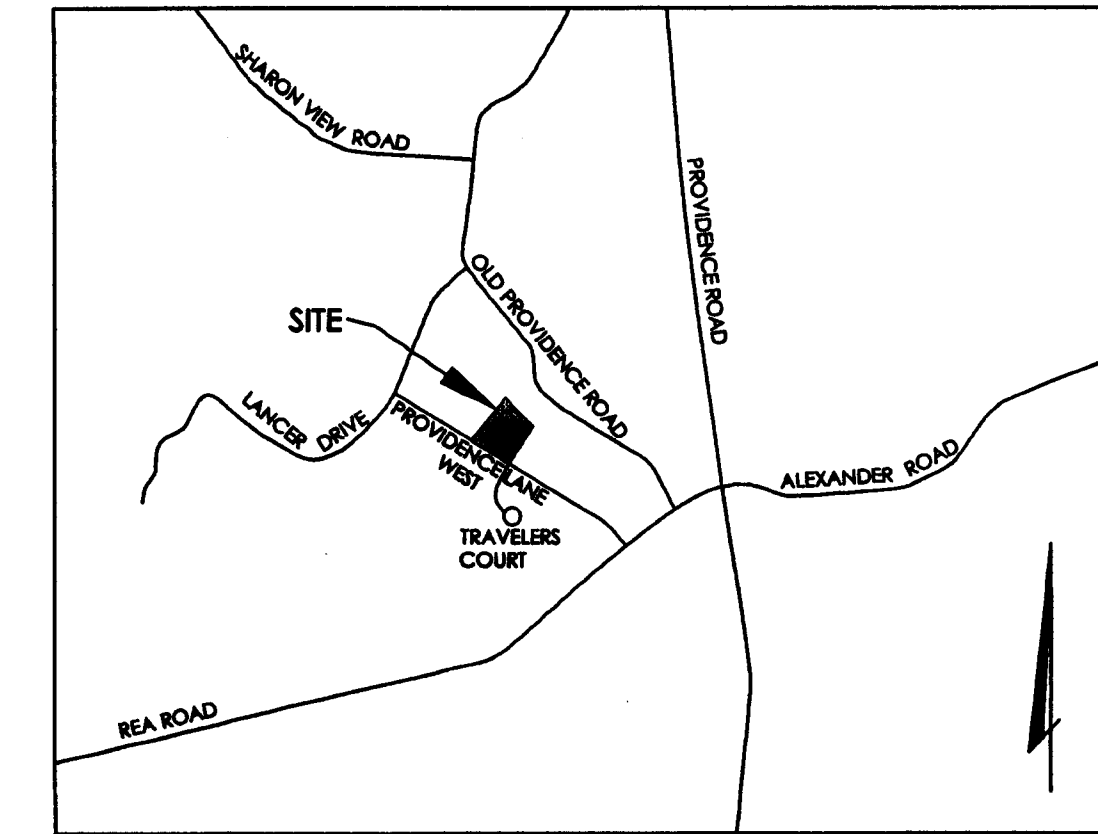
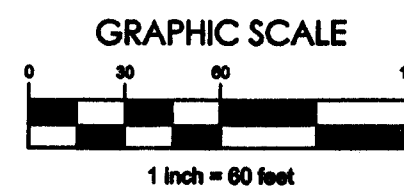
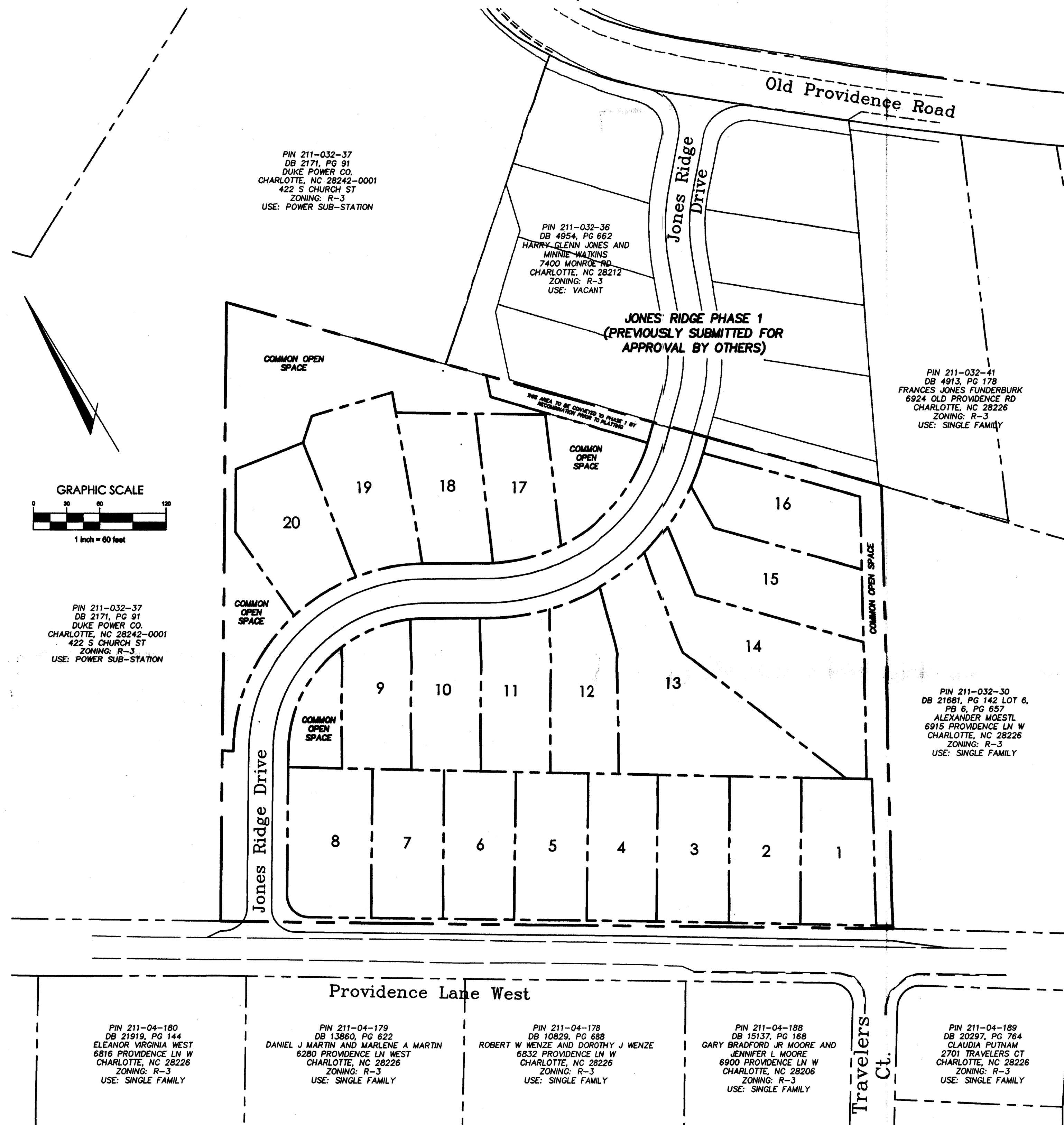


PLANS FOR IMPROVEMENT OF JONES RIDGE PHASE 2 CHARLOTTE, NORTH CAROLINA



VICINITY MAP
NOT TO SCALE



PIN 211-032-37
DB 2171, PG 91
DUKE POWER CO.
CHARLOTTE, NC 28242-0001
422 S CHURCH ST
ZONING: R-3
USE: POWER SUB-STATION

INDEX OF SHEETS

SHEET TITLE	SHEET NO.	LATEST DATE
COVER SHEET	1	NOVEMBER 20, 2007
EXISTING FEATURES PLAN	2	SEPTEMBER 28, 2007
SITE PLAN	3	NOVEMBER 20, 2007
EROSION CONTROL PLAN INITIAL	4	NOVEMBER 20, 2007
EROSION CONTROL PLAN FINAL	5	NOVEMBER 20, 2007
EROSION CONTROL DETAILS	6	SEPTEMBER 28, 2007
GRADING & STORM DRAINAGE PLAN	7	NOVEMBER 20, 2007
STORM SEDIMENT DRAINAGE BASIN AREAS	8	NOVEMBER 20, 2007
STORM DRAINAGE PROFILES	9	NOVEMBER 20, 2007
STREET PROFILES	10	NOVEMBER 20, 2007
JONES RIDGE DRIVE		
LANDSCAPE PLAN & DETAILS	11	NOVEMBER 20, 2007
SITE DETAILS	12	SEPTEMBER 28, 2007
SITE DETAILS	13	SEPTEMBER 28, 2007
SITE DETAILS	14	SEPTEMBER 28, 2007
INTERSECTION SIGHT DISTANCE	15	NOVEMBER 20, 2007
TRAFFIC CONTROL STANDARDS	16	SEPTEMBER 28, 2007
CROSS SECTIONS	17	NOVEMBER 20, 2007
CROSS SECTIONS	18	NOVEMBER 20, 2007

North Carolina One-Call Center

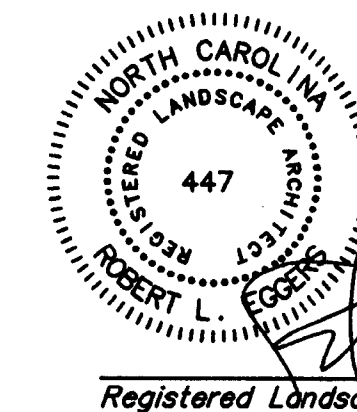
2300 W. Meadowview Road, Suite 227
Greensboro, North Carolina 27407
(910) 855-5760



2 DAYS BEFORE DIGGING IN
NORTH CAROLINA
CALL 1-800-632-4949

UNDERGROUND LOCATORS:
CONTRACTOR SHALL CONTACT
THE UNDERGROUND LOCATORS
EVERY 10 DAYS FOR AN UPDATE
TO UTILITY LOCATIONS.

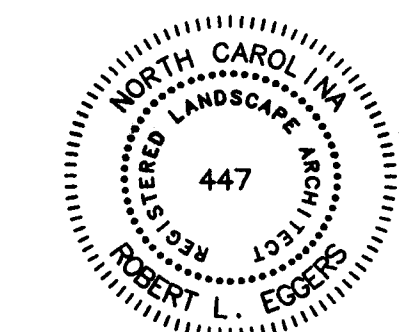
Call BEFORE you DIG!
"It's The Law"



APPROVED FOR
CONSTRUCTION
C M P C

11/20/07

11/20/07
Date



JONES RIDGE
PHASE 2
CHARLOTTE, NORTH CAROLINA

PREPARED FOR:
BUGG & BUGG
PROPERTIES LLC
1704 Rosebank Lane
CHARLOTTE, NORTH CAROLINA 28226

PREPARED BY:

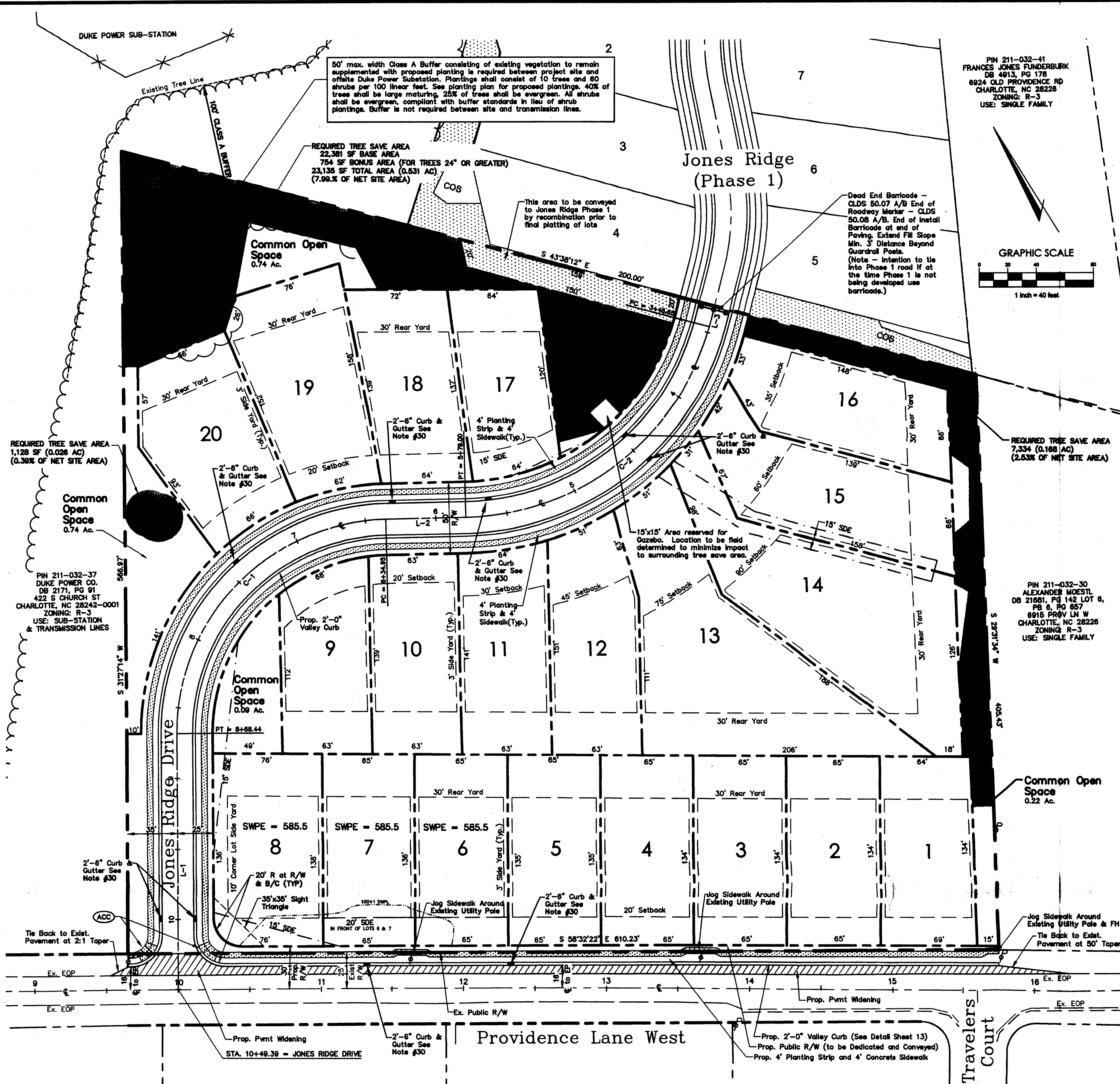
EMHT
Evans, Mechwart, Hambleton, & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
8801 University Executive Park Drive, Suite 201, Charlotte, NC 28216
Phone: 704.548.0333 Fax: 704.548.0334
M C M X X V I

COVER SHEET

REVISIONS		
MARK	DATE	DESCRIPTION
1	11/20/07	REVISED SHEET SCHEDULE DATES

Date	Job No.
SEPTEMBER 28, 2007	2007-0872
Scale	Sheet
1" = 60'	1/18

\\CLD101\1\CLT\PROJECT\20070821\DWG\STREETS\70821001.DWG - LAST SAVED BY REGGERS [12/24/2007 9:23:43 AM] - PLOTTED BY REGGERS [12/24/2007 9:23:43 AM]



DEVELOPMENT DATA

Zoning	R-3
Site Area	6.72 Ac.
Less Area Conveyed to Phase 1	0.07 Ac.
Net Site Area	6.65 Ac.
Tax Parcel No.	211-032-27
	211-032-28
	211-032-29
Min. Lot Area	8,000 SF
Min. Lot Width	60 Ft.
Min. Setback	20 Ft.*
Min. Int. Rear Yard	30 Ft.*
Min. Ext. Rear Yard	45 Ft.
Min. Int. Side Yard	3 Ft.*
Min. Ext. Side Yard	6 Ft.
Min. Corner Lot Side Yard	10 Ft.*
Tree Save Area Required	0.665 Ac. (10.00% of net site area)
Tree Save Area Provided	0.678 Ac. (10.20% of net site area)
Common Open Space	1.05 Ac. (15.79% of net site area)
* Development Standards based upon incentives of Charlotte Tree Ordinance.	
Permitted No. Lots (Base Zoning)	19
(6.65 x 3 = 19.95)	
Permitted No. Lots	21
(With density bonus for 10.20% tree save in common open space incentives: 19.95 x 1.1020 = 21.98)	
Proposed No. Lots	20

GENERAL NOTES:

- Boundary survey by Steve Amos, PLS, EMH&T.
- Project to be serviced with public (C&S) water and sewer systems.
- The location of the subject property has been checked against FEMA/FIRM maps, and it has been determined that it is NOT located in a special flood hazard area (Community Panel number LHM-567, effective date February 4, 2004).
- Land Development Inspector to be given 24 hours notice prior to start of construction.
- Coordinate all curb and street grades in intersections with Inspector.
- Project is expected to be completed by December 2011.
- Provide handicap ramp curb depressions at street intersections per CLDSM standard detail 10.33, latest revision.
- There will be no on-site demolition landfills associated with this project. All demolition shall be hauled off-site and legally disposed in an approved off-site landfill.
- All lot dimensions and lot areas shown are approximate. See record plat for exact dimensions and areas.
- All work and materials shall conform to the latest edition of the Charlotte Land Development Standards Manual.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- The contractor shall maintain two-way traffic at all times when working within existing streets. The contractor shall place and maintain signs, danger lights, and barricades and furnish watchmen or flagmen to direct traffic in accordance with the latest edition *Work Area Traffic Control Handbook (WATCH)*.
- All road improvements along Providence Lane West are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Sight triangles shown are the minimum required.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- The developer shall maintain each stream, creek, or backwash channel in an obstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- "As-Built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City Engineering Department in accordance with the City Subdivision Ordinance.
- Non-standard items (i.e. pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation before installation.
- The current "Land Development Standards Manual" by the Charlotte Engineering Departments will govern in case of conflicts in site construction specifications, details, notes standards and policies. Where necessary, construction of the following standard details, (and all "STD." numbers) shall be referenced to the current Charlotte Land Development Standards manual.
- 2'-6" Standard & 2'-0" Valley Gutter
Curb Transition: 2'-6" C & G to 2'-0" Valley
Concrete Sidewalk
Graded Driveway for Valley Gutter
CB Frame in Valley Gutter
Accessible Ramp Standard with Planting Strip
HC Ramp with Valley Gutter
Standard Placement of HC Ramps & General Notes
Trench Detail for Storm Drain Pipe
Subdrain Detail
Minimum Drainage Easement Requirements
Street Sign Names
Street Name Sign Installation Locations
Dead End Street Barriade
End of Roadway Marker
10.17 A/B/C
10.19
10.22
10.27
10.29
10.31 A/B
10.33 A/B
10.35
20.25
20.28
20.30
50.05 A/B
50.06
50.07 A/B
50.08 A/B
- Providence Lane West is a collector road. Right-of-way equal to 30 feet from the road centerline will be dedicated to the Charlotte Department of Transportation.
- All existing on-site houses and structures shall be demolished and removed from property prior to final plotting of lots.
- The Developer will provide street signs per CLDSM #50.05 (9" signs only).
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the Inspector.
- Not Used.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City Engineering Department in accordance with the City Subdivision Ordinance.
- Any building within 100'-1 Stormwater Elevation Line is subject to the restrictions of the City of Charlotte Subdivision Ordinance, Section 7.200.B.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City Engineering Department in accordance with the City Subdivision Ordinance.
- 2'-6" Standard Curb and Gutter at each curb inlet location, per Charlotte Land Development Standards 10.29, see Storm Drainage Plan for exact locations.

References

- North Carolina Department of Transportation, January 1, 1995 or most recent edition, *Standard Specifications for Road and Structures*
- City of Charlotte Department of Transportation, June, 1995 or most recent edition, *Work Area Traffic Control Handbook (WATCH)*
- City of Charlotte Storm Water Services-Mecklenburg County Storm Water Services, July 8, 1983 or most recent edition, *Charlotte-Mecklenburg Storm Water Design Manual*
- American Association of State Highway and Transportation Officials, 1980 or most recent edition, *A Policy on Geometric Design of Highways and Streets*
- North Carolina Department of Transportation, *Roadway Design Manual*
- North Carolina Department of Environment, Health, and Natural Resources, September 1, 1988 or most recent edition, *Erosion and Sediment Control Planning and Design Manual*

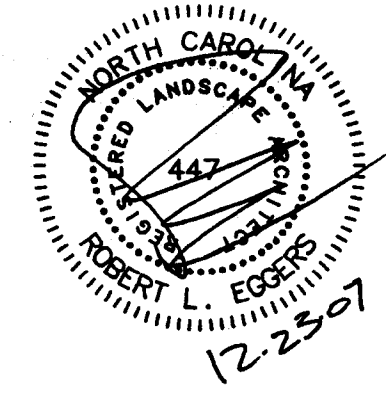
LEGEND

- SDE
- Prop. Strm. Drainage Easmt
- Prop. Setback
- Prop. Property Line
- Prop. Site Bound
- 4' Conc. Sidewalk
- Accessible Ramp
- Tree Save Area
- Providence Lane West Pavement Widening
- Storm Water Protection Elevation
- Storm Water Protection Line
- Proposed Curb Inlet

Lot Area Table	
Lot	Square Feet
1	8,876
2	8,706
3	8,711
4	8,728
5	8,762
6	8,799
7	8,836
8	10,371
9	8,140
10	8,860
11	9,107
12	9,791
13	19,028
14	18,053
15	11,443
16	9,558
17	8,246
18	9,305
19	11,619
20	10,356

STREET CENTERLINE TABLE		
LINE	LENGTH	BEARING
L1	180.95	N31°27'14"E
L2	55.95	S59°21'35"E
L3	14.93	N48°37'53"E

STREET CENTERLINE CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	233.49	150.00	147.88	210.62	S76°02'50"W	89°11'11"
C2	233.35	180.00	136.32	217.35	N83°30'07"E	74°16'38"



JONES RIDGE PHASE 2

CHARLOTTE, NORTH CAROLINA

PREPARED FOR:
BUGG & BUGG PROPERTIES LLC
1704 Rosebank Lane
CHARLOTTE, NORTH CAROLINA 28226

PREPARED BY:



SITE PLAN

REVISIONS		
MARK	DATE	DESCRIPTION
1	11/28/07	PER CITY REVIEW

Date	Job No.
SEPTEMBER 28, 2007	2007-0872
Scale	Sheet
1" = 40'	3/18