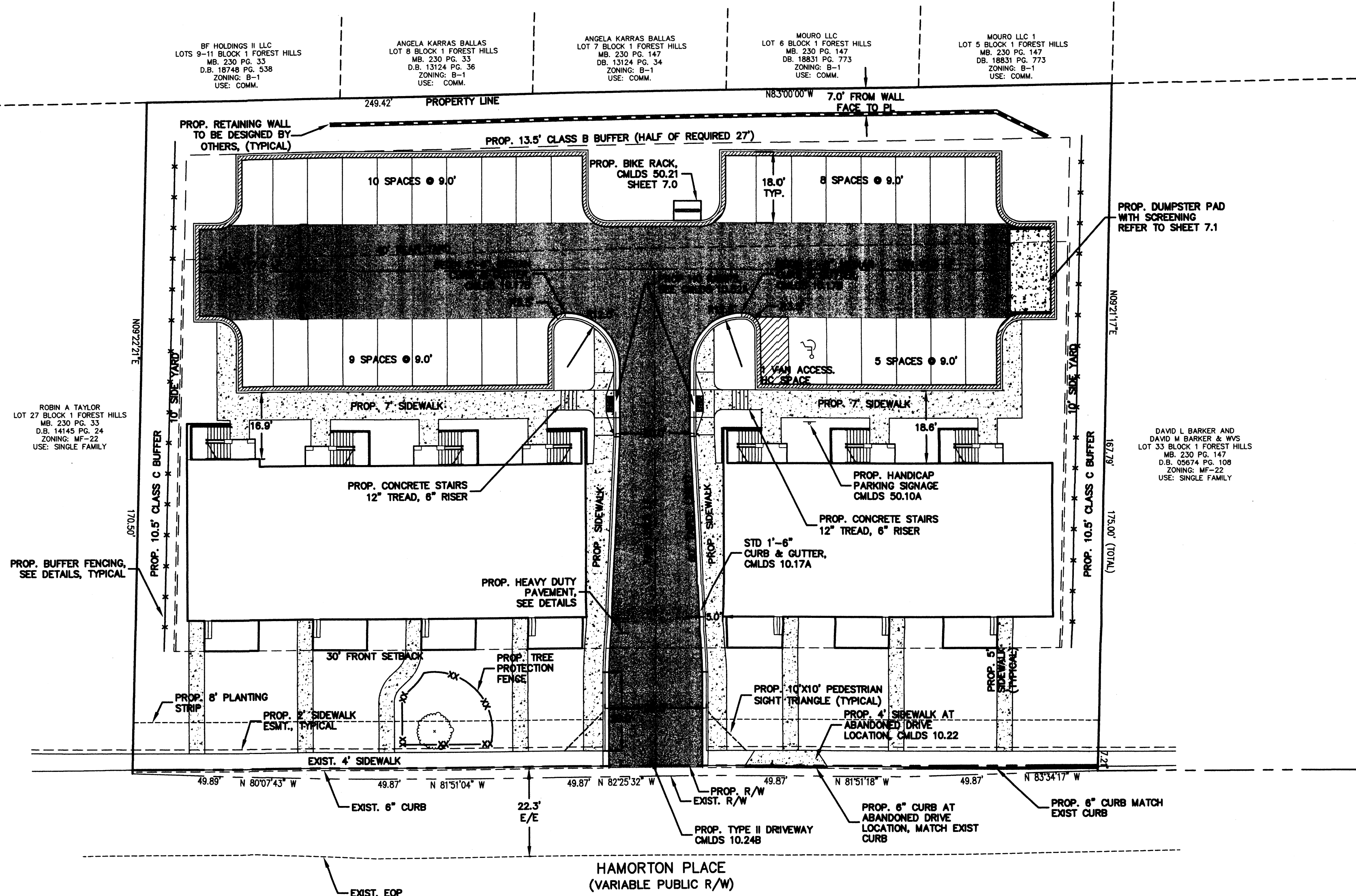


GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL (CMLDS).
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
3. ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC RIGHT OF WAYS.
4. ALL CURBS SHALL HAVE A 5'-6" RADIUS AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CMLDS #50.06.
6. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
8. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND AND ALL ENCROACHMENT AGREEMENTS.
9. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
10. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
11. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
12. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).
13. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
14. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
15. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
16. IN ROLLY AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
17. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.
18. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
19. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.
20. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
21. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
22. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
23. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
24. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 4, 2004, COMMUNITY PANEL NO. 3701590187E.
25. PE SEALED SHOP RETAINING WALL DRAWINGS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.



Development Data:	
Total Site Area:	0.99 Acres
Zoning:	R-22MF
Tax Parcel Numbers:	095-077-30 095-077-31
Proposed Use:	
Residential Condominiums:	21 Units
Density:	21.2 D.U.A.
Required Parking:	
Residential Parking Area:	
Required:	32 spaces (1.5 space per dwelling unit)
Proposed:	33 spaces
Van Accessible Parking:	
Required:	1 space
Proposed:	1 space
Bicycle Parking:	
Required:	2 spaces
Proposed:	2 spaces
Setbacks:	
Front:	30'
Rear Yard:	40'
Side Yard:	10'
Open Space:	
Required:	40% (0.40 Acres)
Provided:	41% (0.41 Acres)
Maximum Height:	
Allowed:	40'
Proposed:	35'
Impervious Area:	
Existing:	
Sidewalk:	2,739 SF
Asphalt, C&G:	6,327 SF
Building:	6,260 SF
Total:	15,262 SF
Proposed:	
Sidewalk:	4,774 SF
Asphalt, C&G:	14,034 SF
Building:	8,148 SF
Total:	26,956 SF
Net:	
Post - Pre	
26,956 SF-15,262 SF	11,694 SF

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission

5/3/07
SJR



BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

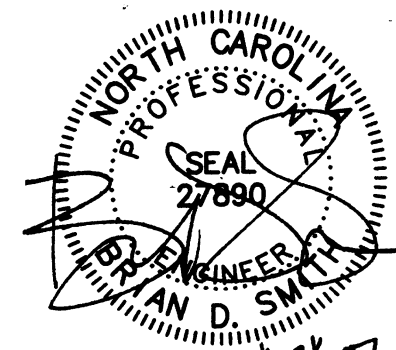
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

URBAN
DESIGN
PARTNERS

1318-s6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbanesignpartners.com



Hamorton Place One, LLC

2137 N. Sharon Amity Rd.
Charlotte, NC 28205
704.516.5657

Hamorton Place Condominiums Site Plan

2012 Hamorton Avenue, Charlotte, NC 28205

NO. DATE BY: REVISIONS:
1 2/28/07 AJP PER CITY OF CHARLOTTE COMMENTS

Project No: 06-063

Date: 1/9/07

Designed by: udp

Drawn By: udp

Scale: 1"=20'

Sheet No:

2.0