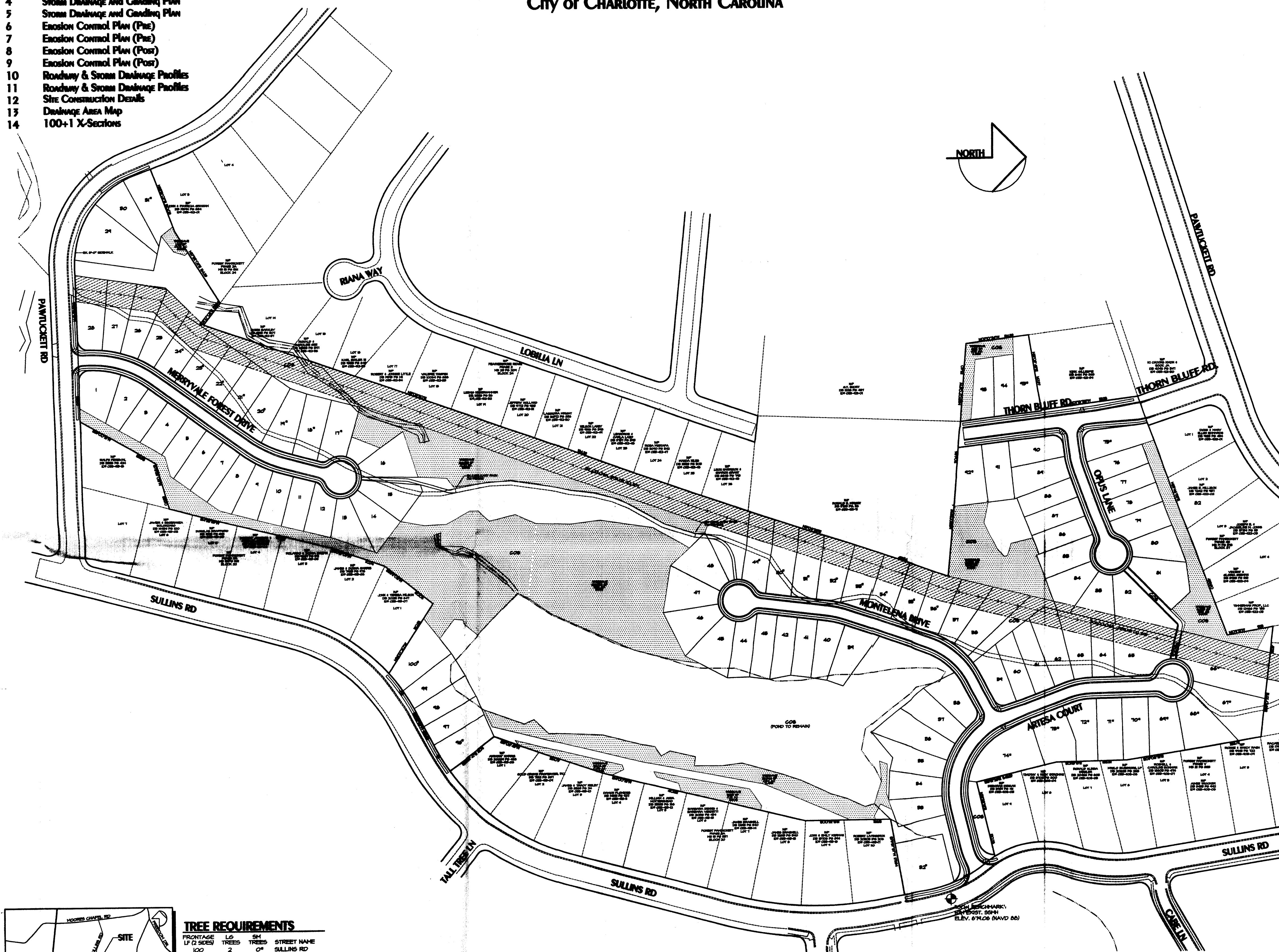


SHEET #	SHEET TITLE
1	COVER SHEET
2	Preliminary Subdivision Site/Landscape Plan
3	Preliminary Subdivision Site/Landscape Plan
4	Storm Drainage and Grading Plan
5	Storm Drainage and Grading Plan
6	Erosion Control Plan (Pre)
7	Erosion Control Plan (Pre)
8	Erosion Control Plan (Post)
9	Erosion Control Plan (Post)
10	Roadway & Storm Drainage Profiles
11	Roadway & Storm Drainage Profiles
12	SITE CONSTRUCTION DETAILS
13	DRAINAGE AREA MAP
14	100+1 X-Sections

CITY OF CHARLOTTE, NORTH CAROLINA



FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET NAME
100	2	0	SULLINS RD
800	16	0	PANTUCKETT RD
1300	26	0	MERRYVALE FOR
1400	26	0	ARTESA CT
1300	26	0	MONTELENA DR
600	12	0	OPUS LN
700	14	0	THORN BLUFF RD

6200 124 0 TOTAL
SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 6200 LF
STREET TREES REQUIRED: $6200 / 50 = 124$ (LARGE MATURING,
STREET TREES PROPOSED: 124 LARGE, 0 SMALL
* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED
(1) LARGE MATURING TREES SHALL BE FROM APPROVED
URBAN FORESTRY SPECIES LIST.
DIFFERENT SPECIES OF TREES SHALL BE USED
ON DIFFERENT STREET
NO HERITAGE TREES EXIST ON THIS PROPERTY

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION REGULATIONS, AND THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION FROM SURVEY PREPARED BY JASON LEE HYULIE P.L.S.
3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
7. SURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEETS 6-4 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 12 FOR EROSION CONTROL DETAILS.
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 12 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCULCATED BY REFERENCE:

CURB AND GUTTER	10:17
CURB TRANSITION	10:22
CATCH BASIN LOCATION	10:24 1 10:30
(C) BRICK CATCH BASIN	20:01 1 20:02
(DC) DOUBLE CATCH BASIN	20:03 1 20:04
STREET NAME SIGN	20:05
CONCRETE MONUMENT	20:09
SIDEWALK	20:11
BARRICADE	20:07 1 20:08
10. APPROXIMATE COMPLETION TIME IS FALL 2007.
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY DEPARTMENT SYSTEM.
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY HC RAMPS AND/OR SIDEWALK.
13. DURING CONSTRUCTION OF THE IMPROVEMENTS SPECIFIED BY THESE PLANS, THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES, ALLEYS, CREEKS, AND CHANNELS IN AN UNOBTURGED STATE, AND SHALL REMOVE FROM THE CHANNEL AND/OR ITS BANKS, DEBRIS, LOGS OR OTHER ACCUMULATIONS AS REQUIRED TO FACILITATE PROPER DRAINAGE.
14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. THE DEVELOPER SHALL PROVIDE STREET SIGNS (4" SIGNS ONLY) PER CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARD NO. 50:05.
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
17. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCUMBRANCE AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLING.
18. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DETIGES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.
19. TO INSURE PROPER DRAINAGE, MINIMUM CURB AND GUTTER GRADE SHALL BE 0.50%.
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BANE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, AS REQUIRED BY THE INSPECTOR.
21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SWR. MH IN SULLING ROAD R/W, ELEV.= 674.06 (NAVD 83)
23. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY OF CHARLOTTE.
24. TO THE OFF-SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 9:09.
25. ALL IMPROVEMENTS TO PANTICUETT 4 SULLING ROADS TO BE COORDINATED WITH CHARLOTTE ENGINEERING DEPT. PRIOR TO CONSTRUCTION.
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DETAULON/GRADING/CONSTRUCTION AND REMOVED BY THE CITY OF CHARLOTTE AFTER INSPECTION BY URBAN FORESTRY STAFF.
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT, MATLS, TRAFFIC, BURIAL, PITS, TRENDING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTION ACTIONS REQUIRED BY THE CITY OF CHARLOTTE.
30. NO DETAULON LANDFILLS WILL BE LOCATED ON THIS SITE.
31. ANY BUILDING WITHIN THE 100' STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORD. SECT. 7.200.0.B.
32. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (650 SULLING, 306-1066) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 66-100 SULLING WILL BE LOCATED ON THE MAJOR IN. PUBLIC STREET. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
33. COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF OBSTRUCTIONS.
34. THE PURPOSE OF THE STORM DRAINAGE ESMT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OTHER OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.
35. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
36. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE STORMWATER MANAGEMENT SYSTEM NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
37. SIGHT TRIANGLES SHOWN ARE MINIMUM.
38. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO BACKFILLING. BACKFILL MATERIAL SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO BACKFILLING. THE MATERIAL IN PUBLIC STREET

TAX PARCEL NO.: 035-415-4 + 035-410-01 & 02, 035-421-54 (PORTION)
ZONING CLASSIFICATION: R-4 (DEVELOPED AS R-5 (CLUSTER))
LOWER LAKE MYLIE WATERSHED OVERLAY - PA
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 24.74 AC.
NO. OF UNITS ALLOWED / PROPOSED: 24.74 x 4 = 110
AREA IN EASEMENTS/POND: 7.36 AC.
NET TOTAL SITE AREA: 22.38 AC.

TREE SAVE REQUIRED: 10% x 22.38 AC = 2.23 AC.
TREE SAVE PROPOSED: 5.68 AC. (25.39%)
ADDITIONAL LOTS FOR 10% TREE INCENTIVE IN COS: 5.68 AC x 4 = 22 LOTS
NO. OF UNITS ALLOWED / PROPOSED: 110 + 22 = 140 / 100
COMMON OPEN SPACE REQUIRED: 10% x 24.74 AC = 2.47 AC.
COMMON OPEN SPACE REQUIRED: 13.92 AC. = 44.28%

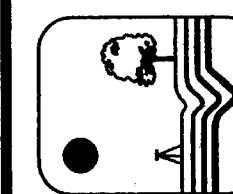
R-4 CLUSTER LOT DATA:
(LOTS 17-24, 51, 52, 44-56, 66-73, 85, 96, 100)
MIN. LOT SIZE = 6,000 SF
MIN. LOT WIDTH = 50'
MIN. SETBACK = 20'
MIN. SIDE YARD = 5' EXTERNAL, 3' INTERNAL*
MIN. REAR YARD = 40' EXTERNAL, 30' INTERNAL*

R-5 CLUSTER LOT DATA:
MIN. LOT SIZE = 4,300 SF
MIN. LOT WIDTH = 40'
MIN. SETBACK = 20'
MIN. SIDE YARD = 3' INTERNAL*
MIN. REAR YARD = 20' INTERNAL

* TREESAVE INCENTIVE W/ SPECIMEN TREES

24% IMPERVIOUS AREA ALLOWED: $24 \times 29.74 \text{ AC} = 7.15 \text{ AC}$.
 IMPERVIOUS AREA USED ON ROADS AND SIDEWALKS = 2.51 AC
 EXIST IMPERVIOUS AREA TO BE REMOVED (BLDGs & CART PATH) = 0.49 AC
 IMPERVIOUS AREA AVAILABLE TO LOTS = $4.16 - 0.49 \text{ AC} = 3.25 \text{ AC}$
 100 LOTS/ 3.25 AC = 2,249 SF/LOT
THE MAXIMUM IMPERVIOUS AREA IS 2,249 SF PER LOT

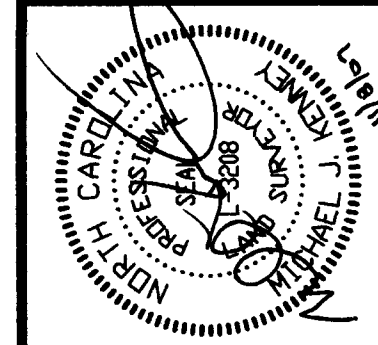
**KENNEY DESIGN
GROUP, PA**



1316 GREENWOOD CLIFF
CHARLOTTE, NORTH CAROLINA 28204
PH: 704/377-6099 FAX: 704/377-6097
EMAIL: KENNEY@KENNEYDESIGN.COM

Revisions:

1. 5/1/07 REVISED PER CMPC, CED & CDOT REVIEW COMMENTS
2. 9/27/07 REVISED STREET NAME, THORN BLUFF, ORUS & ARTESA GRADING
PER COLONIAL PIPELINE, CMPC & CDOT



Scale:	1"=100'
Date:	2/8/07
Drawn By:	MJK
Designed By:	MJK
Plot No.:	1704

COVER SHEET

Lakewood Ridge

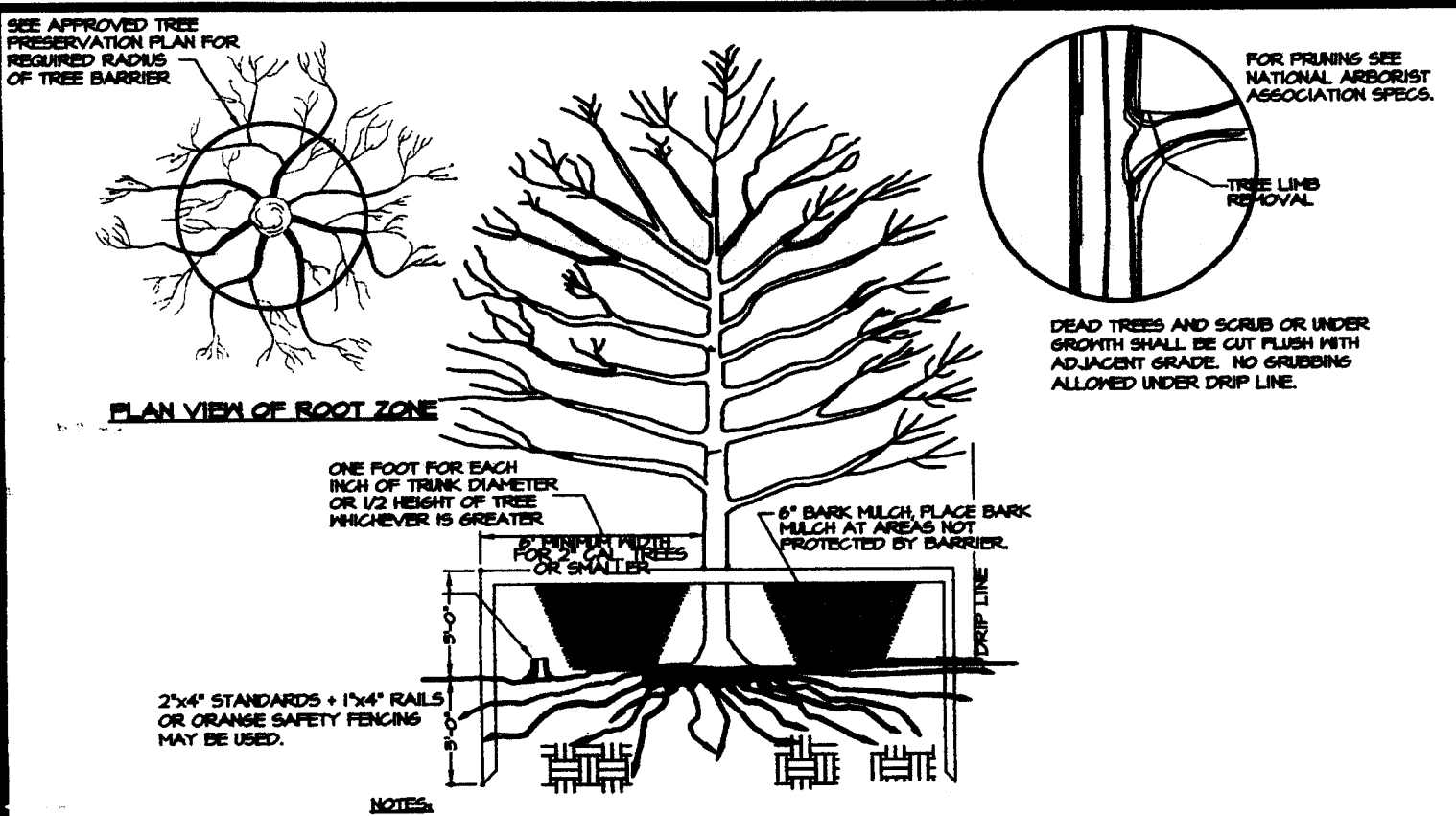
City of Charlotte, Mecklenburg County, North Carolina
Pawtucket Land, LLC, 2630 S. Tryon St., Ste F, Charlotte, NC 28203

Sheet No.

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TREE PROTECTION DETAIL

1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.

2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.

3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 0500 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

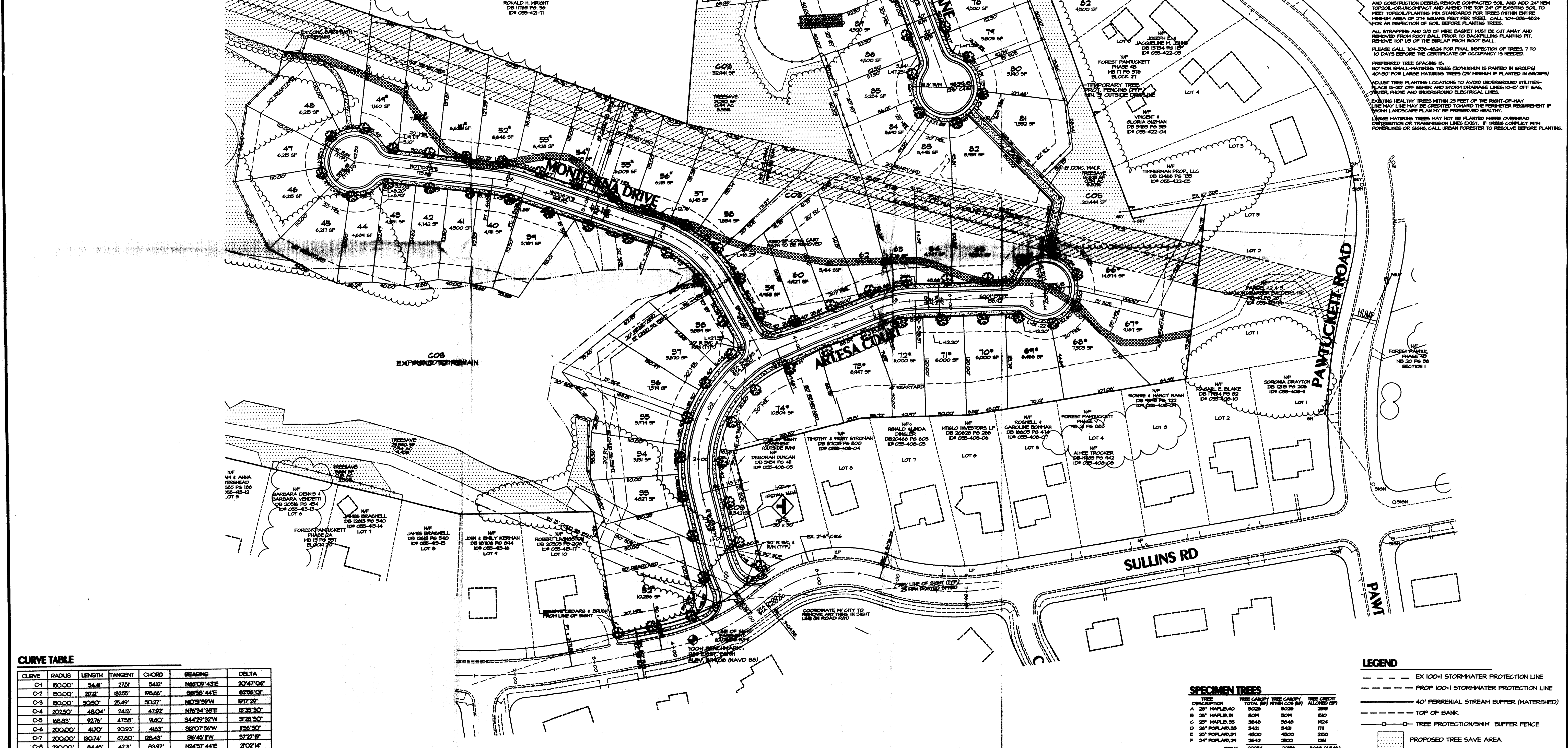
TREE PROTECTION NOTES

NOTE: NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURLAP, PITS, TRENCHES OR OTHER LAND DISTURBANCE ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

TREE PROTECTION BARRIERS MUST BE INSTALLED BEFORE ANY EXISTING TREE OR GRASS IS REMOVED. BARRIERS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/REMEDIATION.

SWIM BUFFER NOTES

1. THE SWIM BUFFER IS MEASURED HORIZONTALLY ON A LINE PERPENDICULAR TO THE SURFACE WATER, LANDWARD FROM THE TOP OF BANK ON EACH SIDE OF THE STREAM.
2. THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINS IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF THE REMAINING TREES.
3. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
4. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE. HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF THE REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
5. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
6. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	50.00'	54.41'	27.51'	54.22'	N60°09'43"E	20°47'06"
C-2	50.00'	27.18'	13.25'	19.66'	S61°58'44"E	82°56'01"
C-3	50.00'	50.50'	25.49'	50.27'	N0°51'59"W	171°29'
C-4	202.50'	48.04'	24.15'	47.92'	N76°24'35"E	13°30'30"
C-5	168.85'	92.76'	47.55'	91.60'	S44°29'32"W	37°28'50"
C-6	200.00'	41.70'	20.93'	41.63'	S89°07'36"W	17°56'50"
C-7	200.00'	190.74'	67.80'	186.43'	S86°45'11"W	57°27'17"
C-8	230.00'	84.45'	42.71'	83.97'	N24°57'44"E	27°02'14"

SPECIMEN TREES

DESCRIPTION	TREE CANOPY	TREE CANOPY	TREE CANOPY
A 2" HAWKBIT	3028	3028	3028
B 2" HAWKBIT	3028	3028	3028
C 2" HAWKBIT	3028	3028	3028
D 2" HAWKBIT	3028	3028	3028
E 2" HAWKBIT	3028	3028	3028
F 2" HAWKBIT	3028	3028	3028
TOTAL	22284	22284	10886 (43484)

LEGEND

--- EX 100' STORMWATER PROTECTION LINE

--- PROP 100' STORMWATER PROTECTION LINE

--- 40' PERENNIAL STREAM BUFFER (WATERSHED)

--- TOP OF BANK

--- TREE PROTECTION/SWIM BUFFER FENCE

--- PROPOSED TREE SAVE AREA

KENNEY DESIGN GROUP, PA

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EMAIL: KENNEY@KENNEYDESIGN.COM

Engineering
Land Planning
Land Surveying

Scale: 1"=40'

Date: 2/8/07

Drawn By: MKK

Designed By: MKK

Job No.: 1705

Preliminary Subdivision Site/Landscape Plan

Lakewood Ridge

City of Charlotte, Mecklenburg County, North Carolina
PAWLUCKETT LAND, LLC, 2630 S. Tryon St., Ste F, Charlotte, NC 28203

Sheet No. 3 of 14