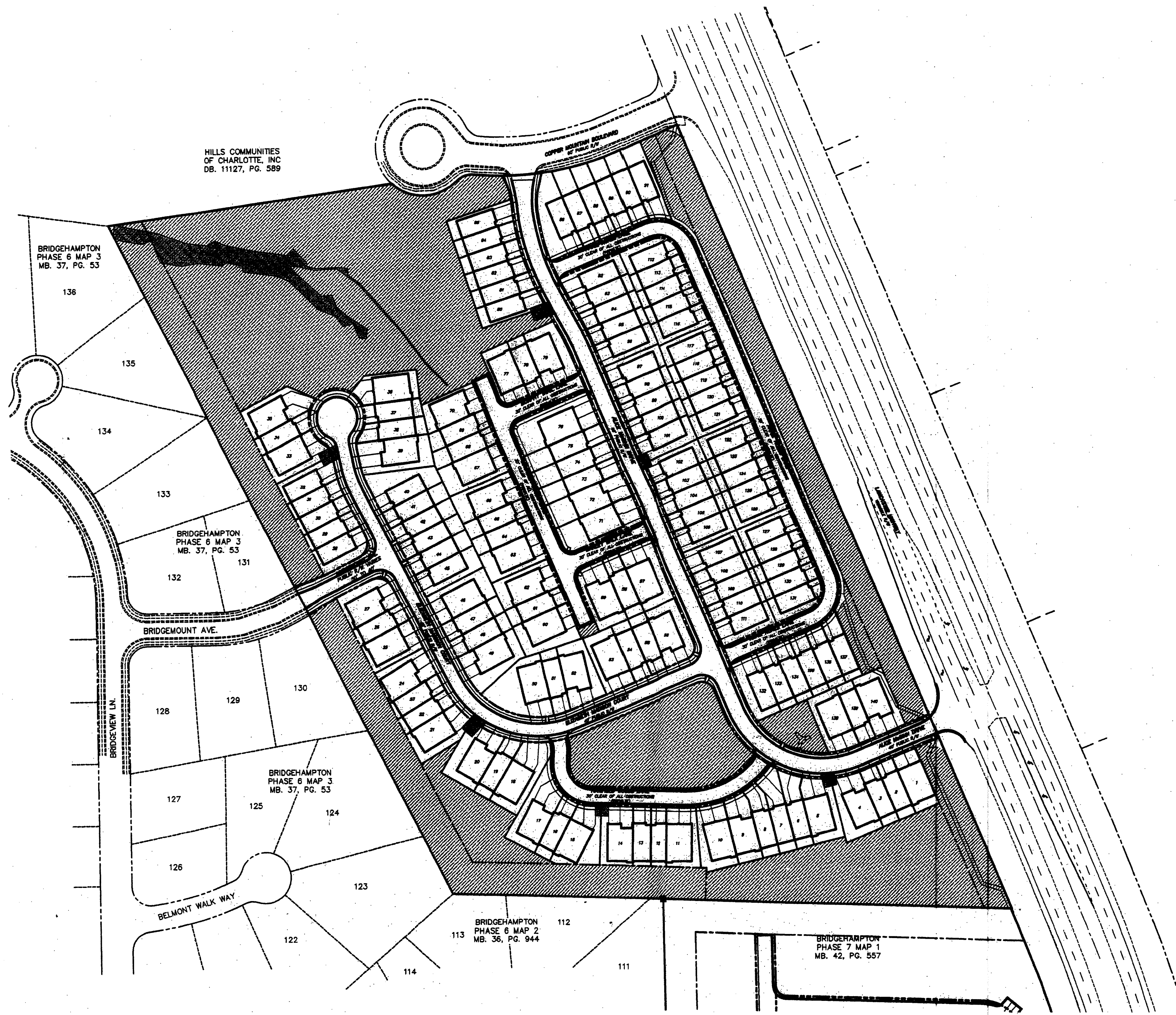


# McCARLEY

CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
Charlotte-Mecklenburg Planning Commission  
9/19/07



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THIS SET CURRENT THRU 8/8/07



McCARLEY  
SHEET 1  
TH14COV.DWG

ENGINEERING FIRM:  
PLANS PREPARED BY: ESP ASSOCIATES, P.A.  
ADDRESS: 3475 Lakemont Blvd. Fort Mill, SC 29708  
PHONE: (803) 835-0917

DEVELOPER  
ADDRESS: The McAlpine Group, L.L.C.  
1329 East Morehead Street  
Charlotte, NC 28204-2913  
PHONE: (704) 362-2400

ESP Associates, P.A.  
P.O. Box 7030  
Charlotte, NC 28241  
3475 Lakemont Blvd.  
Fort Mill, SC 29708  
704-362-4949 (NC)  
803-802-2440 (SC)  
www.espassociates.com



## 1. SITE DATA

2. BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION BY ESP ASSOCIATES, P.A., TITLED TOPOGRAPHIC SURVEY OF 23.837 ACRES AND DATED AUGUST 2008.
3. WETLANDS SHOWN HEREON WERE DELINEATED BY WETLAND NATURAL RESOURCE CONSULTANTS, INC. AND DELINEATION WAS FIELD LOCATED BY ESP ASSOCIATES, P.A. DATED SEPTEMBER 2005.
4. ALL IMPROVEMENTS SHALL CONFORM WITH THE LATEST EDITION OF CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL, THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES.
5. ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
6. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR OBTAINING LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. CITY OF CHARLOTTE ENGINEERING DEPARTMENT IS TO BE NOTIFIED 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF CONSTRUCTION.
8. HANDICAP ACCESSIBLE RAMPS REQUIRED AT ALL INTERSECTIONS.
9. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
10. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS 50.05 (9" SIGNS ONLY).
11. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
12. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
13. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT EXISTING GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
14. IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM 0.5% SLOPE ON THE CURB.
15. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
16. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
17. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
18. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
19. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBMISSION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY UTILITY ORDINANCE.
20. NEW STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
21. MINIMUM COVER ON STORM DRAIN PIPE SHALL BE TWO FEET, UNLESS THE PIPE IS A REINFORCED CONCRETE PIPE WITH CLASS IV REINFORCING, IN WHICH CASE IT SHALL HAVE A MINIMUM OF ONE FOOT OF COVER.
22. CATCH BASINS AT INTERSECTIONS SHALL BE BUILT TO FEET FROM RADIUS POINTS, REGARDLESS OF HOW DRAWING MAY APPEAR(SEE CMLDS#10.30 FOR MORE DETAIL).
23. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
24. COMMON ON-SITE EROSION CONTROL DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
25. DIRECT VEHICULAR ACCESS TO HIGHWAY 521 FROM LOTS 1, 93, 126-154, TO COPPER MOUNTAIN BOULEVARD FROM LOTS 97-93, AND TO BRIDGEMOUNT AVENUE FROM LOTS 27 AND 28 IS PROHIBITED.
26. RETAINING WALL DESIGN TO BE COMPLETED BY OTHERS, AND ANY RETAINING WALL DETAIL SHOWN HEREON IS FOR SCHEMATIC PURPOSES ONLY.
27. PROPOSED ROADWAY HORIZONTAL AND VERTICAL DATA PROVIDED ON INDIVIDUAL ROAD PLAN AND PROFILE SHEETS.
28. NO OBSTRUCTIONS, PLANTINGS, OR FENCING WILL BE ALLOWED WITHIN SIGHT DISTANCE EASEMENTS AS SHOWN ON PLANS.
29. BENCHMARK FOR THIS PROJECT IS THE EXISTING SANITARY SEWER MANHOLE RIM, ELEV. 671.35, LOCATED IN BRIDGEMOUNT AVENUE BASED ON NGVD 29 DATUM.
30. AS BUILT SURVEYS ARE TO BE BASED ON THESE BENCHMARKS.
31. LESS THAN A 0.10 OF AN ACRE OF WETLAND IMPACT, AND NO JURISDICTIONAL STREAM IMPACTS ARE PROPOSED WITH THIS PROJECT.
32. ALL ON-SITE STORM DRAINAGE SHALL BE CLASS III RCP OR GREATER AS SPECIFIED.
33. ALL GRATES & COVERS FOR ADS INLINE DRAINS & DRAINAGE BASINS SHALL BE H20 RATED.
34. ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
35. ANY FENCE OR WALL CONSTRUCTION ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.

1. SITE DEMOLITION INCLUDES THE REMOVAL OF GRAVEL, VEGETATION AND BUILDING MATERIALS.
2. TREES DEVOTED AS BEING SAVED WILL BE PROTECTED WITH AN APPROVED TREE PROTECTION FENCE PRIOR TO COMMENCEMENT OF GRADING OR DEMOLITION.
3. LIGHT POLES SHOWN TO BE REMOVED ARE TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES IN ORDER TO REMOVE WITHOUT DISTURBING THE SERVICE.
4. UTILITY LINES (IF ANY) SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANIES FOR RELOCATION.
5. EXISTING WELLS, SEPTIC LINES, AND SEPTIC TANKS SHALL BE ABANDONED AND REMOVED IN ACCORDANCE WITH ANY LOCAL, STATE, AND/OR FEDERAL STANDARDS.
6. CONTRACTOR RESPONSIBLE FOR COMPLETE SCOPE OF DEMOLITION AND MUST COORDINATE WITH ALL REGULATORY AGENCIES AND UTILITY COMPANIES.
7. SAW CUT ASPHALT AND CONCRETE AT DEMOLITION TERMINATION POINT.
8. CONTRACTOR RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS.

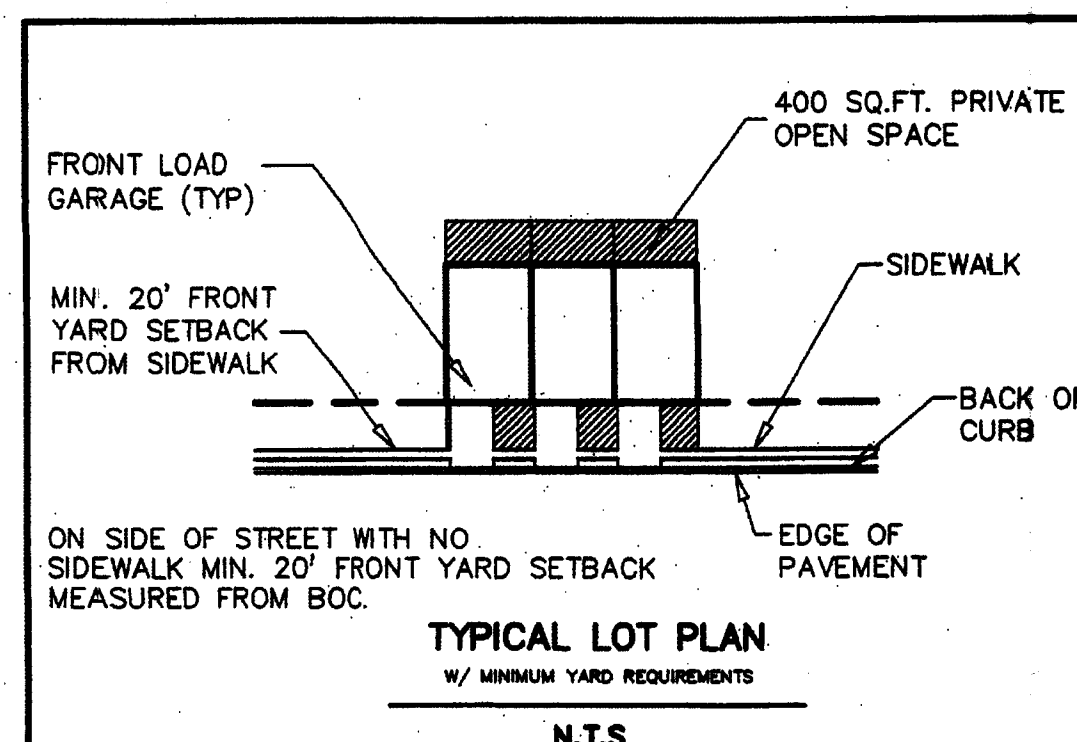
- 200.02 METHOD OF CLEARING -- METHOD II
- 225.02 GUIDE FOR GRADING SUBGRADE -- SECONDARY & LOCAL
- 300.01 METHOD OF PIPE INSTALLATION -- METHOD "A"
- 840.71 CONCRETE AND BRICK PIPE FLUG
- 848.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
- 848.01 CONCRETE SIDEWALK
- 848.05 WHEELCHAIR RAMP -- CURB CUT
- 868.02 GUIDE FOR RIP, RAP AT PIPE OUTLETS
- 1101.01 WORK ZONE ADVANCE WARNING SIGNS
- 1101.02 TEMPORARY LANE CLOSURES
- 1101.04 TEMPORARY SHOULDER CLOSURES
- 1101.05 WORK ZONE VEHICLE ACCESSES
- 1101.11 TRAFFIC CONTROL DESIGN TABLES
- 1102.02 PORTABLE WORK ZONE SIGNS -- MOUNTING HEIGHT & LATERAL CLEARANCE
- 1115.01 FLASHING ARROW PANELS
- 1130.01 DRUMS
- 1135.01 CONES
- 1145.01 BARRICADES -- TYPES I, II, III AND PERMANENT
- 1150.01 FLAGGERS
- 1205.01 PAVEMENT MARKINGS -- LINE TYPES & OFFSETS
- 1205.02 PAVEMENT MARKINGS -- DIVIDED & UNDIVIDED ROADWAYS
- 1205.04 PAVEMENT MARKINGS -- INTERSECTIONS
- 1205.05 PAVEMENT MARKINGS: TURN LANES
- 1205.09 PAVEMENT MARKINGS -- PAINTED ISLANDS

**CURB, SIDEWALK, DRIVEWAY DETAILS**

<u>CURB, SIDEWALK, DRIVEWAY DETAILS</u>			
10.17A, 10.17B & 10.17C			
10.17A	CLMDS	CURB & GUTTER	
10.22	CLMDS	CURB TRANSITION	
10.27	CLMDS	CONCRETE SIDEWALKS	
10.29	CLMDS	RESIDENTIAL DRIVEWAY TYPE I FOR VALLEY GUTTER	
10.30	CLMDS	CATCH BASIN IN VALLEY GUTTER	
10.31A & 10.31B	CLMDS	CATCH BASIN PLACEMENT AT INTERSECTION	
10.33A & 10.33B	CLMDS	ACCESSIBLE RAMP STANDARDS 2'-6" CURB & GUTTER	
10.35A & 10.35B	CLMDS	ACCESSIBLE RAMP STANDARDS 2'-0" VALLEY CURB	
10.37	CLMDS	STANDARD PLACEMENT OF ACCESSIBLE RAMPS	
		TYPICAL LOCAL RESIDENTIAL TO	
		LOCAL LIMITED RESIDENTIAL STREET TAPER	
<u>STREET SECTION DETAILS</u>			
11.01	CLMDS	LOCAL RESIDENTIAL STREET TYPICAL SECTION	
11.13	CLMDS	TYPICAL SECTIONS PRIVATE STREET	
11.15	CLMDS	TYPICAL SECTION IMPROVEMENTS ON EXISTING	
		NCDOT THOROUGHFARES	
11.16	CLMDS	CITY OF CHARLOTTE AND ETJ RESIDENTIAL	
		CUL-DE-SAC DETAIL	
<u>DRAINAGE DETAILS</u>			
20.01A & 20.01B	CLMDS	BRICK CATCH BASIN 15" THRU 54" PIPE	
20.02A, 20.02B & 20.02C	CLMDS	FRAME, GRATE & HOOD FOR USE ON STANDARD CATCH	
		BASIN	
20.07	CLMDS	BRICK JUNCTION BOX	
20.09	CLMDS	CURB MANHOLE	
20.10	CLMDS	MANHOLE FRAME AND COVER	
20.11	CLMDS	DRAINAGE STRUCTURE STEPS	
20.13	CLMDS	BRICK DROP INLET	
20.14	CLMDS	FRAME & GRATE FOR DROP INLET	
20.23	CLMDS	RIPRAP APRON AT PIPE OUTLET	
20.25	CLMDS	TRENCH DETAIL FOR STORM DRAIN PIPES	
20.30	CLMDS	MINIMUM DRAINAGE EASEMENT REQUIREMENTS	
20.31A & 20.31B	CLMDS	BEST MANAGEMENT PRACTICES WET POND	
<u>EROSION CONTROL DETAILS</u>			
30.01	CLMDS	RISER TYPE SEDIMENT BASIN	
30.02	CLMDS	GRAVEL & RIP RAP SEDIMENT BASIN	
30.03	CLMDS	GENERAL NOTES	
30.04	CLMDS	FLEXIBLE PIPE SLOPE DRAIN	
30.05	CLMDS	TEMPORARY SILT DITCH	
30.06	CLMDS	TEMPORARY SILT FENCE	
30.09	CLMDS	SILT FENCE STORM INLET SEDIMENT TRAP	
30.10	CLMDS	TEMPORARY ROCK CHECK DAM	
30.11A	CLMDS	STABILIZED CONSTRUCTION ENTRANCE	
30.12	CLMDS	GRAVEL & RIP RAP FILTER BERM BASIN	
30.16	CLMDS	SLOPE STABILITY	
30.17A & 30.17B	CLMDS	SEEDING SCHEDULE	
<u>TREE DETAILS</u>			
40.01	CLMDS	TREE PLANTING	
40.02	CLMDS	TREE PROTECTION DETAIL	
40.09	CLMDS	ROOT CROWN DEPTHS	
40.10	CLMDS	TREE PLANTING-NOTES	
40.13	CLMDS	TEMPORARY TREE PROTECTION DETAIL	
<u>MISCELLANEOUS DETAILS</u>			
50.05A & 50.06	CLMDS	STREET NAME SIGN	
50.06	CLMDS	STREET NAME SIZE INSTALLATION	

\* Contractor is responsible for obtaining the current version of these specifications and constructing all site improvements in accordance with the current specifications.

1. ALL FILL TO BE COMPACTED TO 95% A.A.S.H.T.O. STANDARD COMPACTION. REFER TO THE SOILS REPORT FOR SITE PREPARATION, GRADING AND FILL REQUIREMENTS.
2. THE SITE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION INDICATED TO REMAIN AND SHALL MAINTAIN ALL TREE PROTECTION BARRICADES.
3. THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
4. THE PROPOSED CONTOURS SHOWN IN DRIVES, ROADS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS-SECTION DATA TO ESTABLISH CORRECT SUB-BASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER ASPHALT.



1. CARE SHALL BE TAKEN TO PREVENT DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THESE UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORT TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE DEVELOPER IMMEDIATELY IF UNKNOWN UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
3. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OTHER FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE DEVELOPER. CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR ALL REPAIRS, AND REPAIRS ARE TO BE PERFORMED TO THE DEVELOPER'S APPROVAL.
4. UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED BY THE CITY OF CHARLOTTE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY THE DEVELOPER PRIOR TO CONSTRUCTION.
6. CONCRETE JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
7. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA, CITY OF CHARLOTTE, AND THE CITY OF CHARLOTTE. IF ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
9. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
10. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
12. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, FIELD SURVEYS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY TRENCHING OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. FOR ASSISTANCE WITH FIELD LOCATION OF EXISTING UTILITIES THE CONTRACTOR CAN CONTACT NC ONE CALL AT 1-800-632-4949.
13. ALL BUILDING DIMENSIONS ARE TO BE TAKEN FROM THE ARCHITECTURAL PLANS.
14. ALL DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.

SITE DATA

PIN	223-51-105
ZONING	MX-2 - INNOVATIVE PETITION #2006-013
TOTAL AREA	23.84 ACRES
MAX. NO. OF UNITS ALLOWED	170 UNITS
TOTAL NO. OF PROPOSED UNITS	140 UNITS
ACREAGE IN LOTS	11.52 AC.
ACREAGE IN NEW R/W	1.25 AC.
ACREAGE IN NEW 30' CLEAR OF OBSTRUCTION	2.47 AC.

TREE SAVE DATA

TOTAL TREE SAVE AREA	2.61 ACRES
PERCENTAGE OF TOTAL ACREAGE	10.95%
REQUIRED TREE SAVE PERCENTAGE	10.0%

COMMON OPEN SPACE DATA

COMMON OPEN SPACE	8.45 ACRES
PERCENTAGE OF TOTAL ACREAGE	35.44%
MINIMUM ALLOWABLE	15.0%

STREET DATA

LINEAR FEET OF NEW STREETS	2418 LF (PUBLIC R/W)
LINEAR FEET OF NEW STREETS	2260 LF (PRIVATE R/W)

UNIT DATA

TOTAL UNITS		± 140 UNITS
PRODUCT "A"	3 UNIT (AVG. 108'x60')	± 9 BUILDINGS
PRODUCT "B"	4 UNIT (AVG. 136'x59')	± 8 BUILDINGS
PRODUCT "C"	6 UNIT (AVG. 204'x59')	± 2 BUILDINGS
PRODUCT "D"	5 UNIT (AVG. 140'x60')	± 9 BUILDINGS
PRODUCT "E"	6 UNIT (AVG. 169'x60')	± 4 BUILDINGS

TOTAL DENSITY ± 5.87 UNITS/ACRE

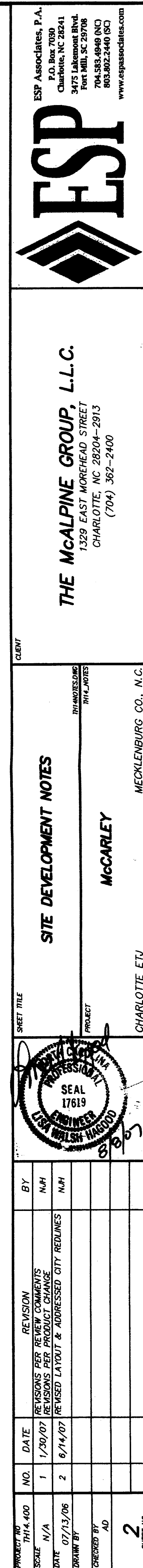
EACH UNIT TO HAVE MINIMUM 400 SQUARE FEET OF PRIVATE OPEN SPACE. PRIVATE OPEN SPACE NOT TO INCLUDE SIDEWALKS, DRIVEWAYS, BUFFERS OR LANDSCAPE AREAS PER REZONING PLAN

UNITS ARE TO BE A MINIMUM OF 20' FROM PUBLIC AND/OR PRIVATE RIGHT OF WAYS OR BACK OF SIDEWALK, WHICHEVER IS GREATER.

NOTE: ALL BMPs, STORM WATER TREATMENT, AND 85% TSS REMOVAL CAN BE INCLUDED AND BUILT WITHIN THE REQUIRED 17.5% TREE SAVE AREA AS LONG AS THERE IS A MINIMUM OF 10% TREE SAVE COVERAGE PROVIDED AFTER BMPs, STORM WATER TREATMENT AND RUN OFF REQUIREMENTS, AND 85% TSS REMOVAL ARE DEVELOPED AS PER REZONING DEVELOPMENT STANDARDS.

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ESP Associates, P.A.





## DEVELOPMENT STANDARDS

### General Provisions:

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the MX-2 Residential Mixed Use Zoning District classification shall be followed in connection with development taking place on the Site subject to the Innovative Development Standards set out below. The petitioner requests a 5 year vesting of approval of rezoning.

The configurations, placements and sizes of the buildings outlined on the Illustrative Site Plan accompanying this Rezoning Petition are schematic in nature and, subject only to the provisions set forth below, may be altered or modified during design development and construction document phases. Parking layouts may also be modified to accommodate final building locations. It is the Petitioner's intent to construct a high quality community, that is not a gated community, compatible with the surrounding existing development.

### Permitted Uses:

Subject to the requirements set out herein, a maximum of up to 170 "for sale" single family attached dwelling units may be constructed on the site along with any incidental or accessory uses in connection therewith, which are permitted by right or under prescribed conditions in the MX-2, Residential Mixed Use Zoning District and detailed in Chapter 11 Conditional Zoning Districts, Part 2 Section 11.2 of the City of Charlotte Zoning Ordinance. Commercial Uses shall not be allowed on site. Petitioner reserves the right to change products, increase or decrease the size of units, which are currently specified during design process, provided total product mix does not exceed the total allowed unit count. Products contiguous or backing up to the property line between the single family home portion of Bridgehampton Subdivision and McCarty will be limited to 2 stories.

### Density:

Gross Residential density for the project will not exceed 8.0 dwelling units per acre. Open space areas shall be included in the calculations for gross residential density.

### Landscaping and Buffers:

The site will comply with Chapter 21 of the City Code. Proposed planting shown is conceptual only and will be subject to change on actual site conditions and Urban Forestry Staff approval. Internal landscaping shown on the plan is illustrative and the exact design will be determined during the detailed design and development process. Perimeter buffers will be installed in accordance with Chapter 3, Part 3 Section 12.302 of the City of Charlotte Zoning Ordinance. The 40' landscaped berm along Highway 521 will be approximately 5'-6' in height and consistent with a 40' Class "C" buffer. If the alternative development option is used for the Alley loaded product along Highway 521, this 40' landscaped berm shall be replaced by a 30' front yard with a 5'-6' in height landscaped berm consistent with a 30' Class "C" buffer. Petitioner will not be reducing buffers by use of a fence, wall, or berm. The 40' required rear yards on exterior units can be included in the buffers.

### Parking:

Parking will be provided which will meet or exceed applicable standards set forth in Chapter 12 of the City of Charlotte Zoning Ordinance. For parking on site there will be a 20' setback between the sidewalk and the face of garage and where there will not be a sidewalk there will be a 20' setback from the back of curb to the face of garage.

### Signs:

All signs placed on the Site will be erected in accordance with the requirements of Chapter 13 of the City of Charlotte Zoning Ordinance.

### Tree Save Areas:

A minimum of 17.5 percent tree save area shall be provided on the site. All BMP's, storm water treatment, and 85% TSS removal can be included and built within this 17.5 percent tree save area as long as there is a minimum of 10% tree save coverage provided after BMP's, storm water treatment and run off requirements, and 85% TSS removal are developed. Within the 17.5 percent tree save the site's existing vegetation shall be identified and preserved to satisfy the tree save requirements specified in the City of Charlotte Tree Ordinance. Tree save areas may be located within common open space. Plantings may not be used to satisfy the tree save requirements. This tree save area will generally be located in the north-west portion of the site and along the buffer adjacent to Bridgehampton. Petitioner will commit to a tree preservation for the specific protection of the trees within "Alice McGinn Garden" petitioner requests that they reserve the right to remove the center cherry tree should a certified arborist determine that its removal is warranted for the protection and health of the oak trees located within the garden. This garden is not subject to market conditions and will be constructed.

### Common Open Space Area:

A minimum of 15 percent of the Site shall be devoted to open space. All common open space will be maintained by a Homeowners Association to be established by the Petitioner. Open space areas depicted on the Illustrative Schematic Plan represent the approximate location and extent of areas set aside to provide a minimum of 15 percent open space. The location of open space areas are considered to be preliminary based on the proposed Illustrative Schematic Plan layout and may be subject to further verification and/or configuration as more detailed design information is collected. "Alice McGinn Garden" will be constructed by preserving existing trees in that location along with benches, walkway, and commemorative plaque honoring the history of the property. Other open spaces areas will include one or more of the following types of improvements. Benches, arbors, plantings, and paved trails. Petitioner reserves the right to amend and modify improvements to open space areas based on market conditions and final design criteria. Petitioner will provide 400 square feet of private open space per unit. This 400 square feet of private open space per unit will not be included in the 40' landscape berm or buffers. Patios for each unit can be included in this private open space.

### Amenity Features:

The petitioner reserves the right to include an amenity feature on the site possibly including but not limited to clubhouse, pool, cabana, recreational fire pit, and a water feature.

### Streetscape Treatment:

Petitioner shall comply with street tree planting requirements specified in Chapter 21 of the City Code. Petitioner shall install 5' sidewalks and a 4' planting strip along one side of all internal private streets of the project. Petitioner shall install sidewalks and a 4' planting strip on both sides of all internal public streets of the project per street sections "D" and "E" on the Illustrative Schematic Plan.

### Lighting:

Any detached lighting on the site will be limited to 20 feet in height unless City standards require streetlights to be higher. Lighting on the site shall be fully shielded and no Wal-Pak lighting shall be used.

### Site Access:

Access to the site will be provided by street connections to Copper Mountain Boulevard, NC Highway 521, and Bridgemount Ave. Adjustments to the locations of street and driveway entrances may occur, as required to meet state and local agency standards and coordinate with final subdivision and site plan design requirements. Petitioner shall not use Bridgemount Avenue for construction entrance. Construction traffic will not be allowed to utilize the road system of the Bridgehampton subdivision. Petitioner/developer shall lengthen the left turn lane on US 521 to provide a minimum of 150 feet of storage and a 15:1 bay taper. Petitioner requested connection to Bridgehampton Townhomes and request was rejected by owner of the Bridgehampton Town Homes development. Therefore a connection will not be made to the Bridgehampton Town Homes. Proposed trees, berms, walls, fences, and/or identification signs will not interfere with site distance at street connections. Adequate sight triangles will be reserved at the proposed street connections in accordance with approved standards and ordinances.

### Amendments to Zoning Plan:

Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

### Innovative Development Standards:

The petitioner, in accordance with the provisions of Section 11.208, "Innovative Development Standards", may propose modifications to the following standards:

1. Street type, dimensions, and construction standards
2. Sidewalk, curbs, and gutters
3. Minimum lot size and lot width
4. Setbacks, side, front, and rear yards for principle and accessory structures.
5. Building separation

It is the petitioners intent to create the opportunity to seek modification of any or all of these standards, but the details of any such proposed modification will be established and reviewed in accordance with the standard innovative process after more detailed and specific engineering of the site. The petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of the site. These are not zoning regulations, are not administered by the zoning Administrator, and are not separate zoning conditions imposed by the site plan.

### Binding Effect of the Rezoning Petitions:

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

### Site Acreage:

The site acreage was determined to be 23.83 acres as provided by the ESP Associates boundary survey dated 9-15-05, this acreage supersedes the GIS calculated acreage of 22.9 acres.

### Public Transportation:

Petitioner will comply with reserving an area for CATS and the construction of the concrete pad. CATS will be responsible for locating pad during engineering plan review and constructing shelter.

### Fire Department:

Petitioner will meet or exceed all current approved ordinances and codes of the Charlotte fire department as of date of approval. Min. water supply for two story town homes is 1500 gpm @20 psi. Dead end travel limited to 150 feet without a means to turn fire apparatus. Access required within 150 feet of all exterior walls. All buildings required to have 12 feet clear for ladder rescue. Hydrant required within 750 feet of most remote point of building as truck travels.

### Storm Water:

Petitioner will meet or exceed all current approved ordinances for Storm water volume and peak controls, solid waste, air quality, and groundwater / wastewater services as of date of approval.

The petitioner shall tie-in to the existing storm water system(s). The petitioner shall have the receiving drainage system(s) analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide alternate methods to prevent this from occurring.

The petitioner shall control and treat the entire runoff volume for the post-development 1-year 24-hour storm. Runoff draw down time shall be a minimum of 24 hours, but not more than 120 hours. Peak storm water release rates should match pre-development rates for the 2-year and 10-year 6-hour storm events.

The use of structural storm water treatment systems (wet ponds, extended detention wetlands, bio-retention, etc) shall be incorporated into the site and designed to have an 85% average annual removal for Total Suspended Solids generated from the development according to specifications in the most recent version of the N.C. Department of Environment and Natural Resources Best Management Practices Manual (Design Standards shall be met according to the City of Charlotte BMP Manual, when available). The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria, (for example those that regulate streets, sidewalks, trees, stormwater, and site development, etc.) will apply to the development site. Conditions set forth in this petition are supplementary requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission the stricter condition or existing requirements shall apply. Where it is related to Right of Way the petitioner will be utilizing private roads in this development.

### Alternative Development Option:

Development Alternative Option "A" - Petitioner reserves the right to utilize an alternative development option incorporating alley loaded product along the eastern portion of the site adjacent to Highway 521 (See Illustrative Schematic Plan for details). This alley loaded product alternative will have separate development standards and will be permitted provided product mix does not exceed allowed unit count.

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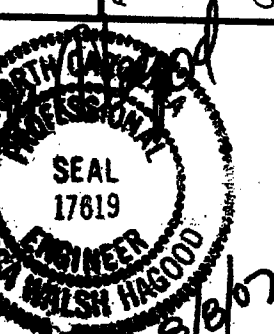
THE MCALPINE GROUP, L.L.C.

1339 EAST MOREHEAD STREET  
CHARLOTTE, NC 28204-2913  
(704) 362-2400

CLIENT

REZONING NOTES

SHEET FILE



PROJECT NO.	NO.	DATE	BY	REVISION	REVISION LAYOUT & ADDRESS CITY REVISIONS
TH14-400	1	6/14/07	N/A		
DATE	03/30/07				
ORDERED BY					
DATE					
2A					



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# GRAPHIC SCALE



CURVE	RADIUS	LENGTH	BEARING	CHORD	DELTA
C1	75.00'	112.15'	N88°12'14"E	101.99'	85°40'37"
C2	35.00'	30.71'	N70°29'59"E	29.73'	50°15'55"
C3	460.00'	230.84'	N81°15'19"E	228.43'	28°45'11"

ZONING: R-BMF(CD)  
USE: MULTI-FAMILY  
HILLS COMMUNITY OF CHARLOTTE  
DB 11127 PG 589  
PID# 22351176

N82°07'59"E 454.26'(TOTAL)

ZONING: R-3  
USE: SINGLE FAMILY  
BRIDGEHAMPTON  
PHASE 6 MAP 3  
MB 37 PG 53

136  
JASON J. & LESLIE L. WAGNER  
BK 14159, PG. 638  
PID# 22351227

135  
JOHN M. & CATHERINE M. FLOWER  
BK 14880, PG. 278  
PID# 22351228

134  
DAVID & NANCY YEN  
BK 18142, PG. 848  
PID# 22351229

133  
STEVEN A. & LISA P. RUBIN  
BK 17201, PG. 917  
PID# 22351230

ZONING: R-3  
USE: SINGLE FAMILY  
BRIDGEHAMPTON  
PHASE 6 MAP 3  
MB 37 PG 53

131  
THOMAS A. MACDONALD et ux  
BK 17201, PG. 917  
PID# 22351232

130  
DANIEL A. & VICTORIA M. LINDEMAN  
BK 14347, PG. 83  
PID# 22351301

124  
DAVID M. & SHERI L. ZALLAR  
BK 15078, PG. 148  
PID# 22351307

123  
JAMES R. & BARBARA J. KIDD  
BK 17373, PG. 225  
PID# 22351308

BRIDGEHAMPTON  
PHASE 6 MAP 2  
LLOYD E. & JUANITA JOHNSON  
BK 18866, PG. 274  
PID# 22351316

ZONING: R-3  
USE: SINGLE FAMILY  
KEVIN D. GLOVER & DONA L. DALY-GLOVER  
BK 18870, PG. 592  
PID# 22351318

## LEGEND

- PROP. SANITARY SEWER EASEMENT
- PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED R/W LINE
- PROPOSED CURB
- PROPOSED SIDEWALK
- EXISTING LOT LINE
- EXISTING R/W LINE
- STORM DRAINAGE EASEMENT
- BMP EASEMENT
- TREE SAVE AREA
- COMMON OPEN SPACE
- SIDEWALK EASEMENT
- WETLAND
- EXISTING SANITARY SEWER EASEMENT
- SIGHT TRIANGLE

## SITE DATA

PIN 223-51-105  
ZONING MX-2 INNOVATIVE  
PETITION #22008-013  
TOTAL AREA 23.84 ACRES  
MAX. NO. OF UNITS ALLOWED 170 UNITS  
TOTAL NO. OF PROPOSED UNITS 140 UNITS (THIRTEEN FOR SALE)  
ACREAGE IN LOTS 11.52 AC.  
ACREAGE IN NEW R/W 2.25 AC.  
ACREAGE IN NEW 30' CLEAR OF OBSTRUCTION 1.47 AC.

## TREE SAVE DATA

TOTAL TREE SAVE AREA 2.61 ACRES  
PERCENTAGE OF TOTAL ACREAGE 10.95%  
REQUIRED TREE SAVE PERCENTAGE 10.0%

## COMMON OPEN SPACE DATA

COMMON OPEN SPACE 8.45 ACRES  
PERCENTAGE OF TOTAL ACREAGE 35.44%  
MINIMUM ALLOWABLE 15.0%

## STREET DATA

LINEAR FEET OF NEW STREETS 2418 LF (PUBLIC R/W)  
LINEAR FEET OF NEW STREETS 2260 LF (PRIVATE R/W)

## UNIT DATA

TOTAL UNITS ± 140 UNITS  
PRODUCT "A" 3 UNIT (AVG. 108'x60') ± 9 BUILDINGS  
PRODUCT "B" 4 UNIT (AVG. 136'x58') ± 8 BUILDINGS  
PRODUCT "C" 6 UNIT (AVG. 204'x58') ± 2 BUILDINGS  
PRODUCT "D" 5 UNIT (AVG. 140'x60') ± 9 BUILDINGS  
PRODUCT "E" 6 UNIT (AVG. 168'x60') ± 4 BUILDINGS

## TOTAL DENSITY

± 5.87 UNITS/ACRE

EACH UNIT TO HAVE MINIMUM 400 SQUARE FEET OF PRIVATE OPEN SPACE. PRIVATE OPEN SPACE NOT TO INCLUDE SIDEWALKS, DRIVEWAYS, BUFFERS OR LANDSCAPE AREAS PER ZONING PLAN.

UNITS ARE TO BE A MINIMUM OF 20' FROM PUBLIC AND/OR PRIVATE RIGHT OF WAYS OR BACK OF SIDEWALK, WHICHEVER IS GREATER.

\*NOTE: ALL BMPs, STORM WATER TREATMENT, AND 85% TSS REMOVAL CAN BE INCLUDED AND BUILT WITHIN THE REQUIRED 17.5% TREE SAVE AREA AS LONG AS THERE IS A MINIMUM OF 10% TREE SAVE COVERAGE PROVIDED AFTER BMPs, STORM WATER TREATMENT AND RUN OFF REQUIREMENTS, AND 85% TSS REMOVAL ARE DEVELOPED AS PER ZONING DEVELOPMENT STANDARDS.

## HEIGHT

40' MAX - BUILDINGS ADJUTING THE PROPERTY LINE WITH SINGLE FAMILY WILL BE LIMITED TO TWO STORIES

## PARKING

REQUIRED: 1.5 SPACES PER UNIT = 210 SPACES  
PROVIDED: 2 SPACES PER UNIT = 280 SPACES

## SETBACKS

LANCASTER HWY: 40'

INTERNAL PUBLIC STREETS: 15' PER 9.303 (191); 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK PER INNOVATIVE

INTERNAL PRIVATE STREETS: 15' ON SIDE WITH ENTRYWAY; 5' ON SIDE WITHOUT ENTRY; 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK OR BACK OF CURB

## BUILDING SEPARATION - 16' MINIMUM

## SOLID WASTE/RECYCLING

REQUIRED (SOLID WASTE): ONE 8 CY COMPACTOR PER 90 UNITS OR ONE 8 CY DUMPSTER PER 30 UNITS

PROVIDED (SOLID WASTE): TWO 8 CY COMPACTORS

REQUIRED (RECYCLING): ONE 144 SF RECYCLING STATION PER 80 UNITS = TWO RECYCLING STATIONS

PROVIDED (RECYCLING): TWO RECYCLING STATIONS

DEVELOPER ANTICIPATES PRIVATE ROLL OUT SERVICE. DUMPSTER AND RECYCLE AREAS DEPICTED ON SITE PLAN ARE SHOWN ONLY AS AN ALTERNATE COLLECTION AREA

## STREET LIGHT NOTE:

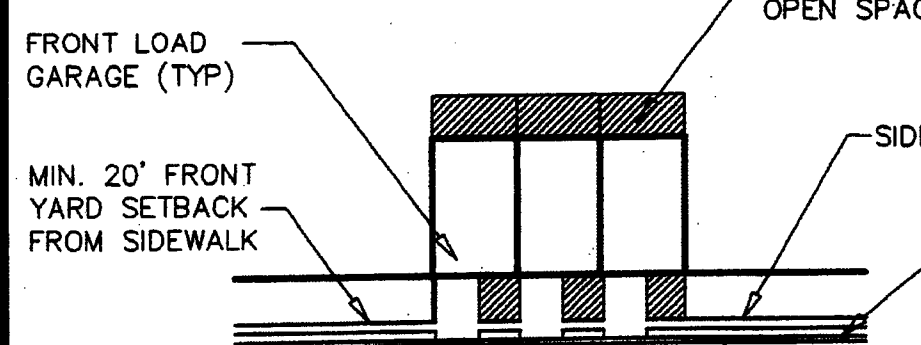
STREET LIGHTS ARE TO BE "ACORN" STYLE FROM DUKE POWER'S OUTDOOR LIGHTING SERVICE. ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 20 FEET IN HEIGHT UNLESS CITY STANDARDS REQUIRE STREETLIGHTS TO BE HIGHER. LIGHTING ON THE SITE SHALL BE "FULLY SHIELDED" AND NO WALL-HIGH LIGHTING SHALL BE USED

EXISTING GRAVEL DRIVEWAY

EXISTING CONCRETE DRIVEWAYS



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TYPICAL LOT PLAN

N.T.S

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**THE McALPINE GROUP, L.L.C.**  
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(704) 362-2400

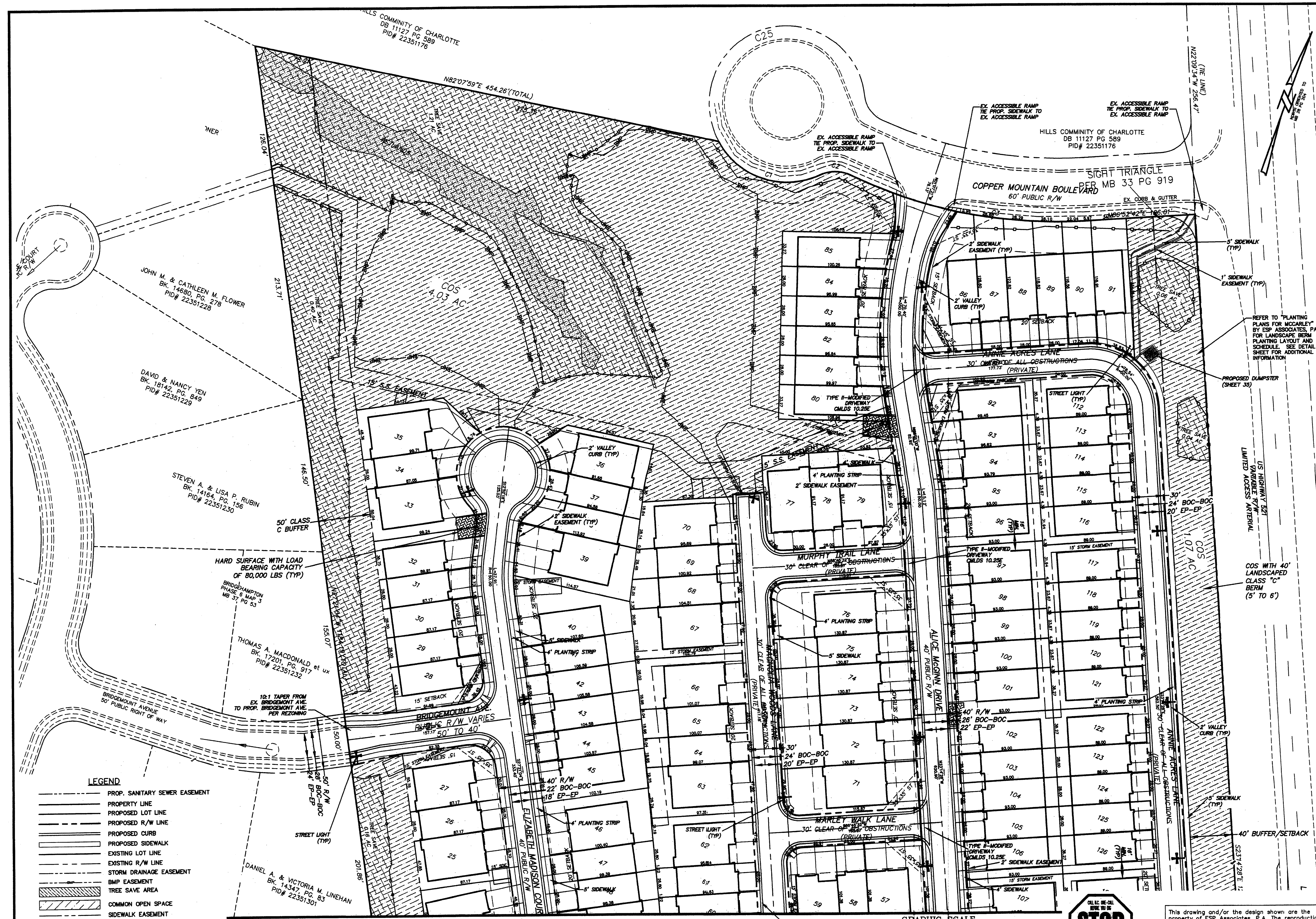
**SITE PLAN OVERALL**

MECKLENBURG CO., N.C.  
McCARLEY

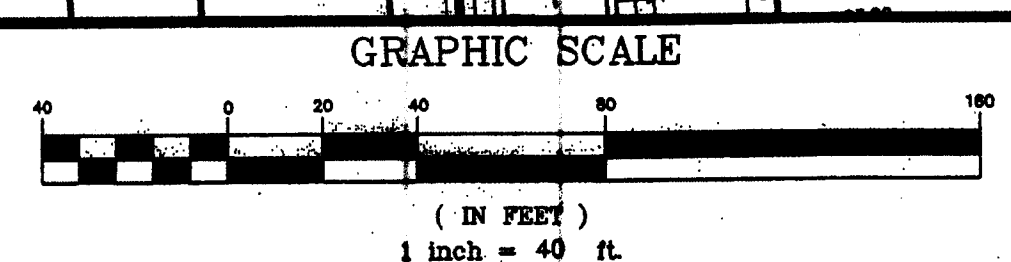
PROJECT: 223-51-105  
SHEET: 5

NO.	DATE	REVISION	BY	FOR
1	1/30/07	REVISED PER REVIEW COMMENTS	PSC	N/A
2	6/14/07	REVISED LAYOUT & ADDRESS CITY REQUINS	N/A	N/A
3	7/13/06	REVISED LAYOUT & ADDRESS CITY REQUINS	N/A	N/A
4	7/13/06	REVISED LAYOUT & ADDRESS CITY REQUINS	N/A	N/A
5	7/13/06	REVISED LAYOUT & ADDRESS CITY REQUINS	N/A	N/A





MATCH LINE SEE SITE PLAN 2 OF 2



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- LEGEND**
- PROP. SANITARY SEWER EASEMENT
  - PROPERTY LINE
  - PROPOSED LOT LINE
  - PROPOSED R/W LINE
  - PROPOSED CURB
  - PROPOSED SIDEWALK
  - EXISTING LOT LINE
  - EXISTING R/W LINE
  - STORM DRAINAGE EASEMENT
  - BMP EASEMENT
  - TREE SAVE AREA
  - COMMON OPEN SPACE
  - SIDEWALK EASEMENT
  - WETLAND
  - EXISTING SANITARY SEWER EASEMENT
  - SIGHT TRIANGLE

**THE McALPINE GROUP, L.L.C.**  
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CHARLOTTE, NC 28204-2913  
(704) 362-2400

**McCARLEY**

**MECKLENBURG CO., N.C.**  
CHARLOTTE, ETJ

**CHARLOTTE**

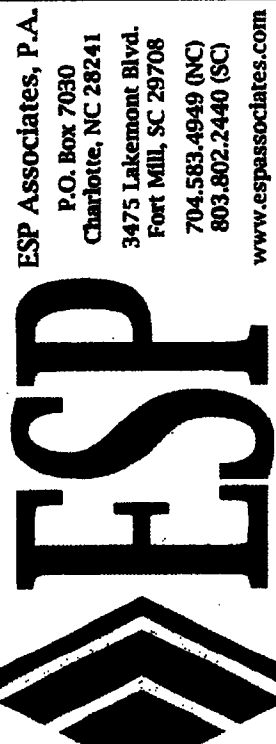
**SEAL 17613**

NO.	DATE	REVISION	BY
1	1/30/07	REVISIONS PER REVIEW COMMENTS	PSC
2	6/14/07	REVISIONS PER PRODUCT CHANGE	N/H
3	7/13/08	REVISED LAYOUT & ADDRESS CITY REDUCES	N/H
4	7/30/07	REVIEW COMMENTS	N/H
5			
6			

PROJECT NO. TH14-400  
SCALE: 1" = 40'  
DATE: 07/13/08  
DRAWN BY:  
CHECKED BY:  
SHEET NO. 6



MATCH LINE SEE SITE PLAN 1 OF 2



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1329 EAST MOREHEAD STREET  
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SITE PLAN 2 OF 2

McCARLEY

MECKLENBURG CO., N.C.

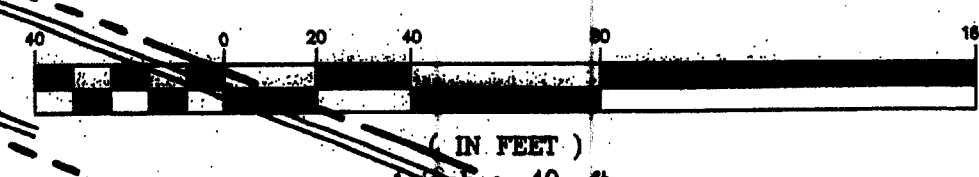


NO.	DATE	REVISION	BY	DATE	REVISION	BY
1	1/20/07	REVISIONS PER REVIEW COMMENTS	PSC			
2	6/14/07	REVISED LAYOUT & ADDRESS CITY REFINES	N/A			
3	7/30/07	REVIEW COMMENTS	N/A			
4						
5						
6						
7						

PROJECT NO. TH14-400  
SHEET NO. 7  
X:\TH14-McGinn Property\Drawings\TH14-ESP.dwg, SP 2, 11/11/07

- LEGEND**
- PROPOSED SANITARY SEWER EASEMENT
  - PROPERTY LINE
  - PROPOSED LOT LINE
  - PROPOSED R/W LINE
  - PROPOSED CURB
  - PROPOSED SIDEWALK
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GRAPHIC SCALE



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