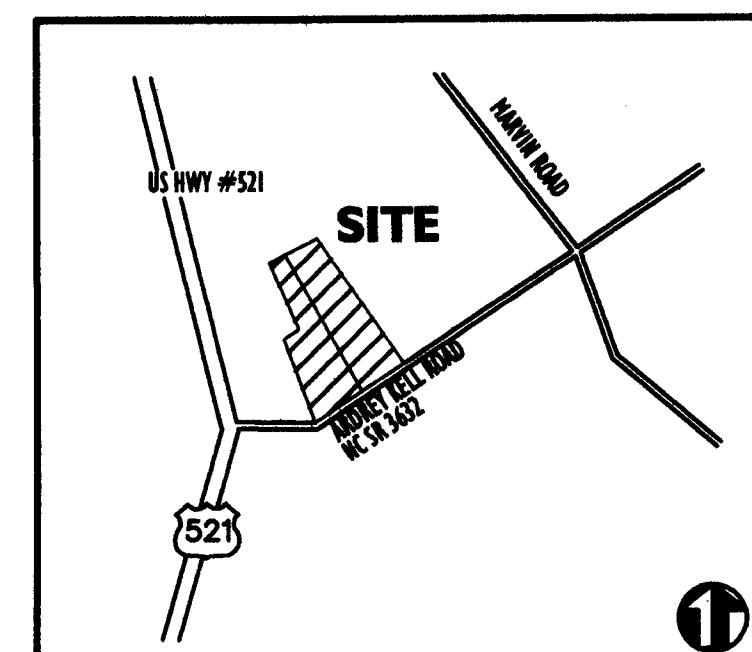


The Enclave at Ardrey Kell

Capital Land Partners

Charlotte, North Carolina



Vicinity Map - NTS

Owner

Capital Land Partners LLC
1001 Morehead Square Dr. Suite 280
Charlotte, North Carolina 28203
704-376-4110

Designer

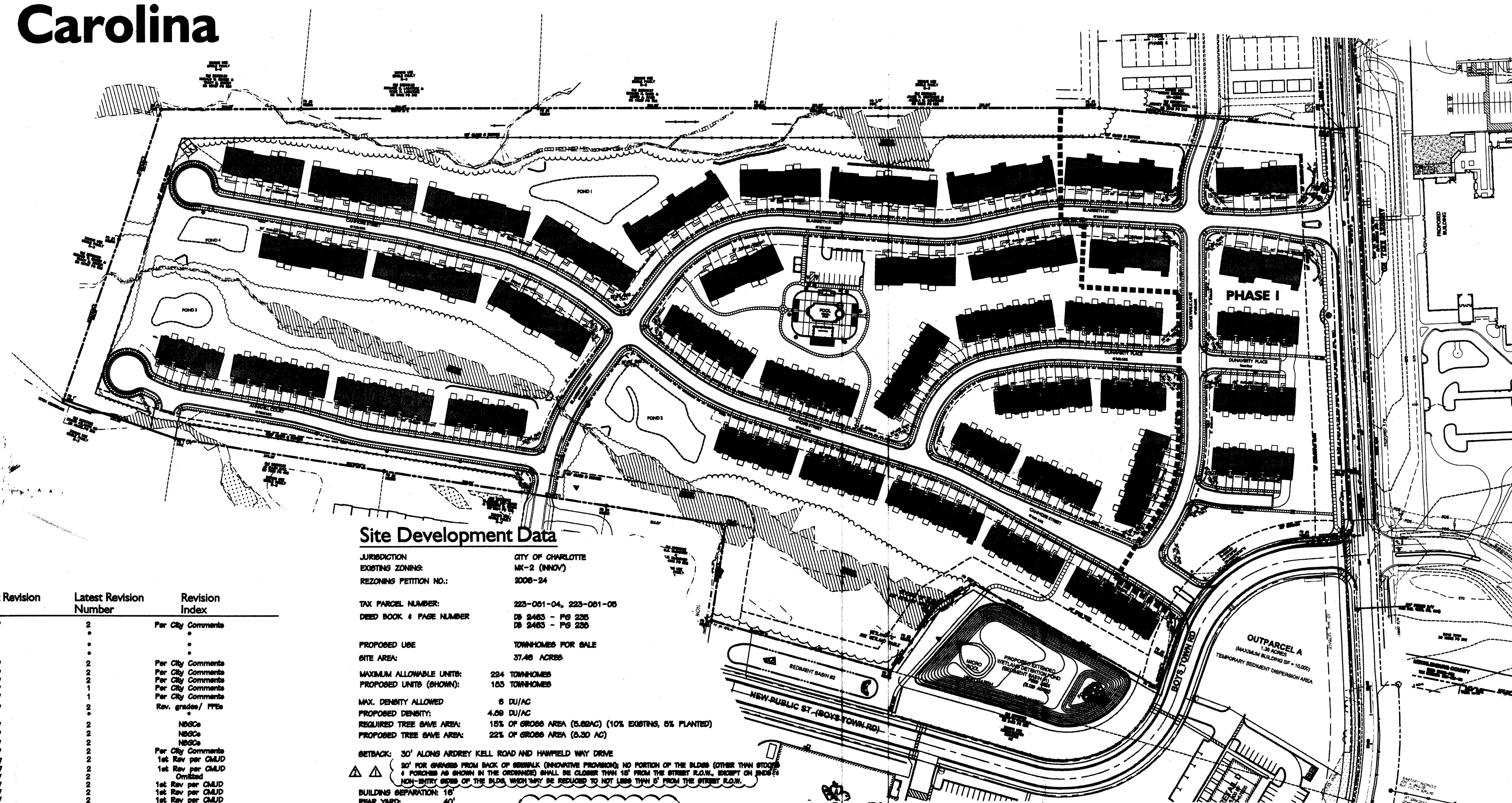


2 3 2 0
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Civil Engineering
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Telephone: 704-521-9880
Facsimile: 704-521-8955
CADD# 2728

Sheet Schedule

Sheet Title	Sheet No.	Original Date	Latest Revision Date	Latest Revision Number	Revision Index
Cover Sheet	RZ-1	5.16.07	9.26.07	2	Per City Comments
Technical Data Sheet	RZ-2	11.22.06	3.5.08	*	
Schematic Site Plan	L-1.1	11.22.06	3.5.08	*	
Existing Conditions/Demolition Plan	L-2.1	5.16.07	9.26.07	2	Per City Comments
Site Plan-East	L-2.2	5.16.07	9.26.07	2	Per City Comments
Site Plan-West	L-2.3	5.16.07	9.26.07	2	Per City Comments
Initial Erosion Control Plan-East	L-3.1	5.16.07	7.13.07	1	Per City Comments
Initial Erosion Control Plan-West	L-3.2	5.16.07	7.13.07	1	Per City Comments
Final Erosion Control Plan-East	L-3.3	5.16.07	9.26.07	2	Per City Comments
Final Erosion Control Plan-West	L-3.4	5.16.07	9.26.07	2	Per City Comments
Grading/Storm Drainage Plan-East	L-3.5	5.16.07	9.26.07	2	Per City Comments
Grading/Storm Drainage Plan-West	L-3.6	5.16.07	9.26.07	2	Per City Comments
Grading/Storm Drainage Plan-Pond	L-3.7	5.16.07	9.26.07	2	Per City Comments
Food Study Gross Sections	L-3.8	5.16.07	9.26.07	2	Per City Comments
MUD Cover	1 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Permit	2 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Overall Site Plan	3 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	4 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	5 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	6 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	7 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	8 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	9 of 10	5.16.07	9.26.07	2	Per City Comments
MUD Plan & Profile	10 of 10	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.1	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.2	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.3	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.4	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.5	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.6	5.16.07	9.26.07	2	Per City Comments
Graded Plan and Profile Public Streets	L-5.7	5.16.07	9.26.07	2	Per City Comments
Ardrey Kell Road Pavement Marking Plan	L-5.8	5.16.07	9.26.07	2	Per City Comments
Ardrey Kell Road Right of Way Plan & Profile	L-5.9	5.16.07	9.26.07	2	Per City Comments
Ardrey Kell Road Traffic Control Plan-Phase 1	L-5.10.1	5.16.07	7.13.07	1	Per City Comments
Ardrey Kell Road Traffic Control Plan-Phase 2	L-5.10.2	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.1	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.2	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.3	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.4	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.5	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.6	5.16.07	7.13.07	1	Per City Comments
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Storm Sewer Profiles	L-6.99	5.16.07	7.13.07	1	Per City Comments
Storm Sewer Profiles	L-6.100	5.16.07	7.13.07	1	Per City Comments

This Set current Through Sheet Date: September 28, 2007



Site Development Data

JURISDICTION: CITY OF CHARLOTTE
EXISTING ZONING: MK-2 (MNOV)
REZONING PETITION NO.: 2006-24

TAX PARCEL NUMBER: 223-001-04, 223-001-05
DEED BOOK & PAGE NUMBER: DB 2483 - PG 235
DB 2483 - PG 235

PROPOSED USE: TOWNHOMES FOR SALE
SITE AREA: 37.48 ACRES

MAXIMUM ALLOWABLE UNITS: 224 TOWNHOMES
PROPOSED UNITS (SHOWN): 163 TOWNHOMES

MAX. DENSITY ALLOWED: 6 DU/AC
PROPOSED DENSITY: 4.36 DU/AC
REQUIRED TREE SAVE AREA: 15% OF GROSS AREA (5.62 AC) (10% EXISTING, 5% PLANTED)
PROPOSED TREE SAVE AREA: 22% OF GROSS AREA (8.30 AC)

SETBACK: 30' ALONG ARDREY KELL ROAD AND HANFIELD WAY DRIVE
30' FOR GARAGES FROM BACK OF SEWERALK (INNOVATIVE PROMISING); NO PORTION OF THE BLDGS (OTHER THAN STORIES 4 PORCHES AS SHOWN IN THE ORDERED) SHALL BE CLOSER THAN 15' FROM THE STREET ROW, EXCEPT ON BLDGS NON-BUTY SIDES OF THE BLDGS WHICH MAY BE REQUIRED TO NOT LESS THAN 5' FROM THE STREET ROW.

BUILDING SEPARATION: 15'
REAR YARD: 40'
HEIGHT (40' MAX): 30' PROPOSED 2-STORY MAX. BUILDINGS, NOT SPRINKLED

PARKING INFORMATION
REQUIRED PARKING (1.5 SPACES PER UNIT) 276 SPACES
PROPOSED DRIVEWAY PARKING 360 SPACES
PROPOSED GARAGE PARKING 360 SPACES
PROPOSED CLUBHOUSE PARKING 9 SPACES
PROPOSED PARKING 745 SPACES
REQUIRED BICYCLE PARKING (1 PER 20 UNITS) 8 SPACES
PROPOSED BICYCLE PARKING 9 SPACES

SUBLOT WILL BE A MINIMUM OF 400 S.F. PRIVATE OPEN SPACE
PRIVATE OPEN SPACE: 164 TOWNHOME UNITS (400 SF/UNIT) = 73,600 SF
EACH TOWNHOME UNIT WILL HAVE MIN. OF 400 S.F. SUBLOT SEE SHEET L9.1

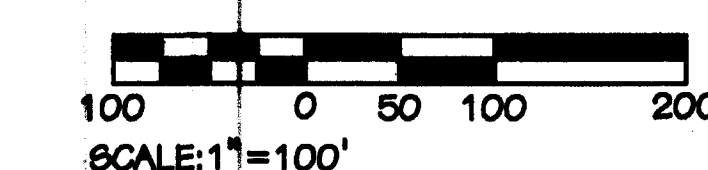
BUILDING COVERAGE: 311,775 SF (7.16 AC)
STREETS, DRIVES, PARKING COVERAGE = 228,850 SF (5.27 AC)
SIDEWALK COVERAGE: 55,940 SF (1.25 AC)
POOL COVERAGE: 5,515 SF (0.20 AC)
TOTAL NATURAL AREA/ OPEN SPACE: 23.40 AC, 62.7% OF TOTAL AREA

TREE SAVE PROVIDED: 15% TOTAL SITE AREA = 244,785 SF (5.62 AC)
TREE SAVE PROVIDED: 381,022 SF (8.30 AC) (22%)

COMMON OPEN SPACE:
REQUIRED: 3.75 AC (10%)
PROVIDED: 9.97 AC (26.6%)

SOLID WASTE WILL BE PROVIDED BY PRIVATE ROLL-OUT TRASH SERVICE. HOWEVER, IF SERVICE IS DISCONTINUED IN THE FUTURE, THE FOLLOWING WILL BE REQUIRED:
- ONE EIGHT (8) CU.YD. COMPACTOR DUMPSTER IS REQUIRED PER 80 UNITS
- ONE CU. YD. COMPACTOR PROVIDED
- ONE (1) 144 S.F. RECYCLING STATION REQUIRED FOR 30 - 80 UNITS
2 PROVIDED

Site Plan



LEGEND

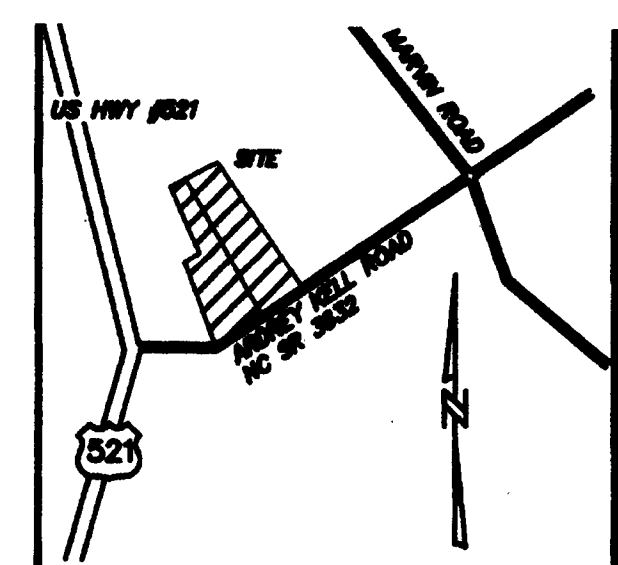
- PROPOSED STREET SIGN
- PROPOSED STOP SIGN
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WOODEN FENCE
- PROPOSED CURB AND GUTTER
- PROPERTY LINE
- BUILDING NUMBER
- WETLANDS

40' TOWNS		40' TOWNS		
NO. OF 3 UNIT BLDGS.	7 (26.9% OF TOTAL)	TYPE	COUNT	% OF TOTAL
NO. OF 4 UNIT BLDGS.	11 (61.1% OF TOTAL)	M UNITS	36	55.4%
		P UNITS	29	44.6%
TOTAL 40' TOWNS BLDGS	18	TOTAL	65	100.0%

20' TOWNS		20' TOWNS		
NO. OF 4 UNIT BLDGS.	3 (13.6% OF TOTAL)	TYPE	COUNT	% OF TOTAL
NO. OF 5 UNIT BLDGS.	6 (26.4% OF TOTAL)	K UNITS	55	48.6%
NO. OF 6 UNIT BLDGS.	11 (50.0% OF TOTAL)	M UNITS	55	53.4%
TOTAL 20' BLDGS.	20	TOTAL	110	100.0%

CONSTRUCTION SCHEDULE
LAND DEVELOPMENT: SEPTEMBER 2007-DEC 2007
BUILDING CONSTRUCTION: DEC 2007 - DEC 2008

Set No. _____



Hawfield Site Development Standards

1. Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed units on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases within the building envelope line as shown on the plan per Section 6.2 of the Zoning Ordinance.
2. The use of the principal portion of the site will be for the construction of single-family detached homes along with related accessory uses under the MX-2 district standards. The site will be limited to a density maximum of 6 dwelling units per acre.
3. Pedestrian scale lighting will be provided within the development. Any detached lighting on the site will be limited to 15 feet in height unless City standards require streetlights to be higher.
4. Signs will be permitted in accordance with applicable Zoning standards.
5. Parking will be provided which will meet or exceed the standards of the Zoning ordinances. It will be provided by a combination of off street and on street but all minimum parking standards will be met by off street spaces.

connections to other properties as generally depicted on the site plan. The two cut-de-sec streets to the north have not been extended in view of the fact that both would run into a previously subdivided large single-family lot and into stream and wetland areas. The proposed street stubs toward Ardrey Kell Rd., if public, will be furnished with approved terminations. Public street connections to the adjacent tract to the east will be designed to meet City standards for targets. Right-of-way will be dedicated along Ardrey Kell Rd. to achieve 50' from the centerline along the Petitioner's frontage. In accordance with CDOT comments, the Petitioner will be relieved of any improvement responsibility for improvements normally required along Ardrey Kell Road, but will contribute funds to the City of Charlotte in an amount to be agreed upon by the City and the Petitioner. The funds will be put toward those improvements as part of the larger road improvement project. If the city does not construct their proposed widening project on Ardrey Kell, the Petitioner will make the normal Chapter 19 improvements along with any additional improvements required by this development and indicated on the approved site plan. If the City has not made a determination on the road project by the time that the Petitioner's development plans are ready to be approved, the Petitioner reserves the right to do these improvements as part of their development. Street stubs that would connect the site to parcels to the north are not proposed by the Petitioner, but will be evaluated as part of the subdivision review process for the development.

7. Buildings will be so situated so as to provide at least 20' between garage doors and the back of the sidewalk. No portion of the front of the buildings (other than stoops and porches as shown in the ordinance) shall be closer than 15' from the street right-of-way, except on ends and non-entry sides of the building, which may be reduced to not less than 5' from the street right-of-way.
8. Trash collection will be provided by individual roll-out containers.

photos are intended to be a representative example of the type, style, scale and quality of the units that will be constructed on this site. The actual design of the units may vary in terms of architectural features, dimensions, and details but the overall character of the units will be in keeping with the character represented by the photos.

10. With regard to storm water, the Petitioner's site will tie-in to the existing storm water system(s) if any are present. The Petitioner will have the receiving drainage system(s) analyzed (to and including the culvert under Lancaster highway) to ensure that it will not be taken out of standard due to the development, taking into account the total size of the Petitioner's site relative to the overall size of the basin draining to that point. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide alternate methods to prevent this from occurring. In lieu of the before mentioned downstream analysis, the petitioner may at his option provide stormwater detention to attenuate 2, 10, 25 and 50 year storms to pre-developed discharge rates, showing no increase in peak discharge, up to the 50 year storm.

The Petitioner will control and treat the runoff volume generated from the first 1-inch of rainfall. Runoff draw down time shall be a minimum of 24 hours, but not more than 120 hours. Peak storm water release rates should match pre-development rates for the 2 year and 10 year 6 hour storm events.

The use of structural storm water treatment systems (wet ponds, extended detention wetlands, bio-retention, etc.) shall be incorporated into the site and designed to have an 85 % average annual removal for Total Suspended Solids (TSS) generated from the development according to specifications in the most recent version of the N.C. Department of Environment and Natural Resources Best Management Practices Manual. These primary systems will be utilized to treat most paved and built upon areas. Upon prior approval from LUEBA and Charlotte Storm Water Services, the petitioner may treat small remote areas of the site through the use of alternative measures such as level spreaders, vegetated buffers and wetlands. These areas may not achieve 85 % TSS removal.

SWIM buffer standards will be met on the site if applicable.

propose modifications to the following standards:

- Street right-of-way widths
- Street type, dimensions, and construction standards
- Setbacks

12. The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, bicycles, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator and are not separate zoning conditions imposed by this site plan.

13. Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners," shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the owner or owners of the Site who may be involved in its development from time to time.

14. The Petitioner will construct a 6' tall wood fence to run parallel along the 50' buffer that separates the Evermay subdivision and the Hawfield property. The fence will generally run along the Pulse Homes side 50' buffer except where topography or other obstructions prevent it from running exactly along the 50' buffer. If the fence needs to cross a stream, an overlap of the fence will occur vs. crossing the creek with the fence. The fence will be constructed as the development occurs along the common property line.

15. The Petitioner will devote 15% of the total site area to tree save areas. Of that area, a minimum of 10% will be preserved and up to 5% will be re-vegetated in accordance with the standards of the Tree Ordinance.

16. Open space areas located throughout the site will be furnished with sidewalks, walking or bike trails, benches, planting beds, and other landscaping. The clubhouse will be constructed at the developer's option. A pedestrian and bicycle connection will be installed to connect to the adjacent neighborhood shopping center. The bike path/sidewalk will be extended at the same width and with the same materials as approved for the portion of the path on the shopping center site. A 6' sidewalk/6' planting strip will be provided along the street that connects to the shopping center site. The site will provide pedestrian connections from the units on the two dead end streets to the Ardrey Kell sidewalk, with due consideration for security and for the continuity of the landscape treatment along Ardrey Kell.

Revised per staff comments, January 20, 2006, 2D
Revised per staff comments, January 27, 2006, 2c
Revised per staff comments, February 24, 2006, 3
Revised per Zoning Committee Approval March 1, 2006
Revised per City Council Approval March 20, 2006, 4a

Site Data

Tax Parcel # 223-081-04 & 223-081-05
Gross Acreage 37.46 AC
Existing Zoning R-3
Proposed Zoning MX-2 (INNOVATIVE)



2 3 2 0
W. Morehead Street
Charlotte, NC 28208

Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone 704-521-8880
Facsimile 704-521-8955

Seal:

Hawfield Property

Pulte Homes
Charlotte, North Carolina

Project No: 2778
Drawn By: P. Gensch
Designed By: P. Hulse
Checked By: P. Hulse
Date: 11.22.05

Revisions:
Δ Revised per staff comments 02.24.06
Δ Revised per staff comments 03.01.06

Sheet Title:

Rezoning
Technical Data
Sheet

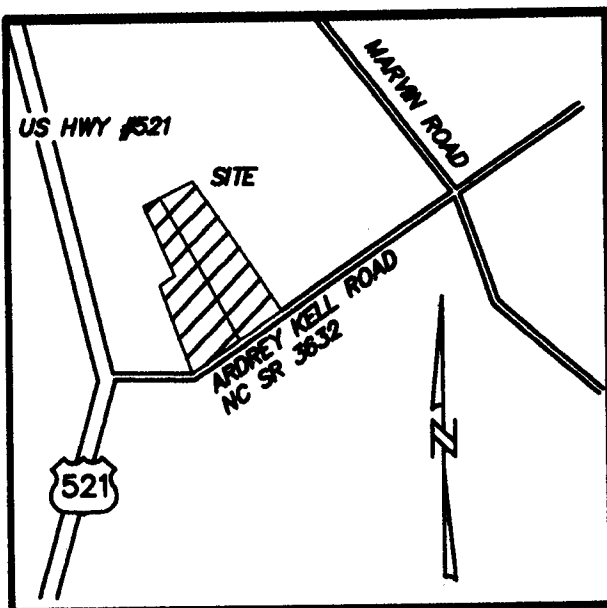
Sheet No:

RZ-1

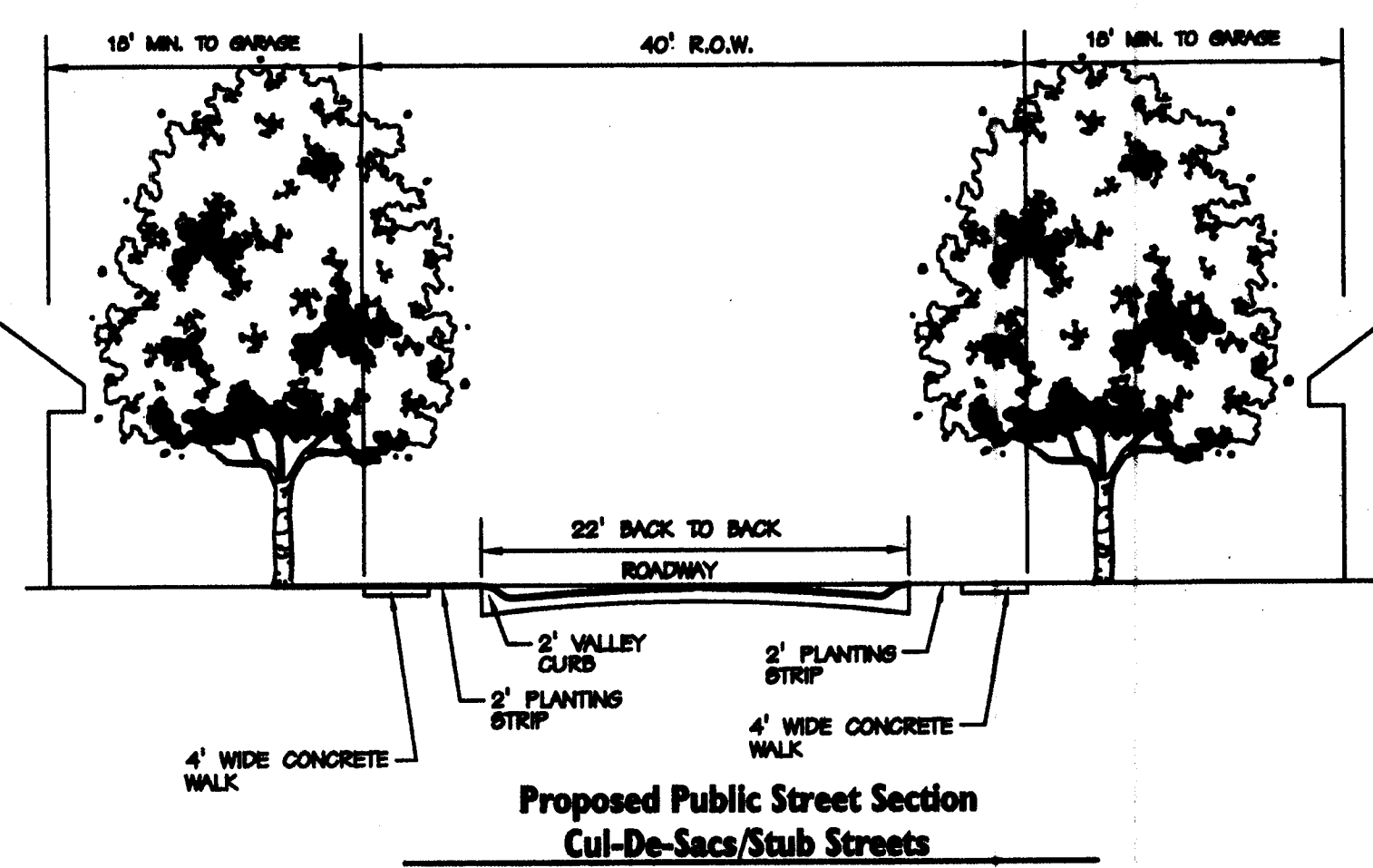
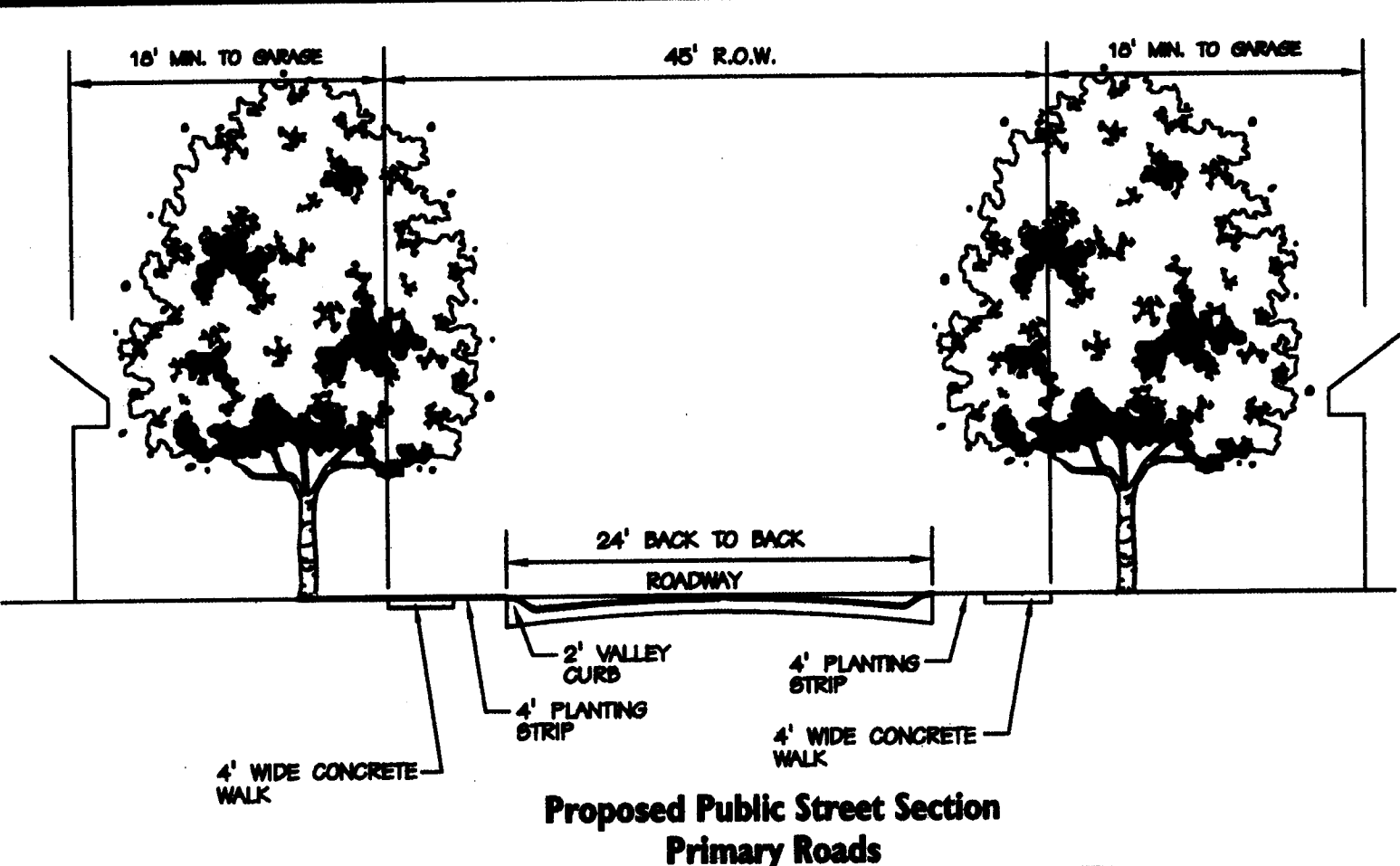


Petition Number 2006 - 24

100 0 50 100 200
1"=100'

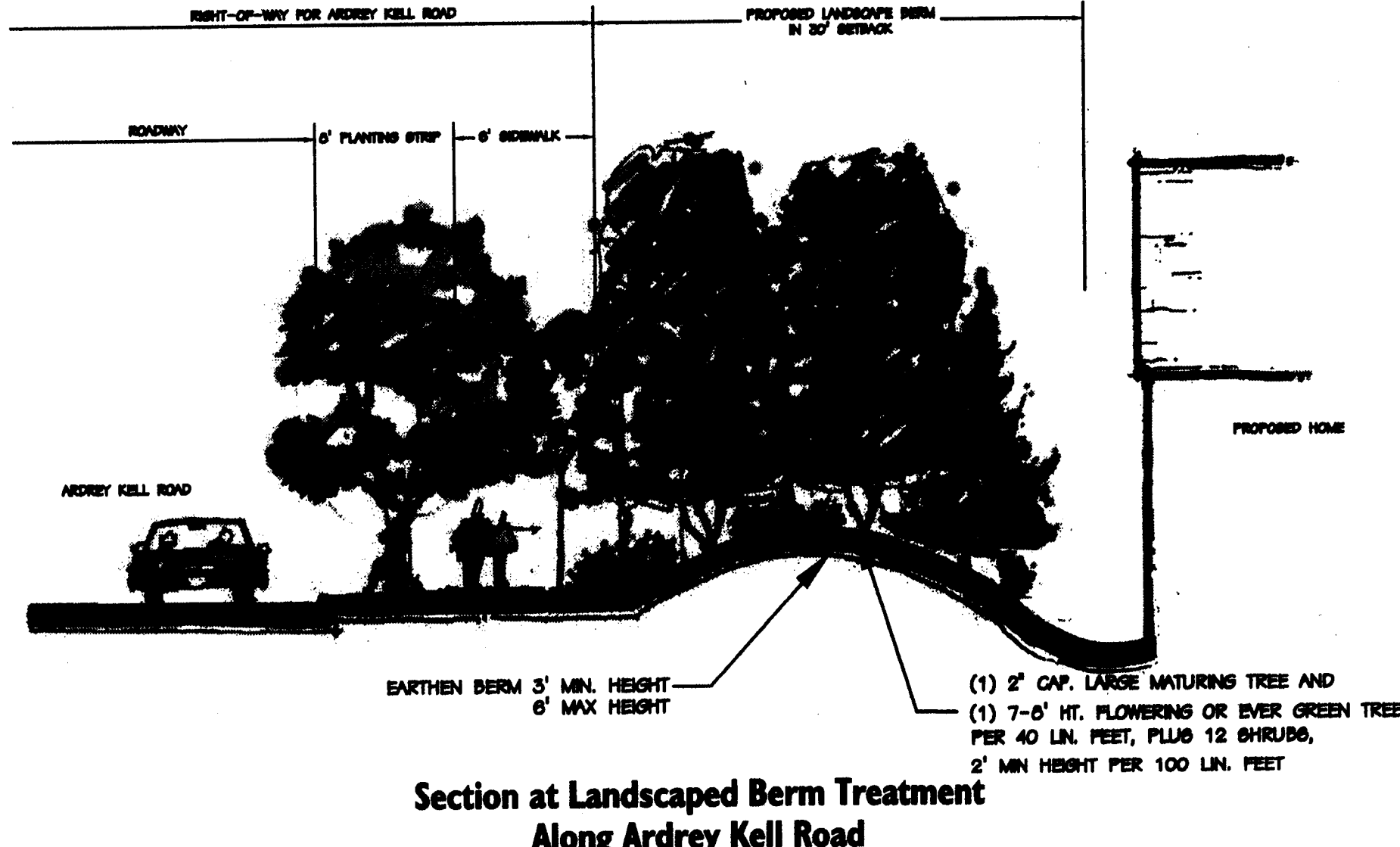
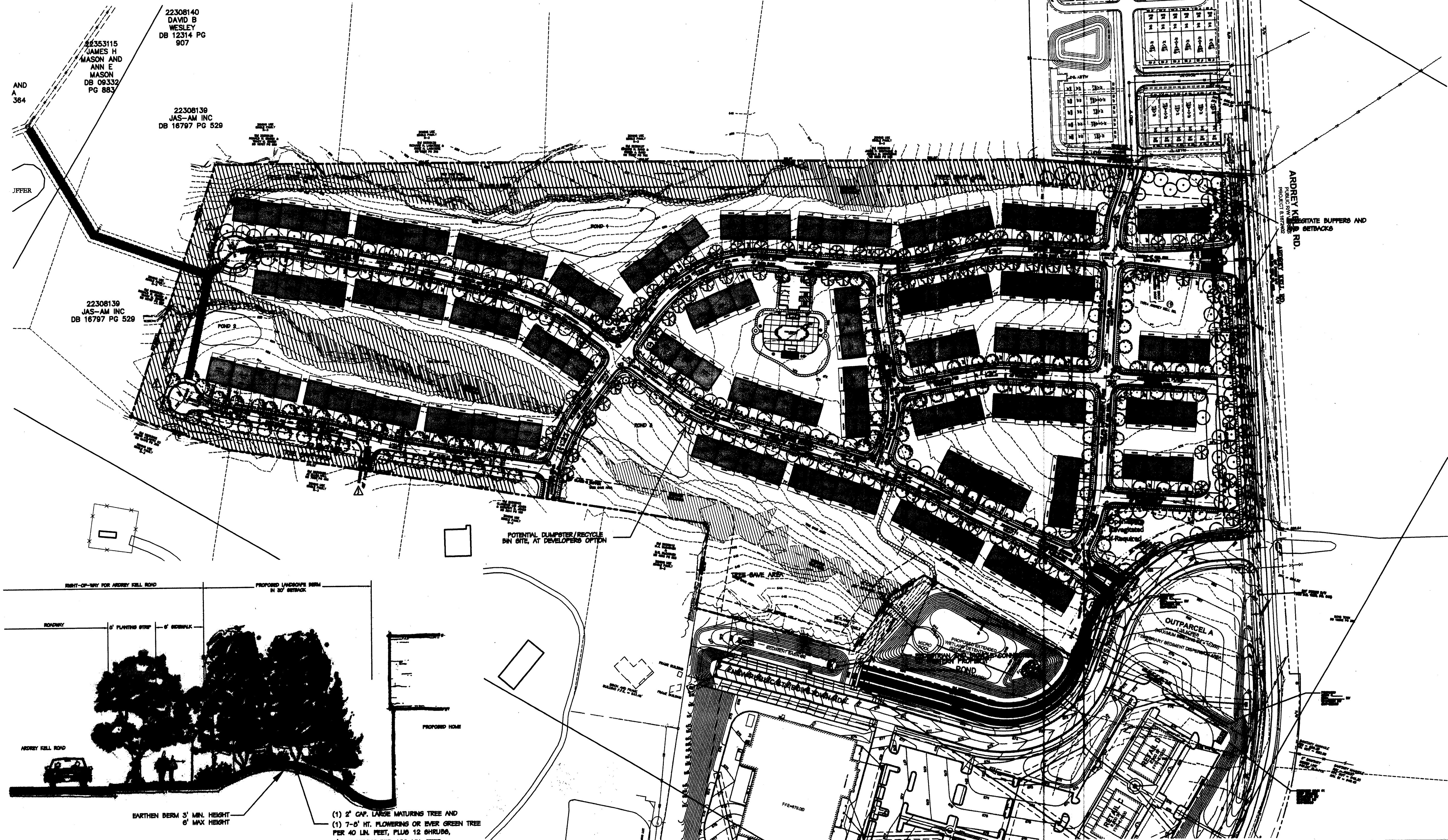


Vicinity Map - NTS



Site Data

Tax Pin	223-081-04 & 223-081-05
Gross Acreage	37.46 AC
Existing Zoning	R-3
Proposed Zoning	MX-2 (INNOVATIVE)
Maximum Density	6 Units/AC
Maximum Number of Units	224
Proposed Number of Units	139
Proposed Density	4 Units/AC
Proposed Tree Save Area	15 % of GA (10% Existing, 5% Planted)



Section at Landscaped Berm Treatment Along Ardrey Kell Road

Petition Number 2006-24

SITE SOLUTIONS
2 3 2 0
W. Morehead Street
Charlotte, NC 28208
Landscape Architecture
Site Planning
Civil Engineering
www.sitesolutionspa.com
Telephone: 704-521-9880
Facsimile: 704-521-8955

Seal:

Hawfield Property
Pulte Homes
Charlotte, North Carolina

Project No:	2728
Drawn By:	P. Gorsuch
Designed By:	P. Hobbs
Checked By:	P. Hobbs
Date:	11.22.05
Revisions:	
△ Revised Per Staff Comments	02.24.06
△ Revised Per Staff Comments	03.03.06
△ Revised Per Staff Comments	09.11.06

Sheet Title:
Revised Schematic Site Plan
Sheet No:
RZ-2

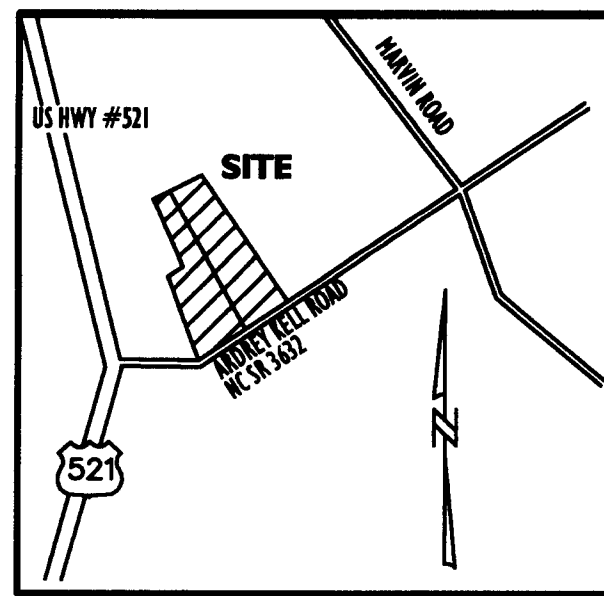


40 0 20 40 80

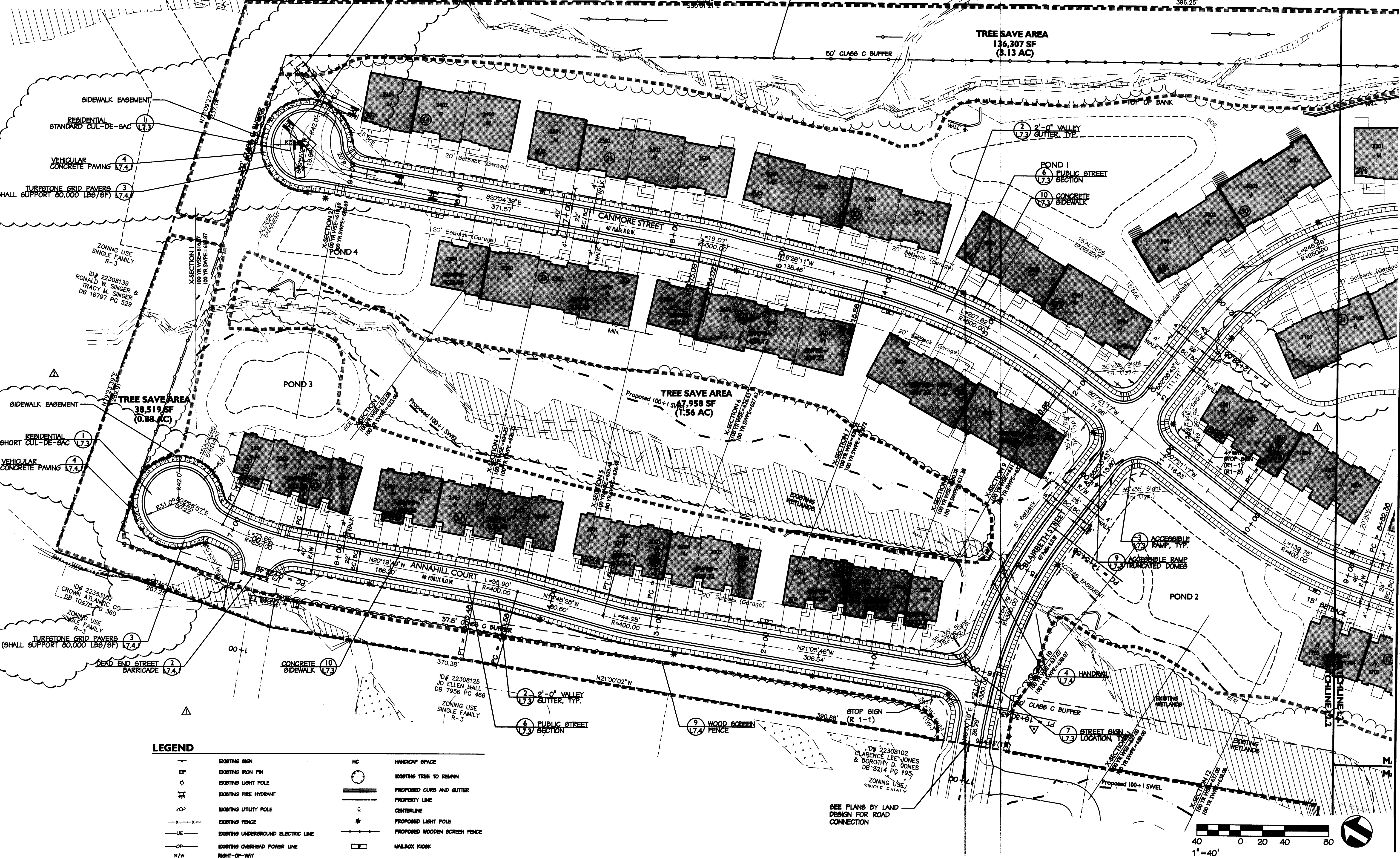
$1'' = 40'$



Sheet No: **L-2.1**



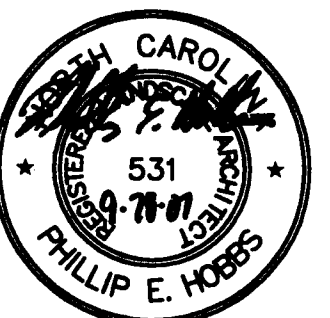
Vicinity Map - NTS



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Charlotte, NC 28208

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Civil Engineering
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Seals:

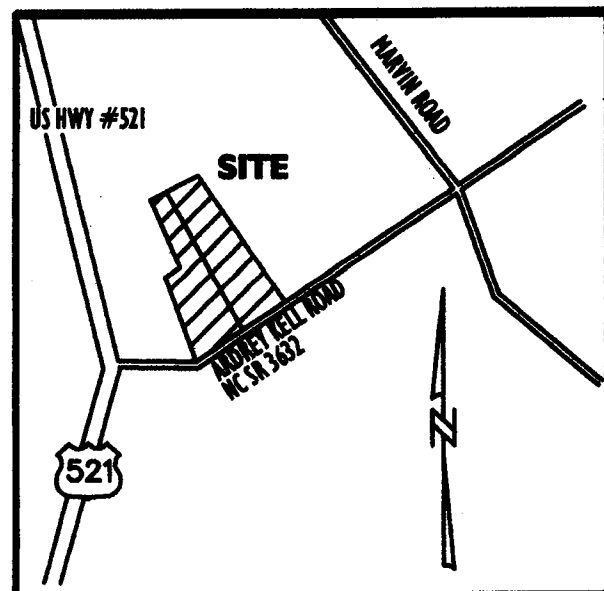


The Enclave at Ardrey Kell
Capital Land Partners, LLC
11514 Ardrey Kell Road
Charlotte, North Carolina

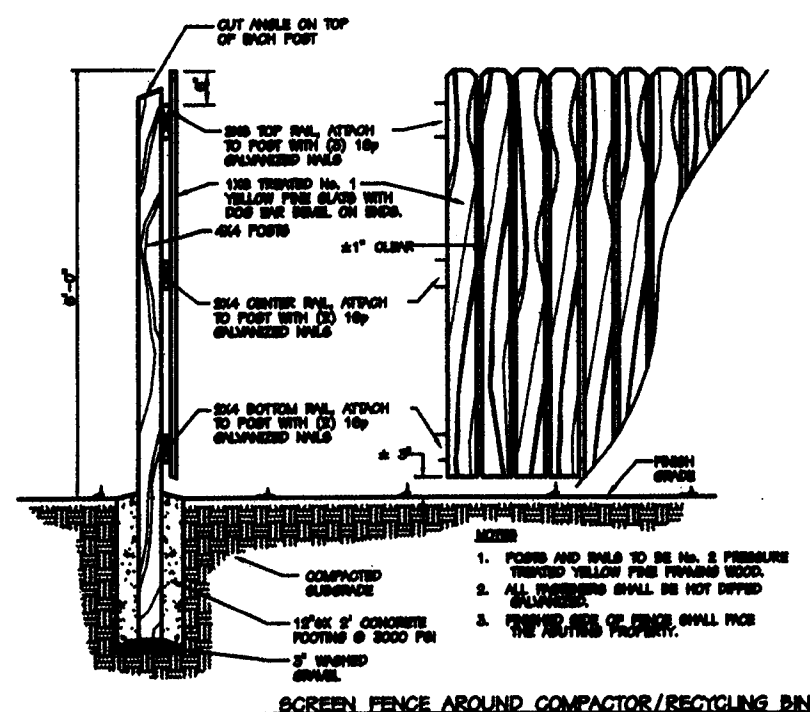
Project No: 2728
Drawn By: PNG/CPC
Designed By: SS
Checked By: P. Hobbs
Date: 05.18.07
Revisions:
Ave. per City comments 7.13.07
Ave. per City comments 9.28.07
Call de-sacs/flood elev.

Sheet Title:
Site Plan - West

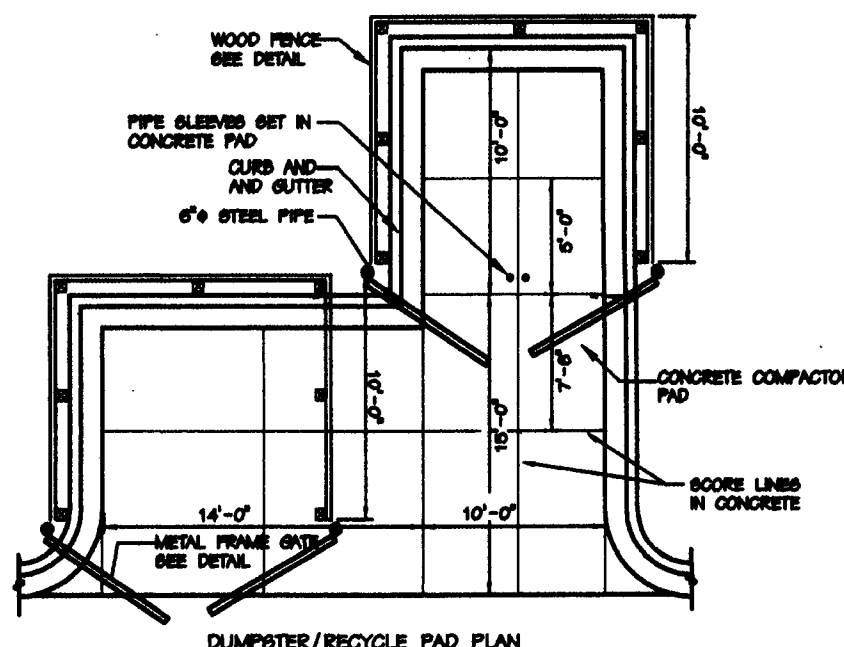
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L-2.2



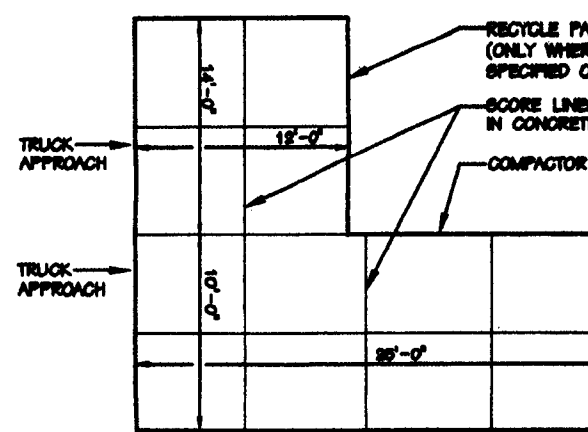
Vicinity Map - NTS



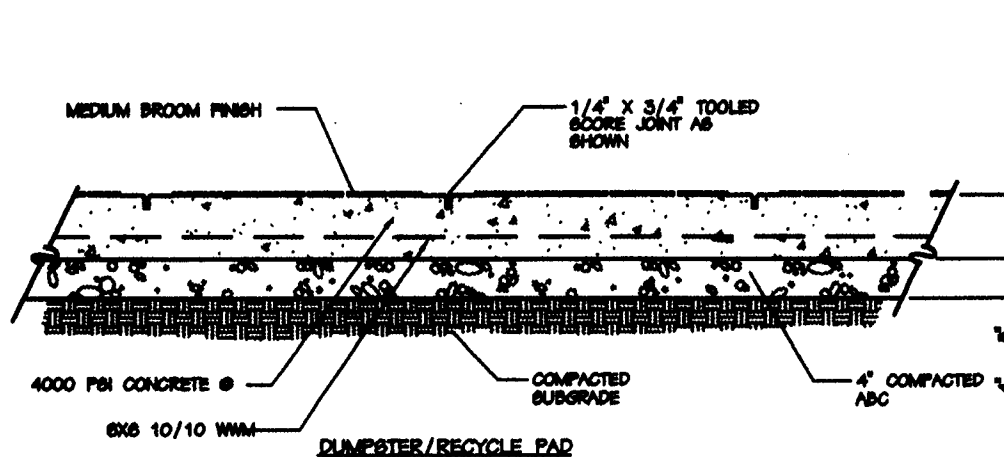
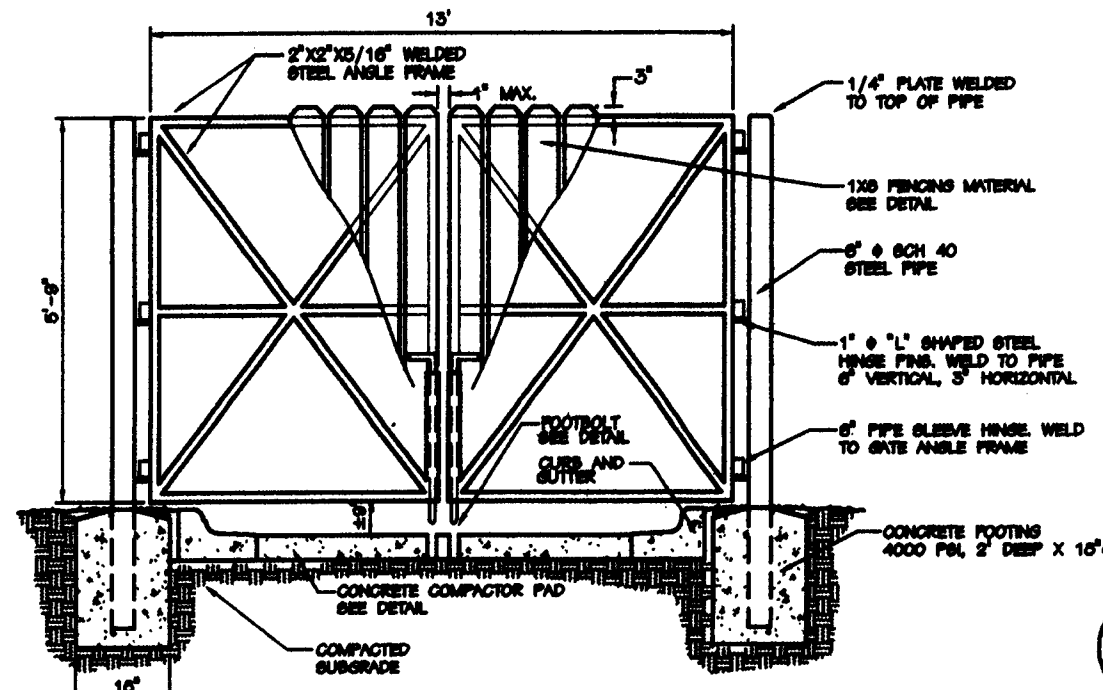
SCREEN FENCE AROUND COMPACTOR/RECYCLING BIN



DUMPSTER/RECYCLE PAD PLAN



COMPACTOR/RECYCLE PAD LAYOUT

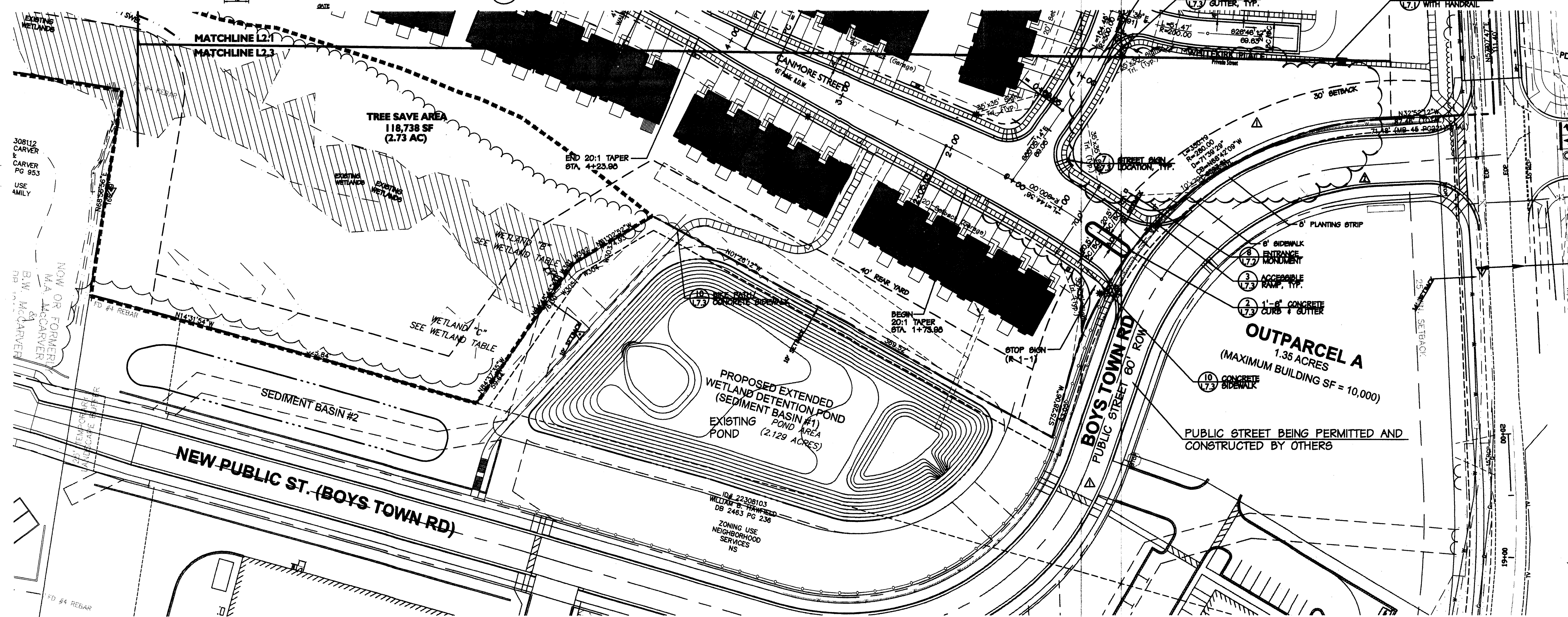


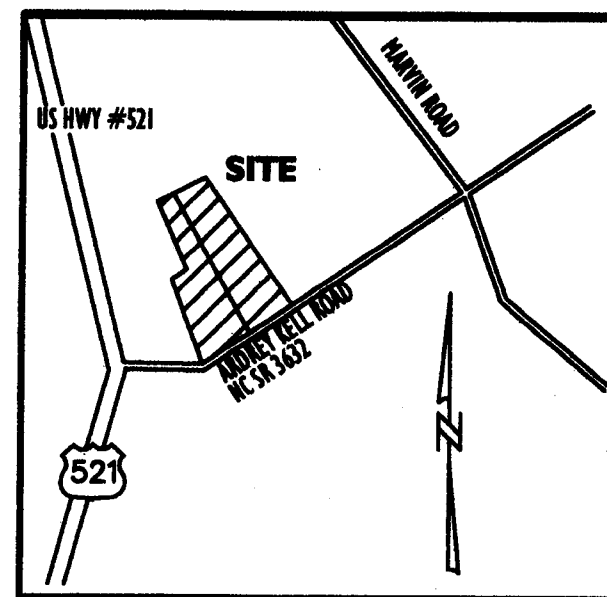
OPTIONAL

Solid Waste & Recycling Pad/Fence Detail

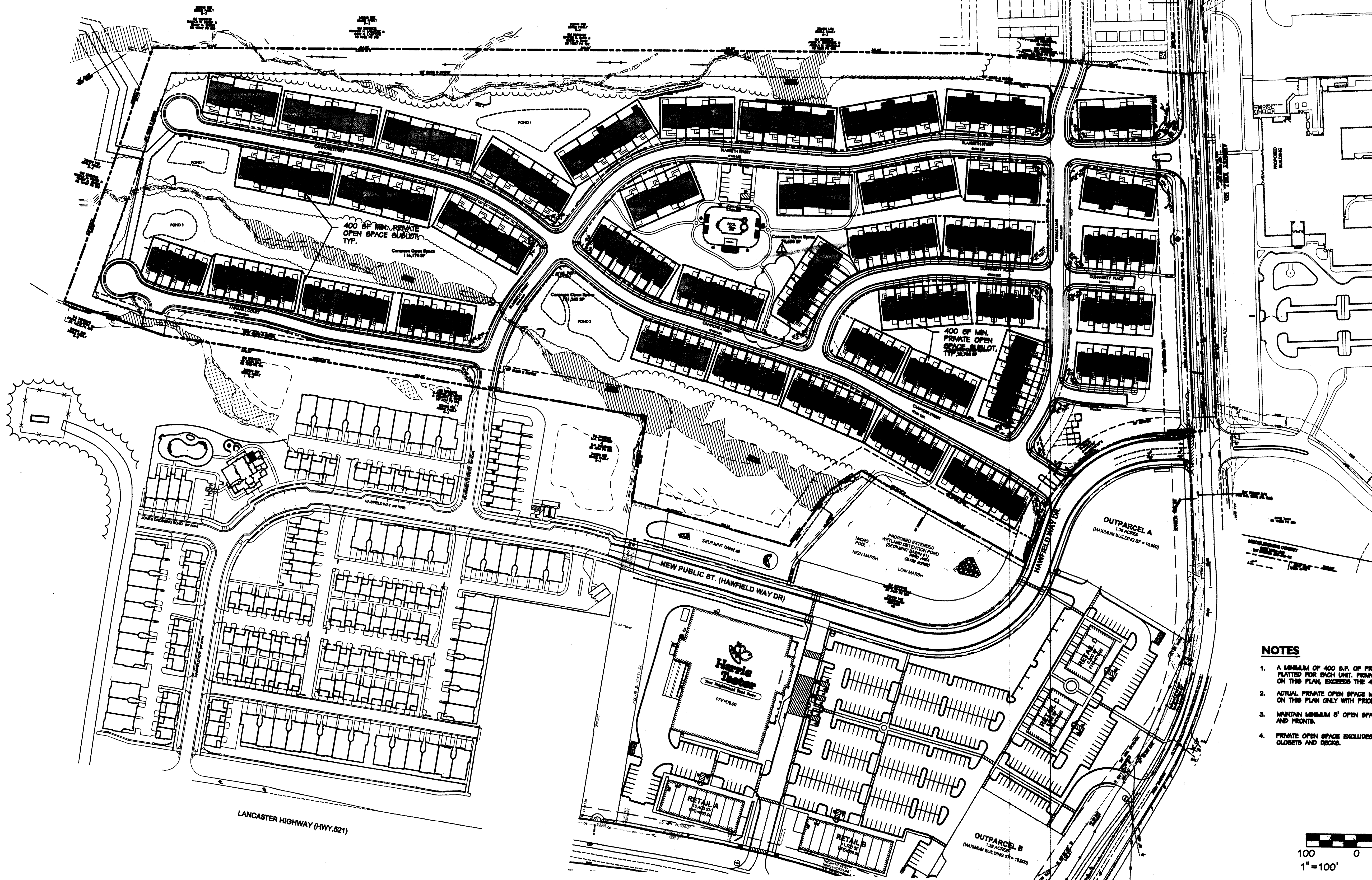
SITE NOTES

- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AGENCIES.
- THE GENERAL CONTRACTOR SHALL CONDUCT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2000 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SHUT-OUT EXISTING ASPHALT PAVEMENT AREAS TO BE IN SMOOTHLY TO PROPOSED PAVEMENT AT DRIVEWAY ENTRANCES.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL ROAD IMPROVEMENTS ALONG ARDREY KELL ROAD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL QUALITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY REASON, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LINE POSTING MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORROW, 704-338-3668 OR BOB STUBBS, 704-456-1562, FOR FURTHER INFORMATION.
- IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY REASON, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LINE POSTING MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT PAT MORROW, 704-338-3668 OR BOB STUBBS, 704-456-1562, FOR FURTHER INFORMATION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CDEM 950.05 (1" SIGNS ONLY)
- SITE TRAVELS SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPINGS OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- THE PURPOSE OF THE PERMANENT DRAINAGE PAVEMENT (PDP) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BROOKHOLE CHANNEL IN AN UNDISTURBED STATE AND SHALL REMOVE FROM THE CHANNELS AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, JUNK AND OTHER ACCUMULATIONS ONLY IF CHAINED BY DEVELOPMENT.
- ANY BUILDINGS WITHIN THE 100+1 BUILDING FLOODLINE ARE SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 17.02.02.
- FE SHALLOO SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DRAINAGE DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
- TRASH COLLECTION WILL BE PROVIDED BY INDIVIDUAL ROLL-OUT CONTAINERS.
- SEE SHEET L2.1 FOR SUBLOT BOUNDARIES.
- 20' GARAGE SETBACK IS MEASURED FROM BACK OF WALK.



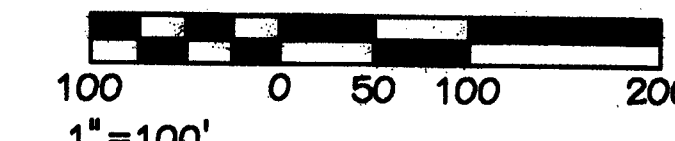


Vicinity Map - NTS



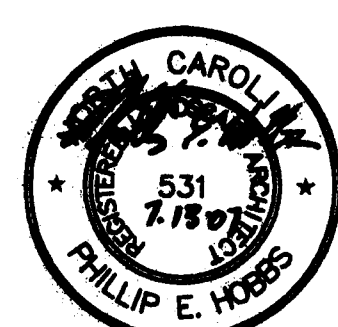
NOTES

1. A MINIMUM OF 400 S.F. OF PRIVATE OPEN SPACE SHALL BE PLATTED FOR EACH UNIT. PRIVATE OPEN SPACE AS DIMENSIONED ON THIS PLAN EXCEEDS THE 400 S.F. REQUIREMENT.
2. ACTUAL PRIVATE OPEN SPACE MAY VARY FROM THAT DIMENSIONED ON THIS PLAN ONLY WITH PRIOR APPROVAL FROM PORTNUT HOMES.
3. MAINTAIN MINIMUM 5' OPEN SPACE DISTANCE ON BUILDING SIDES AND FRONTS.
4. PRIVATE OPEN SPACE EXCLUDES BUILDING PORCHES, STORAGE CLOSETS AND DECKS.



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Seals:



The Enclave at Ardrey Kell
Pulte Homes
Charlotte, North Carolina

Project No:	2728
Drawn By:	J. Dukes
Designed By:	J. Dukes
Checked By:	P. Hobbs
Date:	05.24.06
Revisions:	
Rev. per City comments	7.13.07

Sheet Title:
**Private
Open Space
Plan**

Sheet No:
L-9.1