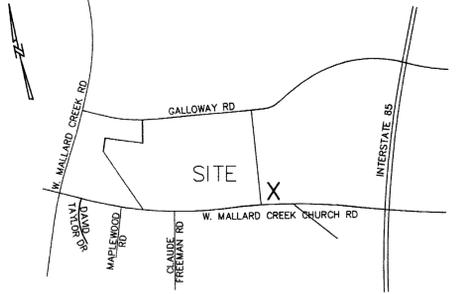


GLENMERE

CHARLOTTE, NORTH CAROLINA



VICINITY MAP NO SCALE

SITE DATA:

PARCEL NUMBERS: 029-011-27, 029-011-33
 TOTAL ACREAGE: +/- 8.85 ACRES
 ZONING: R-12MF (CD) PETITION # 07-032
 TOTAL UNITS: 64 UNITS (TOWNHOUSES FOR SALE*)
 *EACH UNIT TO HAVE MINIMUM SUBLOT SIZE SUFFICIENT TO ACCOMMODATE THE DWELLING UNIT AND 400 SQ. FT OF PRIVATE OPEN SPACE.
 DENSITY: 7.23 UNITS/ACRE
 MAX. BLDG HEIGHT: 50' (3 STORIES MAX) INCREASED REAR YARD ABUTTING SINGLE FAMILY ONE FOOT FOR EVERY FOOT ABOVE 40'. INCREASED FROM 50' TO 60'

ACREAGE IN LOTS: 2.86 AC.
 ACREAGE IN 30' CLEAR OF OBSTRUCTION: 1.11 AC.
 LINEAR FEET OF NEW STREETS: 1660 LF

OPEN SPACE:

REQUIRED: 4.42 ACRES (50%)
 PROVIDED: 4.81 ACRES (54%)

TREE SAVE:

REQUIRED: 0.88 ACRES (10%)
 PROVIDED: 1.48 ACRES (17%)

UNIT DATA:

3 UNIT BUILDING (AVG. 73'x47') 3 BUILDINGS
 4 UNIT BUILDING (AVG. 93'x47') 2 BUILDINGS
 5 UNIT BUILDING (AVG. 113'x47') 1 BUILDINGS
 6 UNIT BUILDING (AVG. 133'x47') 7 BUILDINGS

SETBACKS:

FRONT SETBACK: 30' ALONG MALLARD CREEK CHURCH ROAD AND SENATOR ROYAL DRIVE
 20' (FROM BACK OF CURB OR BACK OF SIDEWALK ALONG INTERIOR PRIVATE STREETS FOR GARAGE) 15' FOR REMAINDER OF BUILDING FROM B.O.C. ALONG PRIVATE STREET
 REAR YARD: 60' ABUTTING SINGLE FAMILY (NORTHERN BOUNDARY)
 60' ALONG EASTERN BOUNDARY PER REZONING, AND
 40' ABUTTING WESTERN BOUNDARY
 BUILDING SEPARATION: MIN. 20'

PARKING:

REQUIRED (1.5 SPACES/UNIT): 96 SPACES
 PROVIDED: 142 SPACES
 BIKE PARKING: N/A FOR S.F. ATTACHED

SOLID WASTE/RECYCLING:

SOLID WASTE REQUIRED (ONE 8 CU. YD COMPACTOR PER 90 UNITS): 1
 SOLID WASTE PROVIDED: ONE 8 CU. YD COMPACTOR
 RECYCLING REQUIRED (ONE 144 SF RECYCLING STATION PER 80 UNITS): 1
 RECYCLING PROVIDED: ONE 144 SF RECYCLING STATION

DEVELOPER ANTICIPATES PRIVATE ROLL OUT SERVICE. DUMPSTER AND RECYCLE AREAS DEPICTED ON SITE PLAN ARE SHOWN ONLY AS AN ALTERNATE COLLECTION AREA

STREET LIGHT NOTE:

STREET LIGHTS ARE TO BE "ACORN" STYLE FROM DUKE POWER'S OUTDOOR LIGHTING SERVICE. ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 15 FEET IN HEIGHT. LIGHTING ON THE SITE SHALL BE "FULLY SHIELDED" AND NO WAL-PAK LIGHTING SHALL BE USED

COMPLETION DATE: APRIL 2008

ENGINEERING FIRM:

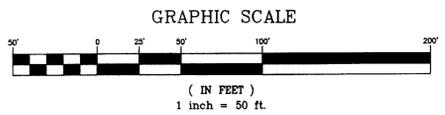
PLANS PREPARED BY: **ESP ASSOCIATES, P.A.**
 ADDRESS: P.O. BOX 7030 CHARLOTTE, NC 28241
 PHONE: (704) 583-4949

DEVELOPER

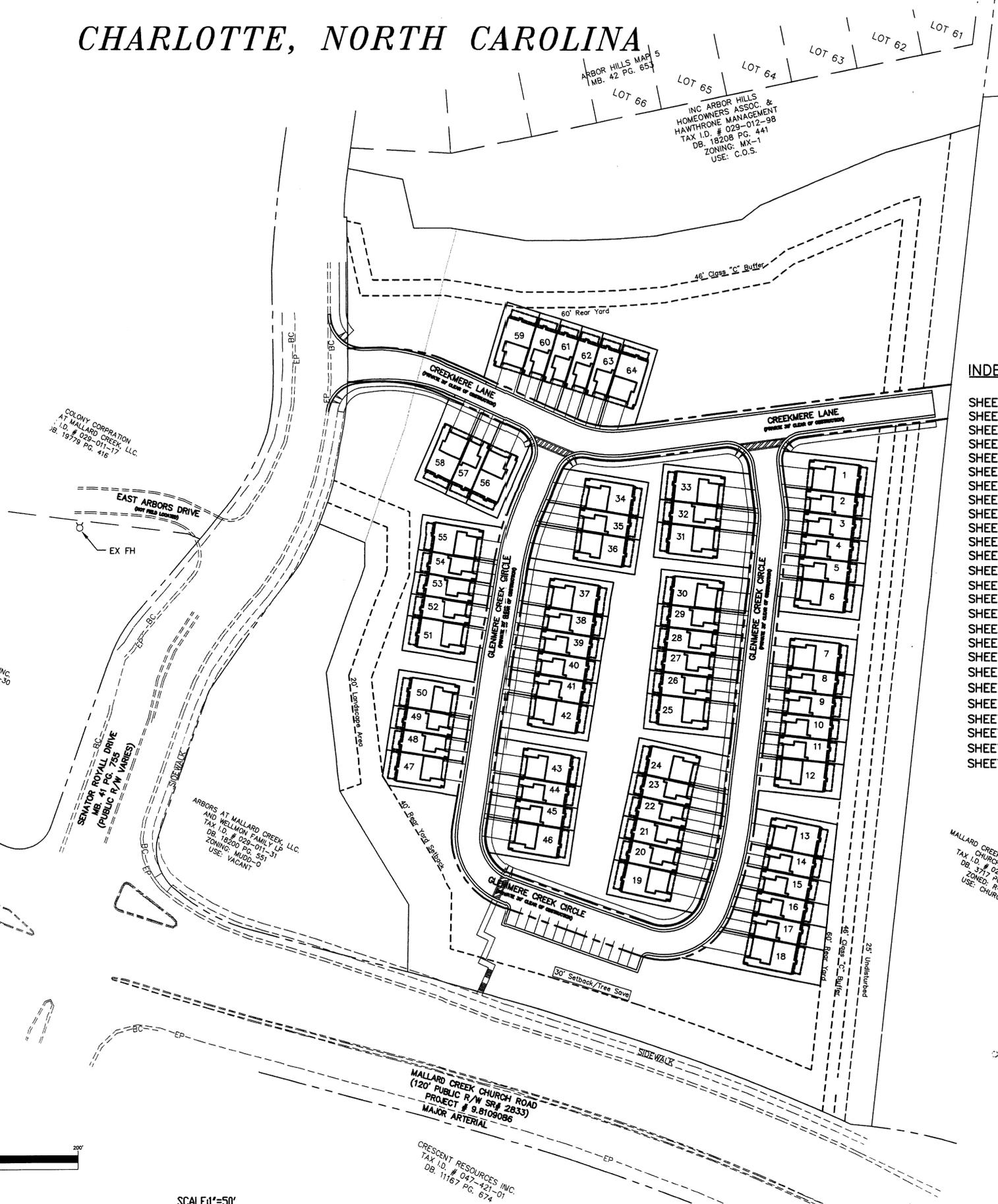
DEVELOPER: **BEAZER HOMES**
 ADDRESS: 1300 SOUTH BLVD, SUITE K CHARLOTTE, NC 28203
 PHONE: (704) 370-7122



ESP Associates, P.A.
 P.O. Box 7030
 Charlotte, NC 28241
 3475 Lakemont Blvd.
 Fort Mill, SC 29708
 704-583-4949 (NC)
 803-802-2440 (SC)
 www.espassociates.com



SCALE: 1"=50'



INDEX OF SHEETS

- SHEET NO. 1 COVER SHEET
- SHEET NO. 2 REZONING NOTES
- SHEET NO. 3 EXISTING CONDITIONS
- SHEET NO. 4 SITE PLAN
- SHEET NO. 5 GRADING PLAN
- SHEET NO. 6 STORM DRAINAGE AREA MAP
- SHEET NO. 7 STORM DRAINAGE PLAN
- SHEET NO. 8 EROSION CONTROL PHASE 1
- SHEET NO. 9 EROSION CONTROL PHASE 2
- SHEET NO. 10 LANDSCAPE PLAN
- SHEET NO. 10A LANDSCAPE BUFFER INSETS
- SHEET NO. 11 CREEKMERE LANE PLAN & PROFILE
- SHEET NO. 12 GLENMERE CREEK CIRCLE PLAN & PROFILE (1 OF 2)
- SHEET NO. 13 GLENMERE CREEK CIRCLE PLAN & PROFILE (2 OF 2)
- SHEET NO. 13A SENATOR ROYALL DRIVE SIGHT DISTANCE
- SHEET NO. 14 STORM DRAINAGE PROFILES (1 OF 2)
- SHEET NO. 15 STORM DRAINAGE PROFILES (2 OF 2)
- SHEET NO. 16 BMP DRAINAGE AREA MAP
- SHEET NO. 17 BMP PLAN
- SHEET NO. 18 SITE DETAILS (1 OF 2)
- SHEET NO. 19 SITE DETAILS (2 OF 2)
- SHEET NO. 20 STORM DETAILS (1 OF 2)
- SHEET NO. 21 STORM DETAILS (2 OF 2)
- SHEET NO. 22 PLANTING DETAILS
- SHEET NO. 23 EROSION CONTROL DETAILS (1 OF 2)
- SHEET NO. 24 EROSION CONTROL DETAILS (2 OF 2)

MALLARD CREEK PRESBYTERIAN CHURCH, INC.
 TAX ID # 029-021-01
 DB: 3717 PG. 309
 ZONED: R-3
 USE: CHURCH

PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL
 Charlotte-Mecklenburg Planning Commission

11-01-2007



GLENMERE

THIS SET IS CURRENT (ALL SHEETS) THRU 10/8/07

SITE DATA:

PARCEL NUMBERS: 029-011-27, 029-011-33
 TOTAL ACREAGE: +/- 8.85 ACRES
 ZONING: R-12MF (CD) PETITION # 07-032
 TOTAL UNITS: 64 UNITS (TOWNHOUSES FOR SALE*)
 *EACH UNIT TO HAVE MINIMUM SUBLOT SIZE SUFFICIENT TO ACCOMMODATE THE DWELLING UNIT AND 400 SQ. FT. OF PRIVATE OPEN SPACE.
 DENSITY: 7.23 UNITS/ACRE
 MAX. BLDG HEIGHT: 50' (3 STORIES MAX) INCREASED REAR YARD ABUTTING SINGLE FAMILY ONE FOOT FOR EVERY FOOT ABOVE 40'. INCREASED FROM 50' TO 60'

ACREAGE IN LOTS: 2.86 AC.
 ACREAGE IN 30' CLEAR OF OBSTRUCTION: 1.11 AC.
 LINEAR FEET OF NEW STREETS: 1660 LF

OPEN SPACE:

REQUIRED: 4.42 ACRES (50%)
 PROVIDED: 4.81 ACRES (54%)

TREE SAVE:

REQUIRED: 0.88 ACRES (10%)
 PROVIDED: 1.48 ACRES (17%)

UNIT DATA:

3 UNIT BUILDING (AVG. 73'x47') 3 BUILDINGS
 4 UNIT BUILDING (AVG. 93'x47') 2 BUILDINGS
 5 UNIT BUILDING (AVG. 113'x47') 1 BUILDINGS
 6 UNIT BUILDING (AVG. 133'x47') 7 BUILDINGS

SETBACKS:

FRONT SETBACK: 30' ALONG MALLARD CREEK CHURCH ROAD AND SENATOR ROYAL DRIVE 20' (FROM BACK OF CURB OR BACK OF SIDEWALK ALONG INTERIOR PRIVATE STREETS FOR GARAGE) 15' FOR REMAINDER OF BUILDING FROM B.O.C. ALONG PRIVATE STREET
 REAR YARD: 60' ABUTTING SINGLE FAMILY (NORTHERN BOUNDARY) 60' ALONG EASTERN BOUNDARY PER REZONING, AND 40' ABUTTING WESTERN BOUNDARY
 BUILDING SEPARATION: MIN. 20'

PARKING:

REQUIRED (1.5 SPACES/UNIT): 96 SPACES
 PROVIDED: 142 SPACES
 BIKE PARKING: N/A FOR S.F. ATTACHED

SOLID WASTE/RECYCLING:

SOLID WASTE REQUIRED (ONE 8 CU. YD COMPACTOR PER 90 UNITS): 1
 SOLID WASTE PROVIDED: ONE 8 CU. YD COMPACTOR
 RECYCLING REQUIRED (ONE 144 SF RECYCLING STATION PER 80 UNITS): 1
 RECYCLING PROVIDED: ONE 144 SF RECYCLING STATION

DEVELOPER ANTICIPATES PRIVATE ROLL OUT SERVICE. DUMPSTER AND RECYCLE AREAS DEPICTED ON SITE PLAN ARE SHOWN ONLY AS AN ALTERNATE COLLECTION AREA

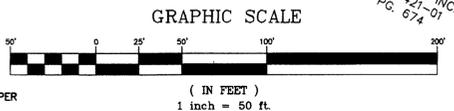
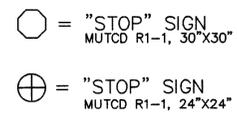
STREET LIGHT NOTE:

STREET LIGHTS ARE TO BE "ACORN" STYLE FROM DUKE POWER'S OUTDOOR LIGHTING SERVICE. ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 15 FEET IN HEIGHT. LIGHTING ON THE SITE SHALL BE "FULLY SHIELDED" AND NO WAL-PAK LIGHTING SHALL BE USED

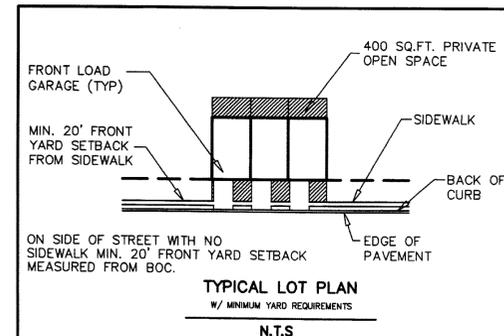
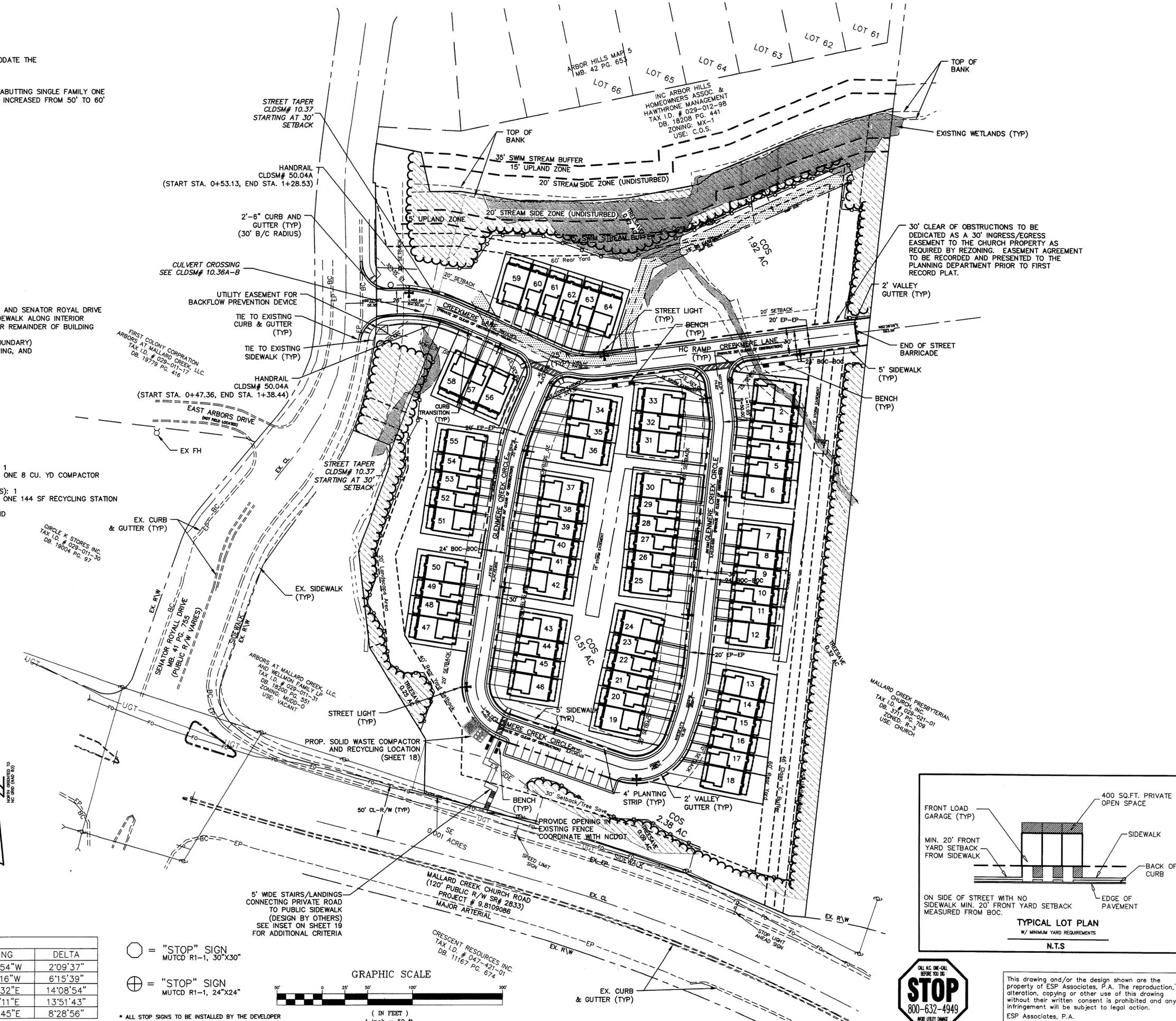
COMPLETION DATE: APRIL 2008

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L6 | 21.35' | N00°00'03"W |
| L7 | 68.27' | S82°19'41"E |
| L8 | 49.01' | N88°32'12"E |
| L9 | 34.73' | N86°37'46"E |
| L10 | 34.64' | N84°27'19"E |
| L11 | 79.08' | N77°55'08"E |
| L12 | 20.74' | N51°17'03"E |
| L14 | 6.63' | N76°18'06"W |
| L15 | 75.09' | S76°14'46"E |
| L16 | 71.03' | S55°05'54"E |
| L17 | 29.93' | S14°45'59"W |
| L18 | 49.69' | N04°57'37"E |
| L19 | 46.92' | S72°44'42"E |
| L20 | 46.12' | N76°16'05"W |
| L21 | 2.50' | S88°06'18"W |
| L22 | 10.99' | N06°46'14"E |
| L23 | 44.38' | S13°53'53"E |
| L24 | 33.65' | N88°34'11"E |
| L25 | 81.25' | N75°47'11"W |
| L26 | 82.40' | N74°20'38"W |
| L27 | 31.46' | S05°05'41"W |
| L28 | 21.38' | N00°20'59"W |

| CURVE | LENGTH | RADIUS | TANGENT | CHORD | BEARING | DELTA |
|-------|---------|----------|---------|---------|-------------|-----------|
| C5 | 18.79' | 498.22' | 9.39' | 18.78' | N86°09'54"W | 2°09'37" |
| C6 | 215.25' | 1969.86' | 107.73' | 215.15' | N70°10'16"W | 6°15'39" |
| C7 | 70.70' | 286.31' | 35.53' | 70.52' | N14°03'32"E | 14°08'54" |
| C8 | 68.35' | 282.50' | 34.34' | 68.18' | N05°02'11"E | 13°51'43" |
| C9 | 32.57' | 220.00' | 16.31' | 32.54' | N02°20'45"E | 8°28'56" |



* ALL STOP SIGNS TO BE INSTALLED BY THE DEVELOPER



This drawing and/or the design shown are the property of ESP Associates, P.A. The reproduction, alteration, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.
 ESP Associates, P.A.

ESP Associates, P.A.
 P.O. Box 7039
 Charlotte, NC 28241
 5475 Lakenwood Blvd.
 Charlotte, NC 28218
 704-548-9400
 704-548-9401 (Fax)
 www.espassociates.com

CLIENT

SHEET TITLE

PROJECT

DATE

BY

TAC

N/A

NO.

DATE

REVISION

SCALE

DATE

BY

TAC

N/A

CREATED BY

LWH

SHEET NO.

4

PROJECT NO.

1032-400

SCALE

1/8" = 1'-0"

DATE

5/29/07

BY

LWH

TAC

N/A

REVISION

1

DATE

8/10/07

BY

LWH

TAC

N/A

REVIEW COMMENTS

CHANGES PER REVIEW COMMENTS

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

2

DATE

9/26/07

BY

LWH

TAC

N/A

REVIEW COMMENTS

CHANGES PER REVIEW COMMENTS

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

3

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

4

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

5

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

6

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

7

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

8

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

9

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

10

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

11

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

12

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

13

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

14

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

15

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

16

DATE

9/26/07

BY

LWH

TAC

N/A

REVISION

17

DATE