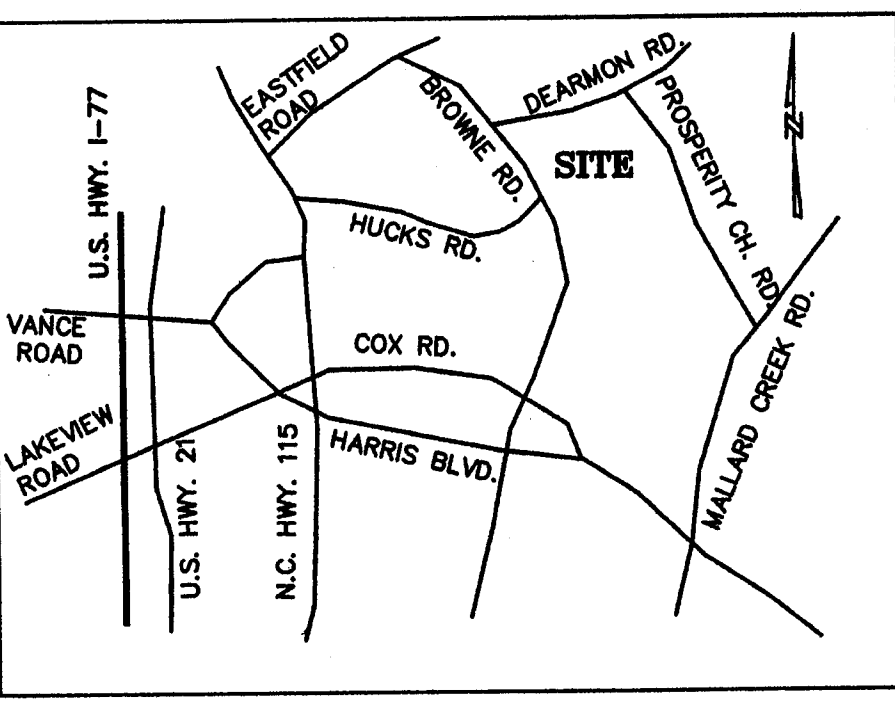


HAMPTON PLACE SUBDIVISION PHASE 6 CHARLOTTE, NORTH CAROLINA



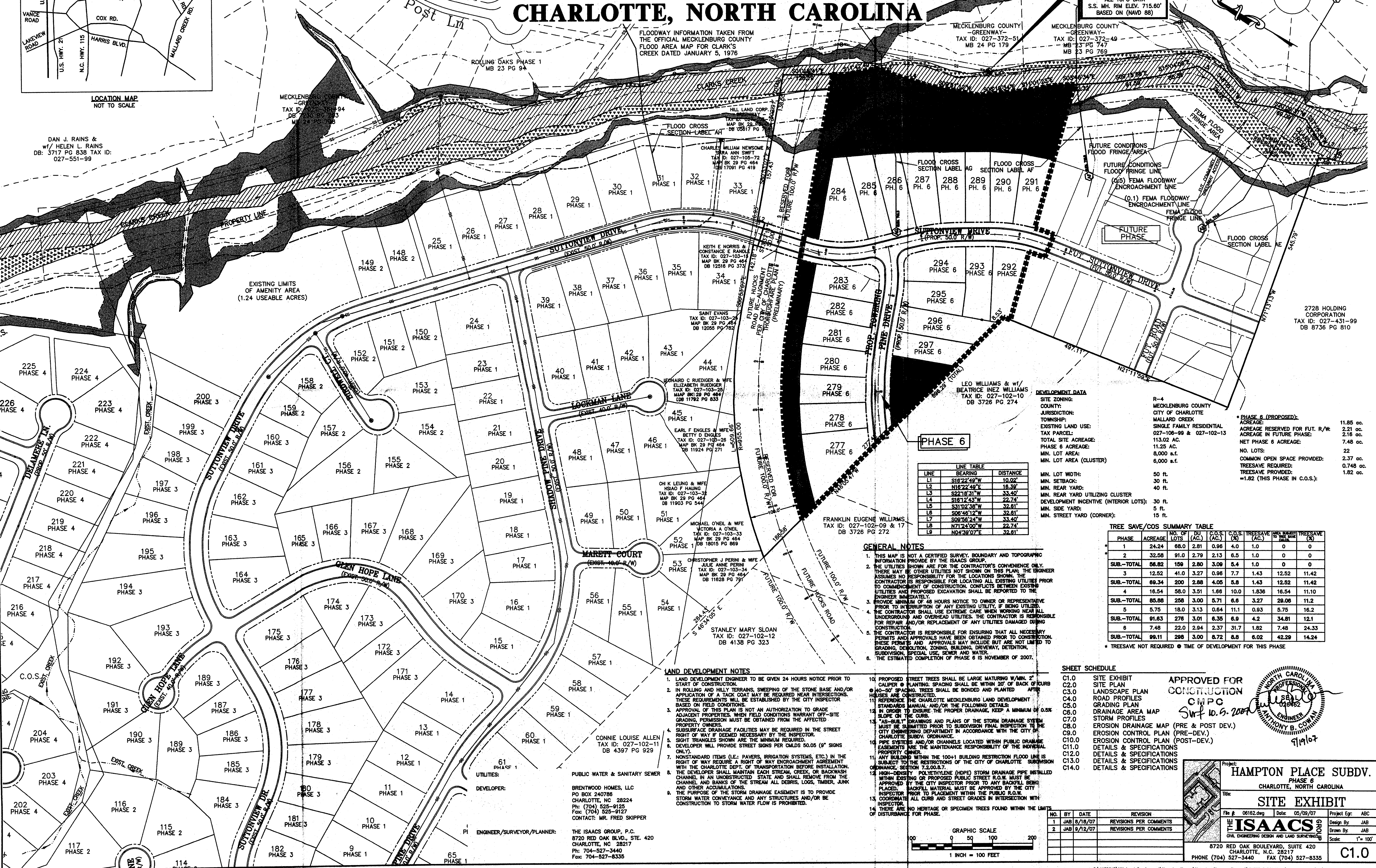
DAN J. RAINS &
W/ HELEN L. RAINS
DB: 3717 PG 838 TAX ID:
027-551-99

BENCHMARK USED AS
ORIGIN OF ELEVATION FOR
ALL TOPO DATA
S.S. M. RIM ELEV. 715.60'
BASED ON (NAVD 88)

FLOODWAY INFORMATION TAKEN FROM
THE OFFICIAL MECKLENBURG COUNTY
FLOOD AREA MAP FOR CLARK'S
CREEK DATED JANUARY 5, 1976

MECKLENBURG COUNTY
-GREENWAY-
TAX ID: 027-372-51
MB 24 PG 179

MECKLENBURG COUNTY
-GREENWAY-
TAX ID: 027-372-49
MB 23 PG 747
MB 23 PG 769



DEVELOPMENT DATA
SITE ZONING: R-4
COUNTY: MECKLENBURG COUNTY
TOWNSHIP: CITY OF CHARLOTTE
EXISTING LAND USE: MALLARD CREEK
TAX PARCEL: 027-106-99 & 027-102-13
TOTAL SITE ACREAGE: 11.25 AC.
PHASE 6 ACREAGE: 8,000 s.f.
MIN. LOT AREA (CLUSTER): 6,000 s.f.
MIN. LOT WIDTH: 50 ft.
MIN. SETBACK: 30 ft.
MIN. REAR YARD: 40 ft.
MIN. REAR YARD UTILIZING CLUSTER DEVELOPMENT INCENTIVE (INTERIOR LOTS): 30 ft.
MIN. SIDE YARD: 15 ft.
MIN. STREET YARD (CORNER): 15 ft.

R-4 MECKLENBURG COUNTY
CITY OF CHARLOTTE
MALLARD CREEK
SINGLE FAMILY RESIDENTIAL
027-106-99 & 027-102-13
11.25 AC.
NET PHASE 6 ACREAGE: 8,000 s.f.
NO. LOTS: 22
COMMON OPEN SPACE PROVIDED: 0.748 ac.
TREESAVE PROVIDED: 1.82 ac.
TREESAVE REQUIRED: 1.82 (THIS PHASE IN C.O.S.): 1.82 ac.

LINE	BEARING	DISTANCE
L1	S16°22'49"W	10.02'
L2	N16°22'49"E	18.39'
L3	S22°18'31"W	33.40'
L4	S16°14'43"W	26.74'
L5	S31°02'58"W	32.81'
L6	S05°46'12"W	32.81'
L7	S09°56'24"W	33.40'
L8	N71°24'00"W	22.74'
L9	N04°39'07"E	32.81'

- GENERAL NOTES
- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP.
 - THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - PROVIDE MINIMUM OF 48 HOURS NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
 - THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEVIATION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
 - THE ESTIMATED COMPLETION OF PHASE 6 IS NOVEMBER OF 2007.

PHASE	ACREAGE	NO. OF LOTS	DU (AC.)	C.O.S. (AC.)	C.O.S. (%)	TREESAVE TO THIS DATE	TREESAVE TO DATE	TREESAVE (%)
1	24.24	68.0	2.81	0.96	4.0	1.0	0	0
2	32.58	91.0	2.79	2.13	6.5	1.0	0	0
SUB-TOTAL	56.82	159	5.60	3.09	5.4	1.0	0	0
3	12.52	41.0	3.27	0.96	7.7	1.43	12.52	11.42
SUB-TOTAL	69.34	200	8.88	4.05	5.8	1.43	12.52	11.42
4	16.54	58.0	3.51	1.68	10.0	1.836	16.54	11.10
SUB-TOTAL	85.88	258	3.00	5.71	6.8	3.27	28.06	11.2
5	5.75	18.0	3.13	0.64	11.1	0.93	5.75	16.2
SUB-TOTAL	91.63	276	3.01	6.35	6.9	4.2	34.81	12.1
6	7.48	22.0	2.94	2.37	31.7	1.82	7.48	24.33
SUB-TOTAL	99.11	298	3.00	6.72	6.8	6.02	42.29	14.24

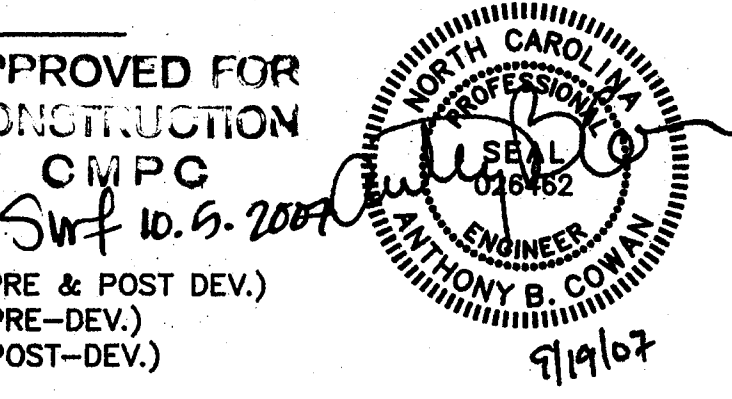
- LAND DEVELOPMENT NOTES
- LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT, SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
 - DEVELOPER WILL PROVIDE STREET SIGNS PER CALDS 50.05 (8" SIGNS ONLY).
 - NONSTANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE CITY OF CHARLOTTE PRIOR TO INSTALLATION.
 - THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
 - THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR BE CONSTRUCTION TO STORM WATER FLOW IS PROHIBITED.

- PROPOSED STREET TREES SHALL BE LARGE MATURING W/M, 2" CALIPER @ PLANTING. SPACING SHALL BE WITHIN 20' OF BACK OF CURB.
- 40'-50' SPACING TREES SHALL BE BONDED AND PLANTED AFTER HOUSES ARE CONSTRUCTED.
- EXISTING TREES SHALL BE MAINTAINED AND PROTECTED.
- IN ORDER TO ENSURE THE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 7.2.00.6.7.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ANY BUILDING WITHIN THE 100'-11' BUILDING RESTRICTION FLOOD LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 7.2.00.6.7.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET R.O.W. MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT WITHIN THE PUBLIC R.O.W.
- COMPACT ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- THERE ARE NO HERITAGE OR SPECIMEN TREES FOUND WITHIN THE LIMITS OF DISTURBANCE FOR PHASE.

SHEET SCHEDULE

- C1.0 SITE EXHIBIT
- C2.0 SITE PLAN
- C3.0 LANDSCAPE PLAN
- C4.0 ROAD PROFILES
- C5.0 GRADING PLAN
- C6.0 DRAINAGE AREA MAP
- C7.0 STORM PROFILES
- C8.0 EROSION DRAINAGE MAP (PRE & POST DEV.)
- C9.0 EROSION CONTROL PLAN (PRE-DEV.)
- C10.0 EROSION CONTROL PLAN (POST-DEV.)
- C11.0 DETAILS & SPECIFICATIONS
- C12.0 DETAILS & SPECIFICATIONS
- C13.0 DETAILS & SPECIFICATIONS
- C14.0 DETAILS & SPECIFICATIONS

APPROVED FOR
CONSTRUCTION
C.M.P.C.
SWF 10.9.2007



Project: HAMPTON PLACE SUBDV.
PHASE 6
CHARLOTTE, NORTH CAROLINA

SITE EXHIBIT

File #: 06182.dwg Date: 05/09/07 Project Egr: ABC

ISAACS
CIVIL ENGINEERING DESIGN AND LAND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

Scale: 1" = 100'

C1.0

