

SHEET NO.	SHEET TITLE
1	Preliminary Subdivision Site/Landscape Plan
2	Storm Drainage and Grading Plan
3	Erosion Control Plan (Road Improvements)
4	Erosion Control Plan (House Construction)
5	Roadway & Storm Drainage Profiles Site Construction Details
6	Old Providence Rd. Improvement Plan



MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER & 1 FT. SINGLE STEM.  
MINIMUM B+ DIAL AND 5 STEMS MAXIMUM IF MULTI-STEM. HEIGHT IS REQUIRED.  
SPECIES MUST BE APPROPRIATE TO THE CLIMATE AND SOIL TYPE.

FOR NEW PLANTING AREAS, REMOVE ALL PAVED, GRAVEL, SUB-GRADE  
AND CONSTRUCTION DEBRIS, REMOVE CONCRETE, CONCRETE SLAB AND  
REINFORCEMENT. PREPARE PLANTING AREAS TO BE 12" DEEP AND 24" WIDE  
FOR EACH PLANTING HOLE. PREPARE PLANTING AREAS TO BE 12" DEEP  
TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (OTHER EXCEPT  
SPECIES) 24" DEEP AND 24" WIDE FOR PLANTING HOLE. PREPARE PLANTING  
AREAS TO BE 12" DEEP AND 24" WIDE FOR PLANTING HOLE.

ALL STRIPPINGS AND 2/8 OF DIRT BAGS MUST BE CUT AWAY AND  
REMOVED FROM ROOT BALL AND PLANTING PIT.  
DO NOT USE 2/8 OF DIRT BAGS IN ROOT BALL.

PLEASE CALL 704-506-4624 FOR FINAL INSPECTION OF TREES, 1 TO  
10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.

PREFERRED TREE SPECIATION IS:  
30% TREES 12" CALIPER (20% MINIMUM IS PLANTED IN GROUPS)  
40-50% FOR LARGE TREES (TREES 24" MINIMUM IF PLANTED IN GROUPS)

ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.  
CHECK FOR GROUND AND UNDERGROUND UTILITIES (E.G. 10-15' DEEP  
WATER, PIPES AND UNDERGROUND ELECTRICAL LINES).

EXISTING HEALTHY TREES WITHIN 25 FEET OF THE RIGHT-OF-WAY  
LINE MAY BE ALLOWED TO REMAIN. THE RIGHT-OF-WAY  
LINE MAY BE ADJUSTED TOWARD THE PERMITSER REQUIREMENT IF  
RECOMMENDED BY THE PLANTING CONTRACTOR.

LARGE TREES WITHIN MAY NOT BE PLANTED. TREES OVERHEAD  
DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES COLLIDE WITH  
DISTRIBUTION OR TRANSMISSION LINES, THE PLANTING CONTRACTOR



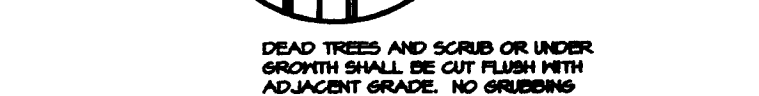
NOTE: NO SOIL DISTURBANCE OR COMPACTION CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCING OR OTHER LAND DISTURBANCE ACTIVITY ALLOWED UNTIL THE TREE PROTECTION BARRICADES ARE INSTALLED.

TREE PROTECTION BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/ GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.

TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES APPENDIX)

FOR GRADING/CONSTRUCTION BEGINING, CALL 704-386-4624 FOR INFORMATION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.

VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/REMEDIATION.



FRONTAGE LF (2 SIDES)	LG TREES	SM TREES	STREET NAME
240	0	0	OLD PROVIDENCE ROAD
600	12	0	JONES RIDGE DRIVE
850	0	0	TOTAL

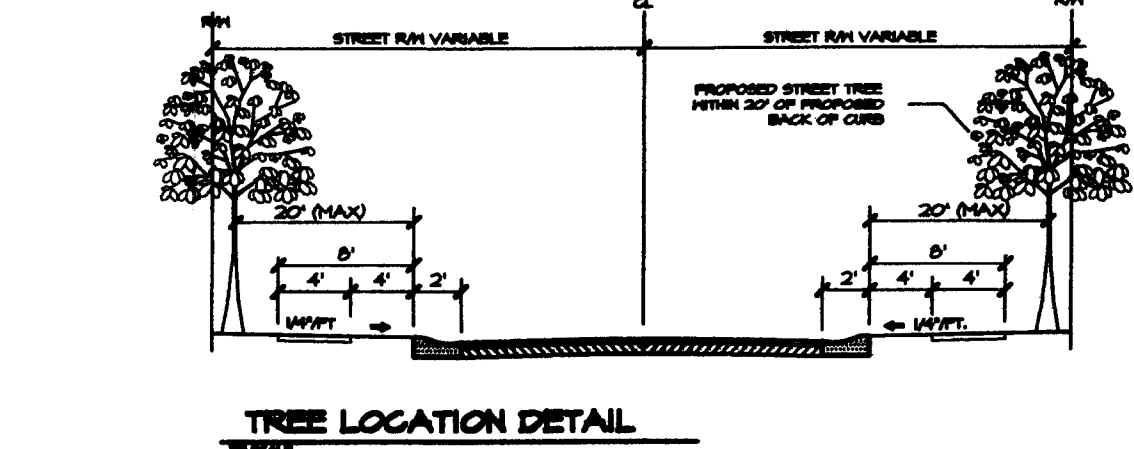
SEE DEVELOPMENT DATA FOR BREAKDOWN

ROAD FRONTAGE: 850 LF  
 STREET TREES REQUIRED:  $850 / 50 = 17$  (LARGE MATERIALS)  
 STREET TREES PROPOSED: 12 LARGE; 0 SMALL  
 \* USE EXISTING TREES THAT QUALIFY; WHERE ALLOWED  
 (1) LARGE MATERIALS TREES SHALL BE FROM APPROVED  
 LANDSCAPE ARCHITECTURE SPECIES LIST  
 DIFFERENT SPECIES OF TREES SHALL BE USED  
 ON DIFFERENT STREET

NO HERITAGE TREES EXIST ON THIS PROPERTY

TREE DESCRIPTION	TREE CANOPY TOTAL (SF)	TREE CANOPY WITHIN COS (SF)	TREE CREDIT ALLOWED (SF)
A 30 ASH/ 33'	3421	913	457
TOTAL	3421	913	457 (6.13%)

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C-1	65.35	175.00	33.06'	64.97'	S32°04'47"W	27°23'49"
C-2	67.05	80.00	34.10'	66.50'	N34°14'E	25°36'44"



THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION STANDARDS MANUAL AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.

2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY JAMES HANEY AND ASSOCIATES.

3. TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE.

4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

5. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.

6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE 18" UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS SHALL BE USED UNLESS OTHERWISE NOTED FOR SOME FIELD CONDITIONS. SURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.

7. REFERENCE SHEETS 3 & 4 FOR EROSION CONTROL, PLANT AND NOTES. REFERENCE SHEET 5 FOR EROSION CONTROL DETAILS.

CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 6 FOR EROSION DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	OLD STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.18
CATCH BASIN LOCATION	10.24 & 10.30
(C) BRICK CATCH BASIN	(SEE NCDOTS 840.01 & 840.02)
(C) DOORILE CATCH BASIN	20.03 & 20.04
STREET NAME SIGN	50.03
CONCRETE MONUMENT	50.08
SIDEWALK	10.25
BARRICADE	50.07 & 50.08

10. APPROXIMATE COMPLETION TIME IS SPRING 2008

11. WATER A/D SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.

12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF ANY HIC RAMP AND/OR SIDEWALK.

13. DURING CONSTRUCTION OF THE IMPROVEMENTS SPECIFIED BY THESE PLANS, THE DEVELOPER SHALL MAINTAIN THE STRAIGHTENED OF ALL STREAMS, CREEKS, AND CHANNELS IN AN UNOCCUPIED STATE, AND SHALL REMOVE FROM THE CHANNEL AND/OR ITS BANKS, DEBRIS, LOGS OR OTHER ACCUMULATIONS AS REQUIRED TO MAINTAIN PROPER DRAINAGE.

14. DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

15. THE DEVELOPER SHALL PROVIDE STREET SIGNS (4 SIGNS ONLY) PER CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARD NO. 50.05.

16. COORDINATE ALL CURB AND STREET GRADINGS IN INTERSECTIONS WITH THE CITY INSPECTOR.

17. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLING.

18. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DETAIL SHEETS MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.

19. TO INSURE PROPER DRAINAGE, MINIMUM CURB AND GUTTER GRADE SHALL BE 0.50%.

20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, AS REQUIRED BY THE INSPECTOR.

21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.

22. SITE BENCHMARK FOR PROJECT IS THE RM OF AN EXISTING SAN. SHR. MH IN OLD PROVIDENCE ROAD, ELEV.= 623.14

23. CURB AND GUTTER SHOWN ON THE PLANS ALONG OLD PROVIDENCE ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.

24. COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205

25. ALL IMPROVEMENTS TO OLD PROVIDENCE ROAD TO BE COORDINATED WITH CHARLOTTE ENGINEERING DEPT. PRIOR TO CONSTRUCTION.

26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.

27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.

28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCT. HATLS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.

29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/NOTIFICATION.

30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.

31. 5% FROM THE CENTERLINE OF OLD PROVIDENCE ROAD TO BE DEDICATED TO THE CITY OF CHARLOTTE.

32. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CITY ROAD 550-7200) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.

33. COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TREES AND WEEDS.

34. THE PURPOSE OF THE STORM DRAINAGE EASEM (SDE) IS TO PROVIDE STORM-WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ALSO OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.

35. SIGHT TRIANGLES SHOWN ARE MINIMUM.

36. DIRECT VEHICULAR ACCESS TO OLD PROVIDENCE ROAD FROM LOTS 1 & 4 IS PROHIBITED.

37. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING RIGHT-OF-WAY SHALL BE IDENTIFIED AND PROTECTED BY THE CITY'S INSPECTOR PRIOR TO A BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL IN THE PUBLIC STREET R/W.

38. DEVELOPER TO COORDINATE FINAL CONSTRUCTION COMPLETION OF STUB STREET WITH THE CITY ENGINEERING DEPT. 2.

39. LINE OF SIGHT TO NORTH SHOWN IS BASED ON DESIGN SPEED OF 30 MPH. CURVE SPEED ADVISORY SIGNS POSTED TO 25 MPH ON BOTH SIDES OF EXISTING "S-CURVE".

TAX PARCEL NO.: 211-052-30  
ZONING CLASSIFICATION: R-5 (DEVELOPED AS CLUSTER)  
ZONING JURISDICTION: CITY OF CHARLOTTE  
SITE ADDRESS: 234 AC  
NO. OF UNITS ALLOWED BY ZONING:  $234 \times 3 = 1.71$   
AREA IN SADDLESTERS/HUR. 0.51 AC  
NET TOTAL SITE AREA: 2.26 AC  
  
TREES SAVED/REQUIRED:  $10\% \times 2.26 \text{ AC} = 0.23 \text{ AC}$   
ADDITIONAL TREES FOR TREE INVENTORY IN C05, 0.24 (0.1578) AC  $\times 3 = 0.72$  LOTS  
NO. OF UNITS ALLOWED BY PROPOSED:  $1.71 \times 0.12 = 0.21$  @ 8  
  
R-5 CLUSTER LOT DATA:  
MIN. LOT SIZE = 0.800 SF  
MIN. LOT WIDTH = 60'  
MIN. SETBACK = 20'  
MIN. SIDE YARD = 8' INTERNAL, 3' INTERNAL,\*  
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL  
\* TREESAVE INCENTIVE

**APPROVED**

APPROVED FOR  
CONSTRUCTION  
C M P C  
AB 12/13/2007

# PRELIMINARY Subdivision Site/Landscape Plan

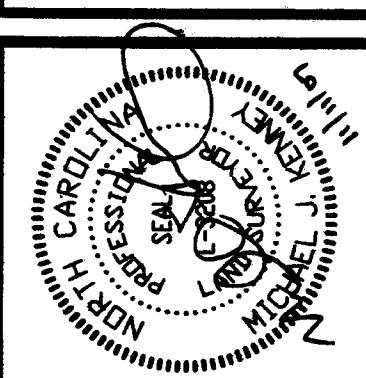
## JONES RIDGE PHASE 1

City of Charlotte, Mecklenburg County, North Carolina  
Carolina Development of Charlotte, LLC, PO Box 77173, Charlotte, NC 28277

**KENNEY DESIGN  
GROUP PA**

316 GREENWOOD CLIFF  
CHARLOTTE, NORTH CAROLINA 28204  
PH: 704/377-6099 FAX: 704/377-6097  
E-MAIL: KENNEY@KENNEYDESIGN.COM

11/07 REVISED PER CMPC, CED AND CDOT REVIEW+COMMENTS



Scale:	1"=40'
Date:	7/23/07
Drawn By:	MJK
Designed By:	MJK
Job No.:	1807

Sheet No. 16