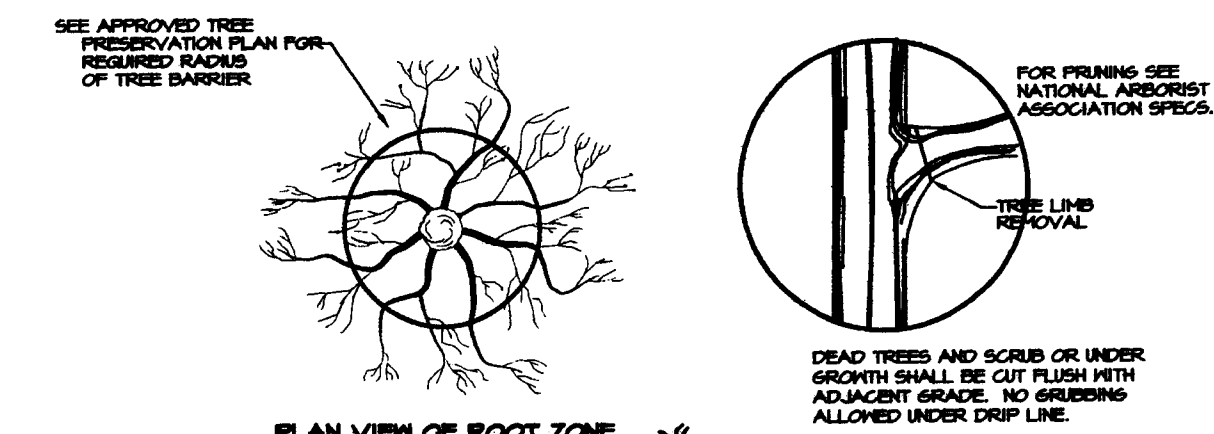


SHEET INDEX

Sheet No.	Sheet Title
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Pre)
4	Erosion Control Plan (Post)
5	Roadway & Storm Drainage Profiles/ Site Construction Details
6	Wilson Drive (Driveway Permit)



TREE PROTECTION NOTES

NOTE: NO SOIL DISTURBANCE OR COMPACTION CONSTRUCTION MATERIALS, TRAFFIC, BURNING, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.

TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDNANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDNANCE GUIDELINES APPENDIX) BEFORE GRADING/CONSTRUCTION BEGINS. CALL 704-358-4824 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.

VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.

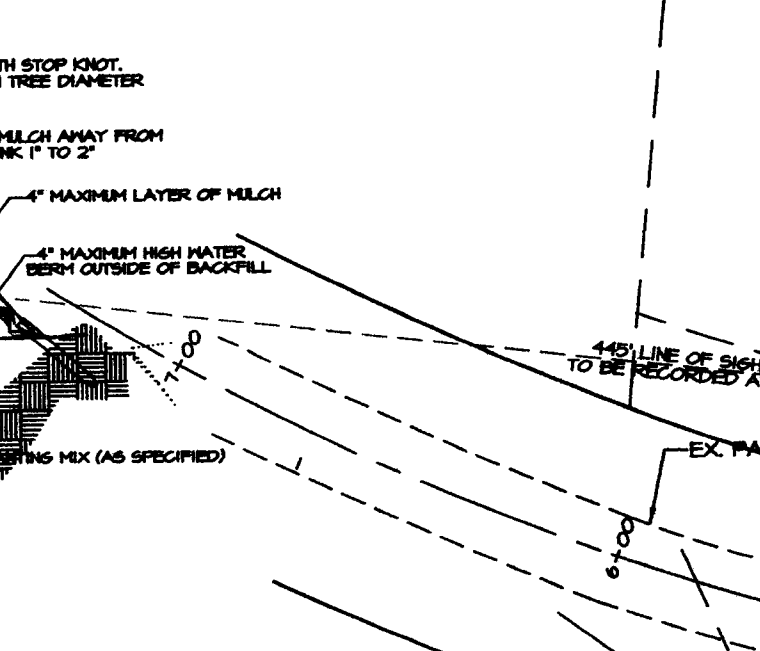


1. REMOVE ALL BARRICADES UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 0400 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

TREE PROTECTION DETAIL



1. REMOVE WIRE OR NYLON TRAPS FROM BALL.
2. SOAK ROOT BALL AND PLANT IMMEDIATELY AFTER INSTALLATION.
3. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
4. STAKES REQUIRED FOR LEAVING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES, SEC. 0400 - TREE PLANTING PART 5 FINAL DET.



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, H40, PART 1, "SHADE AND FLOWERING TREES") FOR EXAMPLE:

CALIPER	HEIGHT (RANGE)	MAX HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	10'-14'	15'	12"	24"
3"	14'-18'	20'	18"	36"
4"	18'-22'	25'	24"	48"

PLANTING DETAIL - SINGLE/MULTI-STEM TREE

SEE SHEET 6

LANDSCAPE PLAN NOTES

MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER, 8' TALL IF SINGLE STEM, MINIMUM 10' TALL AND 3 STEMS MAXIMUM IF MULTI-STEM. MULCH IS REQUIRED. STAKING/BARRICADES IS OPTIONAL.

FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" TOP SOIL OR COMPOST AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MAX STANDARDS FOR TREES (FRESH EXISTING MINIMUM AREA OF 214 SQUARE FEET PER TREE). CALL 704-358-4824 FOR AN INSPECTION OF SOIL BEFORE PLANTING TREES.

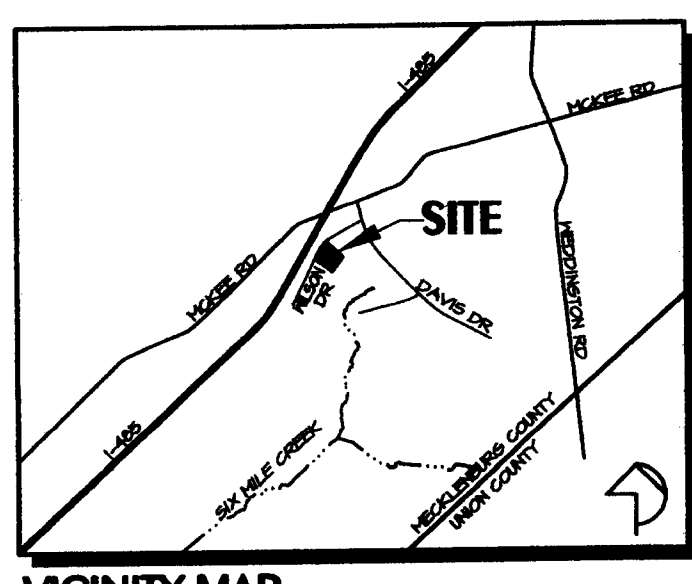
ALL STRAPPING AND 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO UNLOADING PLANTING PIT. REMOVE TOP 1/3 OF THE BASKET FROM ROOT BALL.

PLEASE CALL 704-358-4824 FOR FINAL INSPECTION OF TREES, 7 TO 10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS REQUIRED.

PREPARED TREE SPACING (20 MINIMUM) IS PAINTED IN GROUPS 40'-50' FOR LARGE MATURING TREES (25' MINIMUM IF PLANTED IN GROUPS). ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLACE 10'-30' OFF ROADS AND STORM DRAINAGE LINES, 10'-20' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.

EXISTING HEALTHY TREES WITHIN 25 FEET OF THE RIGHT-OF-WAY LINE MAY HAVE LINE MAY BE CREDITED TOWARD THE FORESTER REQUIREMENT IF SHOWN LANDSCAPE PLAN BY THE PRESERVED HEALTHY.

LARGE MATURING TREES THAT NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES COLLIDE WITH POWERLINES OR SIGNALS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.



VICINITY MAP

TREE REQUIREMENTS

FRONTAGE	LG	SH	STREET NAME
LF (2 SIDES)	TREES	TREES	
250	9	0	HILSON DRIVE
850	17	0	DEBORAH DRIVE
1140	20	6	TOTAL

SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE, 1140 LF

STREET TREES REQUIRED, 1140 / 50 = 23 (LARGE MATURING)

STREET TREES PROPOSED, 20 (LARGE, 6 SMALL)

* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED

(1) SMALL & LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.

DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET

NO HERITAGE TREES EXIST ON THIS PROPERTY

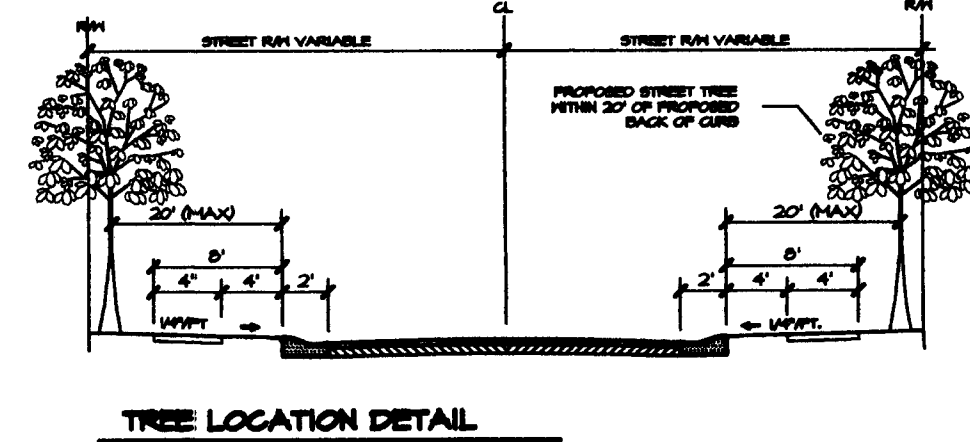
LEGEND

□ TREE PROTECTION FENCE

■ PROPOSED TREE SAVE AREA

SPECIMEN TREES

TREE DESCRIPTION	TREE CANOPY TOTAL (SF)	TREE CANOPY MINUS COS (SF)	TREE CREDIT ALLOWED (SF)
A. 50' TYPICAL OAK (2" R)	2642	1401	700
B. 24" TYPICAL OAK (2" R)	1602	1602	801
C. 24" TYPICAL OAK (2" R)	2468	2468	1234
TOTAL	6712	5065	2735 (10.14%)



TREE LOCATION DETAIL

SEE SHEET 6

COLE MILL DRIVE
50' PUBLIC R/WDUNDALK RD
50' PUBLIC R/WWILSON DRIVE
(PUBLIC R/W VARIES)
(CITY MAINTAINED)

GENERAL NOTES

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY A STORM LAND SURVEYING COMPANY.
3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE & FIELD SHOTS BY STORM LAND SURVEYING COMPANY.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
6. ALL STORM DRAINAGE PIPE SHALL BE GLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 5 FOR EROSION CONTROL DETAILS.
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 5 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE REQUIRED BY REFERENCE:

ITEM	CLD STD. NO.
CURB AND GUTTER	10.17
CATCH BASIN LOCATION	10.21 & 10.30
(C) BRICK CATCH BASIN	20.01 & 20.02
STREET NAME SIGN	30.05
CONCRETE MONUMENT	50.03
SIDEWALK	10.22
10. APPROXIMATE COMPLETION TIME IS FALL 2007.
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE UTILITY DEPARTMENT SYSTEM.
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
13. DURING CONSTRUCTION OF THE IMPROVEMENTS SPECIFIED BY THESE PLANS, THE DEVELOPER SHALL MAINTAIN THE STREAMBED OF ALL STREAMS, CREEKS, AND CHANNELS IN AN UNOBTURBATED STATE, AND SHALL REMOVE FROM THE CHANNEL AND/OR ITS BANKS, DEBRIS, LOGS OR OTHER ACCUMULATIONS AS REQUIRED TO FACILITATE PROPER DRAINAGE.
14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. THE DEVELOPER SHALL PROVIDE STREET SIGNS (1" SIGNS ONLY) PER CHARLOTTE-NECKLEBURG LAND DEVELOPMENT STANDARD NO. 50.05.
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
17. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLING.
18. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.
19. TO INSURE PROPER DRAINAGE, MINIMUM CURB AND GUTTER GRADE SHALL BE 0.50%.
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, AS REQUIRED BY THE INSPECTOR.
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNER.
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SHW. MH IN COLE MILL DR R/W, ELEV. = 100.80
23. CURB AND GUTTER SHOWN ON HILSON DR MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY OF CHARLOTTE.
24. COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 9.003
25. ALL IMPROVEMENTS TO HILSON ROAD TO BE COORDINATED WITH CHARLOTTE ENGINEERING DEPT. PRIOR TO CONSTRUCTION.
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION, MATERIALS, TRAFFIC, BURNING, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
32. COMMON OPEN SPACE/TREE SAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
33. THE PURPOSE OF THE STORM DRAINAGE ESBT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OTHER OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.
34. RE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
35. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
36. SIGN-TRANGLES SHOWN ARE MINIMUM.
37. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO A BACKFILL. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL IN THE PUBLIC STREET R/W.
38. DIRECT VEHICULAR ACCESS TO HILSON FROM LOTS 1, 2 & 12 IS PROHIBITED.

DEVELOPMENT DATA

TAX PARCEL NO. 231-053-82
ZONING CLASSIFICATION: R-3 (DEVELOPED AS R-3 CLUSTER)
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 5.73 AC
NO. OF UNITS ALLOWED BY ZONING: 3.75 X 3 = 11.25
AREA IN EASEMENTS/SPR. = 0.10 AC (CHUD 55 ESBT)
NET TOTAL SITE AREA = 5.63 AC
TREE SAVE REQUIRED: 10% X 5.63 AC = 0.56 AC
ADD. LOTS FOR 10% TREE INCENTIVE IN COS: 0.44 (12,000) AC X 3 = 132 LOTS
NO. OF UNITS ALLOWED/ PROPOSED: 12,501/12

R-3 CLUSTER LOT DATA:

MIN. LOT SIZE = 6,000 SF
MIN. LOT WIDTH = 60'
MIN. SETBACK = 20'
MIN. SIDE YARD = 6' EXTERNAL, 3' INTERNAL
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL

* USING TREESAVE INCENTIVE IN TREE ORDNANCE

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C-1	28.07'	500.00'	140.8'	280.3'	N4°20'30"W	10°43'24"
C-2	15.50'	200.00'	7.75'	15.49'	N45°45'37"E	4°26'22"
C-3	15.50'	200.00'	7.75'	15.49'	S45°45'37"E	4°26'22"

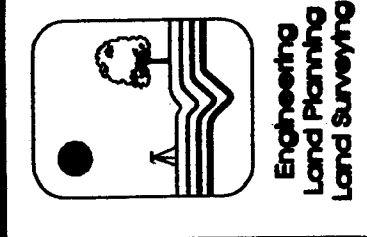
Preliminary Subdivision Site/Landscape Plan

MATHews PLACE

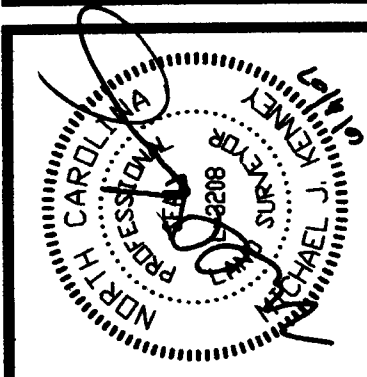
City of Charlotte, Mecklenburg County, North Carolina
Mathews Development, LLC, PO Box 2717, Matthews, NC 28106

KENNEY DESIGN
GROUP, PA

1316 GREENWOOD CLIFF
CHARLOTTE, NORTH CAROLINA 28204
PH: 704/377-6099 FAX: 704/377-6097
EMAIL: KENNEY@KENNEYDESIGN.COM



REVISIONS:
1. 28/07/07 REVISED PER CDD & CDDT REVIEW COMMENTS
2. 10/01/08 REVISED PER CDD & CDDT REVIEW COMMENTS
3. 10/01/08 REVISED PER CDD & CDDT REVIEW COMMENTS



Scale: 1"=40'
Date: 10/31/06
Drawn By: DDK
Designed By: MKK
Job No.: 1906

APPROVED FOR
CDDT
01/18/2007

APPROVED FOR
CDDT
01/18/2007

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