

HANDICAP REGULATIONS:

- a. A HANDICAP PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
- b. HANDRAILS ARE TO BE PROVIDED ON HANDICAP RAMPS WITH A DROP OF TWO INCHES OR MORE. MAXIMUM RAMP SLOPE = 8.33%
- c. ALL HANDICAP RAMPS AND SPACES WILL COMPLY WITH THE LATEST ADA STANDARDS. MAXIMUM ACCESSIBLE ROUTE SLOPE = 5%
- d. ALL CROSS SLOPES ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/4" PER FOOT SLOPE.

SEE ARCHITECTURAL PLAN FOR EXACT LOCATION AND SIZE OF WATER, SEWER, AND ROOF DOWNSPOUTS.

SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS, FEATURES, STAIRS AND HANDRAILS, ETC.

Required Auto, Bicycle Parking And Accessible Spaces											
Usage	Spaces Auto	Spaces Bicycle	Spaces Long Term Bicycle	Spaces Short Term Bicycle	Spaces Short Term Bicycle	Accessible Spaces Auto	Accessible Spaces Bicycle				
Multi-Family	280.00	1.5 per unit	308	317	name	name	name	11	81	81	81
<p>Units: Parking per 280.00, Using Ordinance Table 12-202 Section 12-202.29 12-26</p> <p>Units/1000 sq. ft. (Auto) is 50.1/m2</p> <p>Short-Term Bicycle Parking stations shall be defined Civil requirements</p> <p>(a) Covered spaces: If twenty or more short-term are to be provided, at least 50% of this number shall be covered by a structure. The rack area shall be no less than 1200' from the structure it serves</p> <p>Long-Term Bicycle Parking stations shall be defined civil requirements</p> <p>(b) Covered Spaces: All spaces shall be covered</p> <p>Location: Shall be located no more than 500' from the primary entrance</p>											

ZONING: R-43FMF
 RE: 4043 PARK ROAD
 DEED 18342, PAGE 298
 2205 APT.UNITS, TOTAL SQ.FT. 280,000 SF
 ESTIMATED COMPLETION DATE DEC. 2008
 AREA 175,121.03 = 4.57 ACRES
 AREA 175,121.04 = 0.42 ACRES
 TOTAL = 4.99 ACRES(217,364.4 sq)

GROSS AREA	UNITS	DENSITY
4.99 AC.	205	41.08

OPEN SPACE REQUIREMENTS:
TOTAL = 4.99 ACRES(217,364.4 sf)
30% reqd.open space(65,209.32 sf)
open area provided=85,804.4 sf(39%)
Impervious area=131,760 sf
setback: 30'
sideyard: 5'
rearyard: 20'(with greenway dedication 9.305(1g))

Height(40'max): exceeds 40'
(see arch.plans 200 & 201)

NOTE: SEE ARCH. PLANS FOR BUILDING ELEVATIONS
SEE ARCH. PLANS FOR COVERED PARKING
SEE ARCH. PLANS FOR ACCESSIBLE PARKING
SEE ARCH. PLANS FOR SHORT TERM AND LONG
TERM BIKE PARKING A101

2nd FFE = 617.33

1st FFE = 606.66

20 SHORT TERM BIKE SPACES REQD.
CMLD DETAIL 50.20 OR EQUIVALENT SHT.C4.2
SEE ARCH.DRAWINGS A101 FOR LOCATION

NOTE:
SIGNAGE FOR BIKE PARKING WILL BE
PROVIDED AT EACH ENTRANCE TO DECK.

SITE PLAN KEYED NOTES

- ① NEW 1-6" CONC. CURB AND GUTTER, SEE DETAIL SHEET C4.2
- ② HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C4.2
- ③ LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C4.2
- ④ NEW CONCRETE SIDEWALK, SEE DETAIL SHEET C4.1
- ⑤ STOP SIGN R1-1, 30"x30" BY DEVELOPER
- ⑥ 18" MOUNTABLE CURB, SEE DETAIL SHEET C4.2
- ⑦ CONCRETE "TURFSTONE" (OR EQUAL) RATED FOR 80,000#, CONTRACTOR TO PROVIDE SHOP DRAWINGS, VERIFICATION OF LOAD CAPACITY BY LICENSED GEOTECHNICAL ENGINEER
- ⑧ NEW 2' CONC. CURB AND GUTTER, SEE DETAIL SHEET C4.2

3rd FFE = 628.00

NOTE: PROP. DEVELOPMENT IS EXEMPT FROM SWMM BUFFER
 REQUIREMENTS: EXISTING IMPERVIOUS AREA=24,162 SF,
 PROPOSED IMPERVIOUS AREA=22,215 SF

id Waste: Require (1) 8 cu. yd. container per each 30 units
 (1) 8 cu. yd. compactor for each 90 units.

PROVIDED: PICKED UP THREE TIMES A WEEK BY ALLIED CONTAINER
 CONTAINER COLLECTIONS PER WEEK ALLOWED BY CITY
 (ID WASTE)

Each recycling station
require three (3) recycling stations
144 sq. ft. each, total 432 sq. ft. Each recycling station
space for five (5) 96-gallon carts w/minimum width of 34
DIVIDED: (3) 144 SF RECYCLING STATIONS

NOTES:
Contact the utility company to relocate any existing utility poles. All existing facilities which conflict with the improvement under the scope of this project must be relocated at the expense of the applicant.

All development creating a total of 20,000 square feet of impervious area since September 1978 will require storm drainage detention trees within the street right of way are protected by law. A permit is required from the City Arborist at (704) 336-5753 prior to the removal of any right of way trees. All trees over 8" diameter measured at measured 4.5' above ground and located within the sidewalk are protected by law. Contact Land Development at (704) 336-6992 for required permits.

Before you call STOP. Call the NC One-call Center at 1-800-632-4949. IT'S THE LAW.

coordinate all curb and street grades in intersection with inspector

All road construction on Park Road is to be coordinated with the City of Charlotte Engineering Department prior to construction

Sight triangles shown are a minimum

Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.

In order to ensure proper drainage, keep a min. 0.5% slope on the curb.

Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector

Curb and gutter show on plan along Park Road may be adjusted based on field staking by City Engineering

Associated Storm drainage may also require modification based upon field conditions.

THE PURPOSE OF THE STORM DRAINAGE EASEMENT(S) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPED THE STORM WATER FLOW SYSTEM SHALL BE REMOVED. THE CITY/COUNTY ENGINEERING DEPARTMENT SHALL "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DETAILMENTS, MUST BE ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

LIMITATIONS PRIOR TO SUBDIVISION OF THE CITY/COUNTY ENGINEERING DEPARTMENT SHALL BE ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DOWNSTREAM LIMITATIONS AND FOR PICKING UP THE STORM DRAINAGE SYSTEM AT THE DOWNSTREAM PROPERTY LINE.

THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL, IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIG, JUNK AND OTHER ACCUMULATIONS.

Any construction or use within the future channel and fringe line is subject to restrictions imposed by the future floodplain regulations of the City of Chorrore and Medford County.

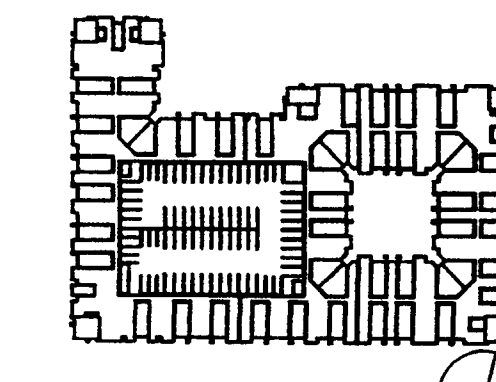
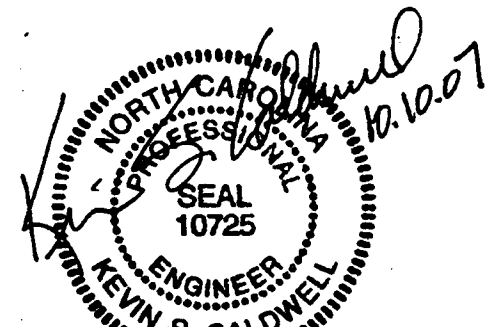
VICINITY MAP NOT TO SCALE

SCALE: 1" = 20'

3. DO NOT SCALE DRAWINGS.

NO.	DATE	REVISION
1	7.18.07	city comments
2	7.20.07	REV.GREENWAY
3	8.17.07	move firelane
4	8.31.07	city comments
5	10.10.07	city comments

RE: 4943 PARK ROAD
DEED 18342, PAGE 298
AX NUMBER: 175-121-03,04
FEMA PANEL# 3701590226E



Perkins Eastman

Owner:
CIELO CHARLOTTE APARTMENTS, LLC
501 N. GRAHAM ST.
CHARLOTTE NC 28202
704.271.3856

Developer:
JLT RESIDENTIAL PARTNERS, LLC
501 N. GRAHAM ST.
CHARLOTTE NC 28202
704.271.3856

Contractor:
CROSLAND
227 W. TRADE ST.
SUITE 800
CHARLOTTE NC 28202
704.529.1166

Civil / Site:
GEOSCIENCE GROUP, INC.
500-K CLANTON RD.
CHARLOTTE NC 28217
704.525.2003

Structural:
MATSEN FORD DESIGN ASSOCIATES, INC.
 325 FOREST GROVE DR.
 PEWAUKEE WI 53072
 262.691.2900

SABER ENGINEERING
2923 S. TRYON ST.
SUITE 280
CHARLOTTE NC 28203

704.373.0068
landscape:
DESIGN RESOURCE GROUP
230 W. MOREHEAD ST.
SUITE 214
CHARLOTTE NC 28208
704.343.0608

PROJECT TITLE:

Cielo Charlotte

943 Park Rd.
Charlotte, NC 28209

PROJECT No 27381.00

Site Plan

SCALE: as shown

C1.2

CONSTRUCTION DOCUMENTS

July 13, 2007

July 13, 2007
