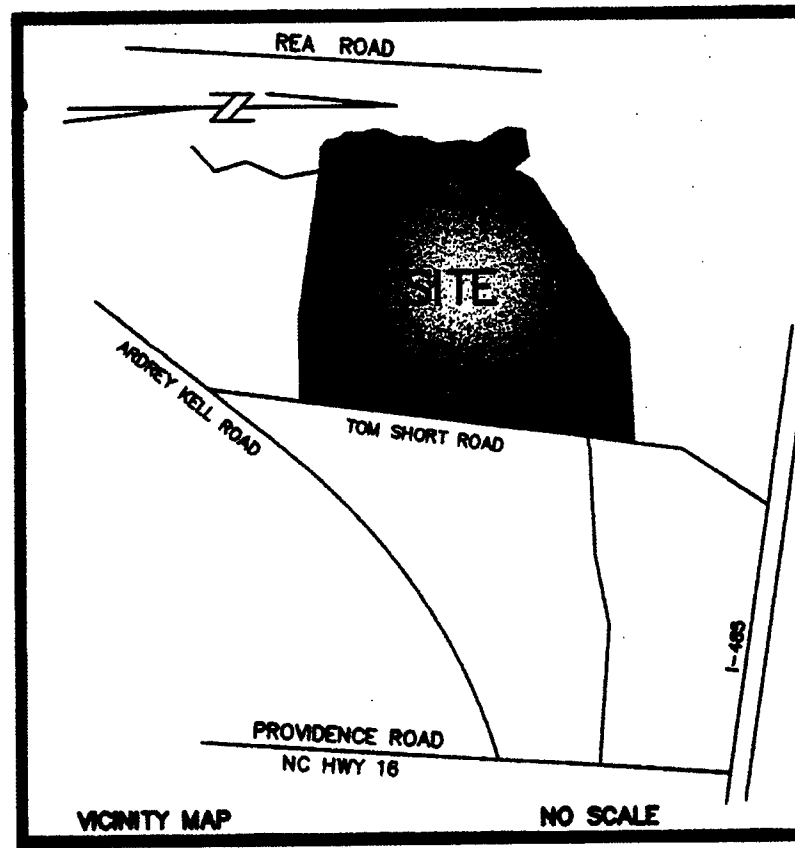




CREEK CENTERLINE PER
FIRM MAP NO. 37119C0288E



SITE DATA - PHASE II	
TOTAL SITE AREA	54.59 AC.
AREA IN LOTS	22.44 AC. (41.1%)
AREA IN COMMON OPEN SPACE	21.80 AC. (40.1%)
AREA IN RIGHT-OF-WAY	11.25 AC. (20.6%)
TAX PARCEL ID'S	229-11-101 229-16-201 229-11-174
ZONING DISTRICT	R3
PROVIDED TREE SAVE AREA	= 9.98 ACRES
PERCENTAGE OF NET TREE SAVE SITE AREA	= 18.28 %
TOTAL NO. OF PROPOSED LOTS	115 LOTS
MIN. LOT AREA	8,000 SF
MINIMUM LOT WIDTH	80'
MIN. FRONT SETBACK	20'
MIN. SIDE YARD	5'
SIDE AT CORNER	10'
MIN. REAR YARD	30'

LEGEND	
[Symbol]	PROP. SANITARY SEWER EASEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	PROPOSED LOT LINE
[Symbol]	PROPOSED R/W LINE
[Symbol]	PROPOSED CENTER LINE
[Symbol]	PROPOSED SETBACK LINE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING R/W LINE
[Symbol]	EXISTING CENTER LINE
[Symbol]	COS - COMMON OPEN SPACE
[Symbol]	TREE SAVE AREA
[Symbol]	WETLAND, POND, CHANNEL
[Symbol]	EXISTING SANITARY SEWER EASEMENT
[Symbol]	CREEK CENTER LINE
[Symbol]	STORM DRAINAGE EASEMENT
[Symbol]	SWIM BUFFER
[Symbol]	FEMA FLOODWAY ENCROACHMENT LINE
[Symbol]	COMMUNITY ENCROACHMENT LINE
[Symbol]	FEMA FLOOD FRINGE LINE
[Symbol]	FUTURE CONDITIONS FLOOD FRINGE LINE
[Symbol]	COMPENSATION AREA FOR DISTURBED UPLAND SWIM BUFFER
[Symbol]	DISTURBED UPLAND SWIM BUFFER
[Symbol]	COMMUNITY ENCROACHMENT AREA

APPROVED FOR
CONSTRUCTION

CMPC 6/1/07

CENTEX HOMES
4235 SOUTHSTREAM BLVD.
SUITE 400
CHARLOTTE, NC 28217
(704) 523-8111

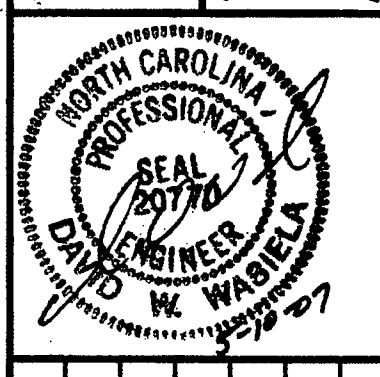
CLARY

OVERALL SITE PLAN

CATO WEST - PHASE II

MECKLENBURG COUNTY

CITY OF CHARLOTTE, NC



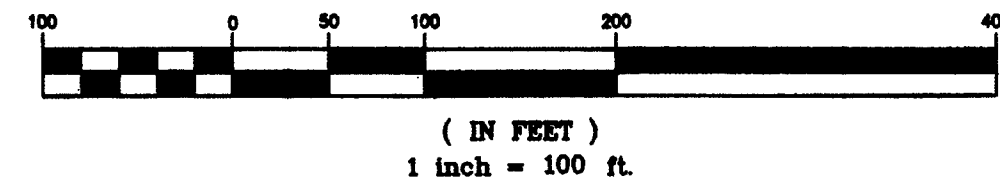
NO.	DATE	REVISION	BY
1	03/22/07	REVISED PER CITY OF CHARLOTTE COMMENTS	GSM
2	4/18/07	TOM SHORT RD ROW REVISED PER PLAT, PROP. DIVISION OF 16.103 ACRES, LOUGHREA PARTNERSHIP FOR RIGHT-OF-WAY INFORMATION	ZBH
3	04/27/07	REVISED PER CITY AND NCOT COMMENTS	GSM
4	5/10/07	PER MECKLENBURG COUNTY COMMENTS	JFS

- NOTE:
1. AT ALL STREET CROSSINGS THE OUTSIDE BOUNDARY OF THE SWIM BUFFER IS TO BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AND THIS IRON IS TO BE CALLED OUT ON PLANS.
 2. NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SF).
 3. ALL PROPOSED TREES, BERMS, WALLS, FENCES, AND/OR IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE AT THE STREET CONNECTION.

PARCEL TO REMAIN
LOUGHREA LIMITED PARTNERSHIP
C/O EDGAR T. CATO
DB 8417 PG. 485
TAX ID# 229-16-201
2.790 ACRES
5' R/W RESERVATION
FUTURE 70' R/W
EXISTING 80' R/W

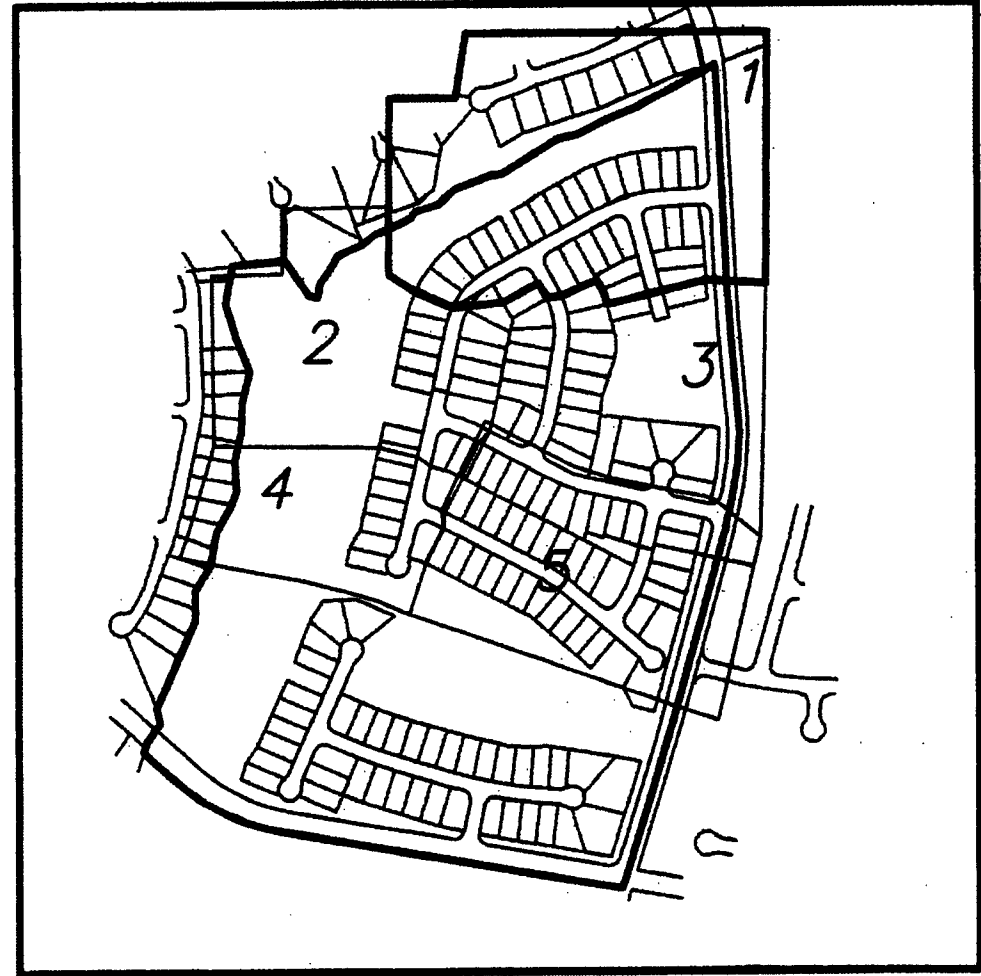
NOTE:
REFER TO PLAT TITLED "PROPOSED DIVISION OF
16.103 ACRES (TOTAL) OWNER: LOUGHREA LIMITED
PARTNERSHIP" FOR RIGHT-OF-WAY INFORMATION.

GRAPHIC SCALE



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SITE PLAN INDEX



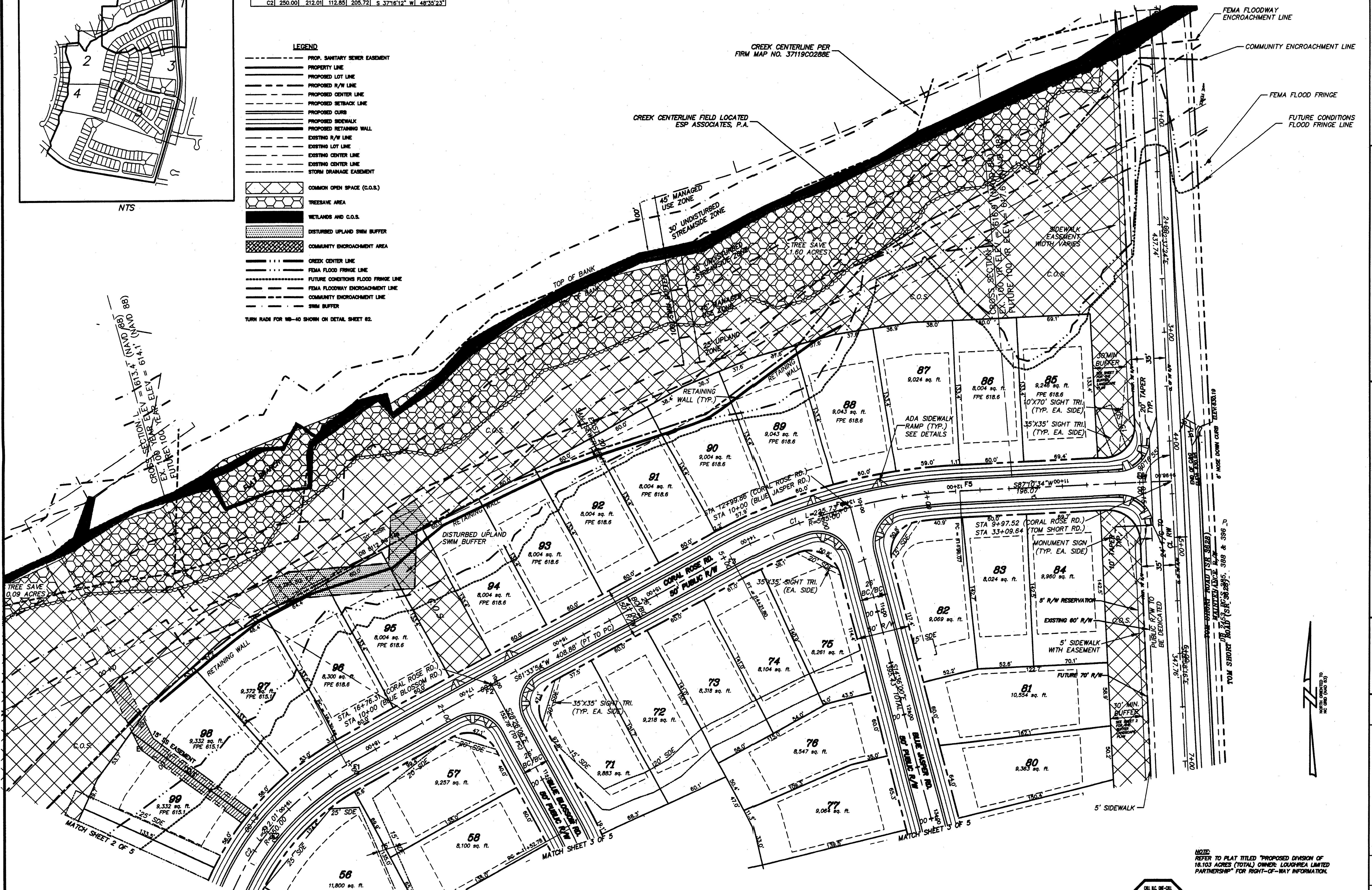
NTS

CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT CHORD	BEARING	DELTA
C1	505.00	225.73	114.78	S 74°22'14" W	25°36'40"
C2	250.00	212.01	112.85	S 37°16'12" W	48°35'23"

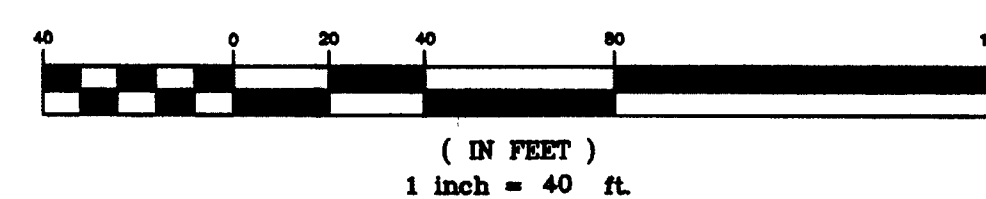
LEGEND

- PROP. SANITARY SEWER EASEMENT
- PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED R/W LINE
- PROPOSED CENTER LINE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING R/W LINE
- EXISTING LOT LINE
- EXISTING CENTER LINE
- EXISTING SETBACK LINE
- STORM DRAINAGE EASEMENT
- COMMON OPEN SPACE (C.O.S.)
- TREESAVE AREA
- WETLANDS AND C.O.S.
- DISTURBED UPLAND SWM BUFFER
- COMMUNITY ENCROACHMENT AREA
- CREEK CENTER LINE
- FEMA FLOOD FRINGE LINE
- FUTURE CONDITIONS FLOOD FRINGE LINE
- FEMA FLOODWAY ENCROACHMENT LINE
- COMMUNITY ENCROACHMENT LINE
- SWM BUFFER

TURN RADI FOR WB-40 SHOWN ON DETAIL SHEET 02.



GRAPHIC SCALE



NOTE: REFER TO PLAT TITLED "PROPOSED DIVISION OF 18.103 ACRES (TOTAL) OWNER: LOANREX LIMITED PARTNERSHIP" FOR RIGHT-OF-WAY INFORMATION.

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CHARLOTTE, NC 28217
(704) 523-8111

CLIENT

CATO WEST - PHASE II
MECKLENBURG COUNTY
CITY OF CHARLOTTE, NC

SITE PLAN
SHEET 1 OF 5

SHEET FILE

PROFESSIONAL SEAL
D. W. WATKINS
P.E. 10000
10/05/07

NO.	DATE	REVISION	BY
1	03/23/07	1ST REVISION PER CITY OF CHARLOTTE	CSW
2	4/18/07	TOM SHORT RD ROW REVISED PER PLAT: PROP COMMENTS	ZEH
3	04/27/07	REVISED PER CITY AND NCOT COMMENTS	CSW
4	5/10/07	PER MECKLENBURG COUNTY COMMENTS	JFS

PROJECT NO: SC311401

SCALE: 1" = 40'

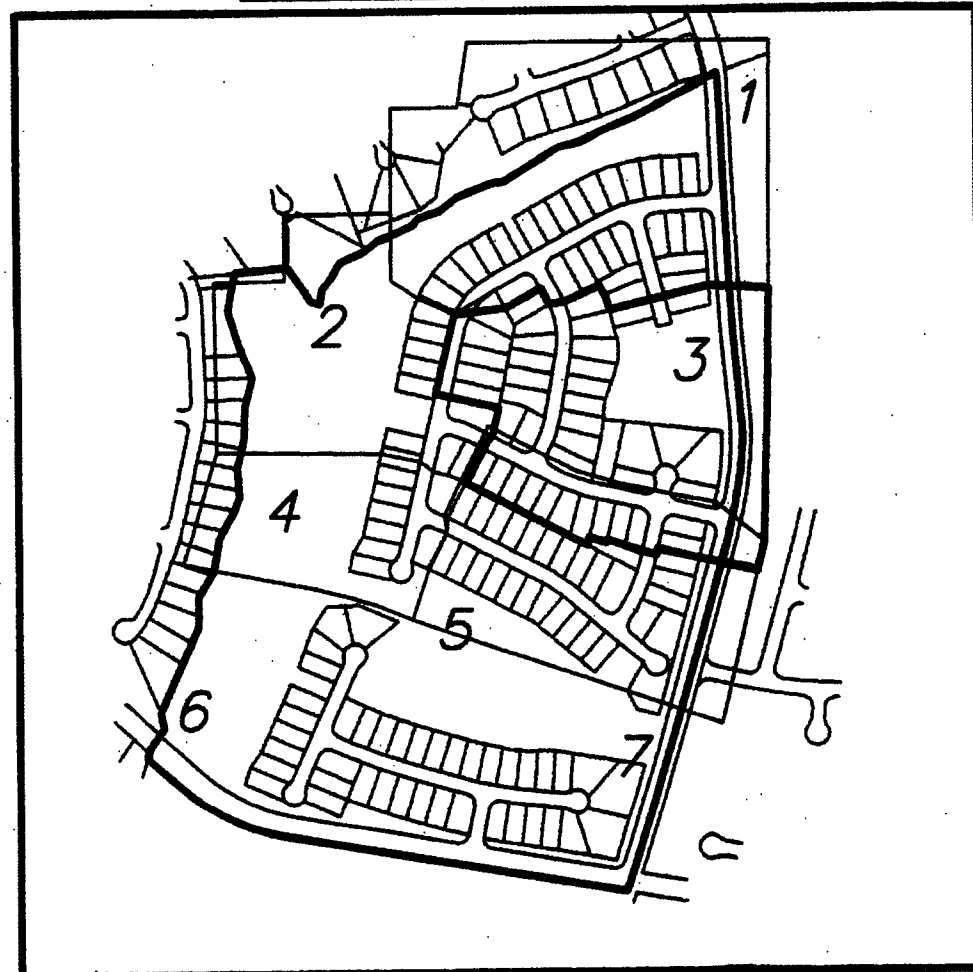
DATE: 1/22/07

DRAWN BY: BHS

CHECKED BY: BHS

SHEET NO: 7

SITE PLAN INDEX



NTS

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C2	250.00	212.01	112.85	205.72	S 37°16'12" W	48°35'23"
C4	250.00	170.02	88.45	166.76	N 08°57'07" W	38°57'59"
C5	250.00	74.32	37.44	74.05	N 19°02'31" E	17°01'58"
C8	270.00	69.05	34.71	68.86	S 69°56'55" E	14°39'11"

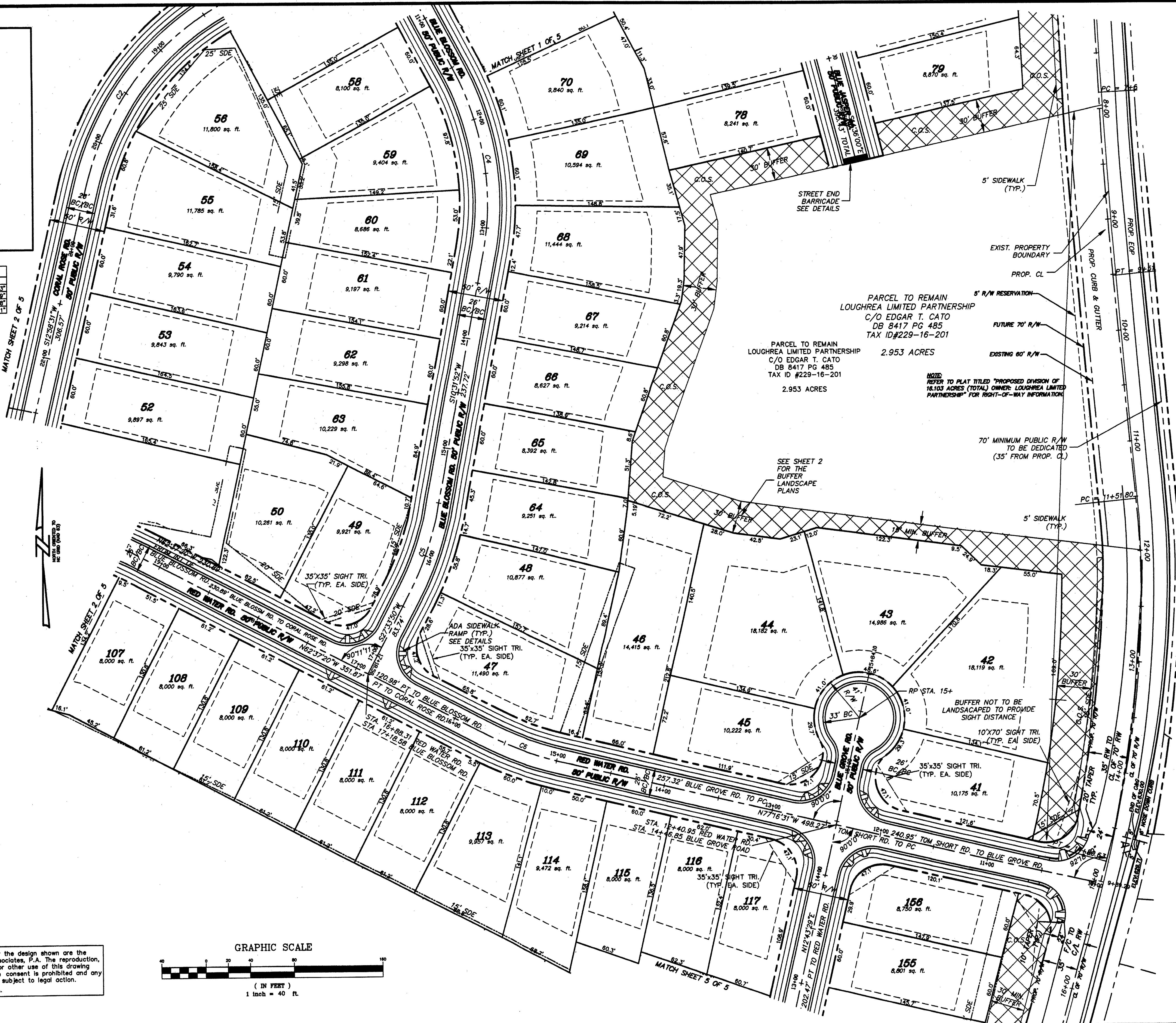
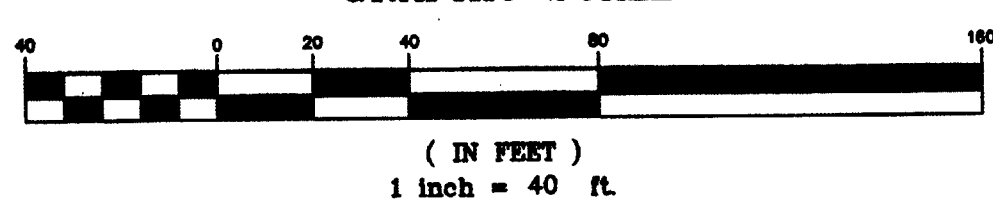
LEGEND

- PROF. SANITARY SEWER EASEMENT
- PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED R/W LINE
- PROPOSED CENTER LINE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING R/W LINE
- EXISTING LOT LINE
- EXISTING CENTER LINE
- EXISTING SETBACK LINE
- STORM DRAINAGE EASEMENT
- COMMON OPEN SPACE (C.O.S.)
- WETLANDS AND C.O.S.
- DISTURBED UPLAND SWM BUFFER
- COMMUNITY ENCROACHMENT AREA
- CREEK CENTER LINE
- FEMA FLOOD FRINGE LINE
- FUTURE CONDITIONS FLOOD FRINGE LINE
- FEMA FLOODWAY ENCROACHMENT LINE
- COMMUNITY ENCROACHMENT LINE
- SWM BUFFER



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GRAPHIC SCALE



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CHARLOTTE, NC 28217
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CITY OF CHARLOTTE, NC
MECKLENBURG COUNTY

SITE PLAN
(3 of 5)

CATO WEST - PHASE II

PROFESSIONAL SEAL
NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
W. W. WATKINS
No. 10000

NO.	DATE	REVISION	BY
1	03/23/07	1ST SETLINE REVIEW PER CITY OF CHARLOTTE	GSM
2	4/18/07	TOM SHORT RD ROW REVISED PER PLAT. PROP. DIVISION OF 16.103 ACRES LOUGHREA PARTNERSHIP FOR RIGHT-OF-WAY INFORMATION	ZEH
3	04/27/07	REVISION PER CITY AND NCDOT COMMENTS	GSM

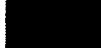
PROJECT NO. 3333-01
SHEET NO. 9

NTS

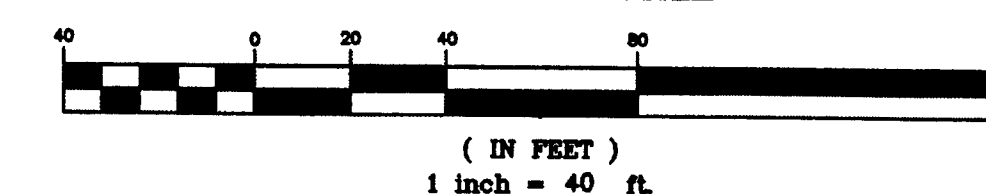


CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	250.00	62.84	31.59	62.68	N 69°49'25" W	14°24'
C8	500.00	94.55	47.41	94.41	N 18°23'32" E	10°50'

LEGEND

- | | |
|---|-------------------------------------|
| ----- | PROP. SANITARY SEWER EASEMENT |
| ===== | PROPERTY LINE |
| ===== | PROPOSED LOT LINE |
| ===== | PROPOSED R/W LINE |
| ----- | PROPOSED CENTER LINE |
| ----- | PROPOSED SETBACK LINE |
| ===== | PROPOSED CURB |
| ===== | PROPOSED SIDEWALK |
| ===== | PROPOSED RETAINING WALL |
| ----- | EXISTING R/W LINE |
| ----- | EXISTING LOT LINE |
| ----- | EXISTING CENTER LINE |
| ----- | EXISTING CENTER LINE |
| ----- | STORM DRAINAGE EASEMENT |
|  | COMMON OPEN SPACE (C.O.S.) |
|  | WETLANDS AND C.O.S. |
|  | DISTURBED UPLAND SWM BUFFER |
|  | COMMUNITY ENCROACHMENT AREA |
| ===== | CREEK CENTER LINE |
| ----- | FEMA FLOOD FRINGE LINE |
| ----- | FUTURE CONDITIONS FLOOD FRINGE LINE |
| ===== | FEMA FLOODWAY ENCROACHMENT LINE |
| ===== | COMMUNITY ENCROACHMENT LINE |
| ===== | SWM BUFFER |

GRAPHIC SCALE



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ESP Associates, P.A.

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(704) 523-8111

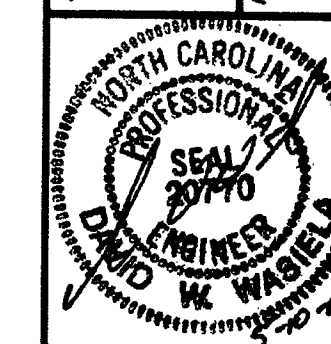
CLIENT

**SITE PLAN
(4 OF 5)**

CATO WEST - PHASE II

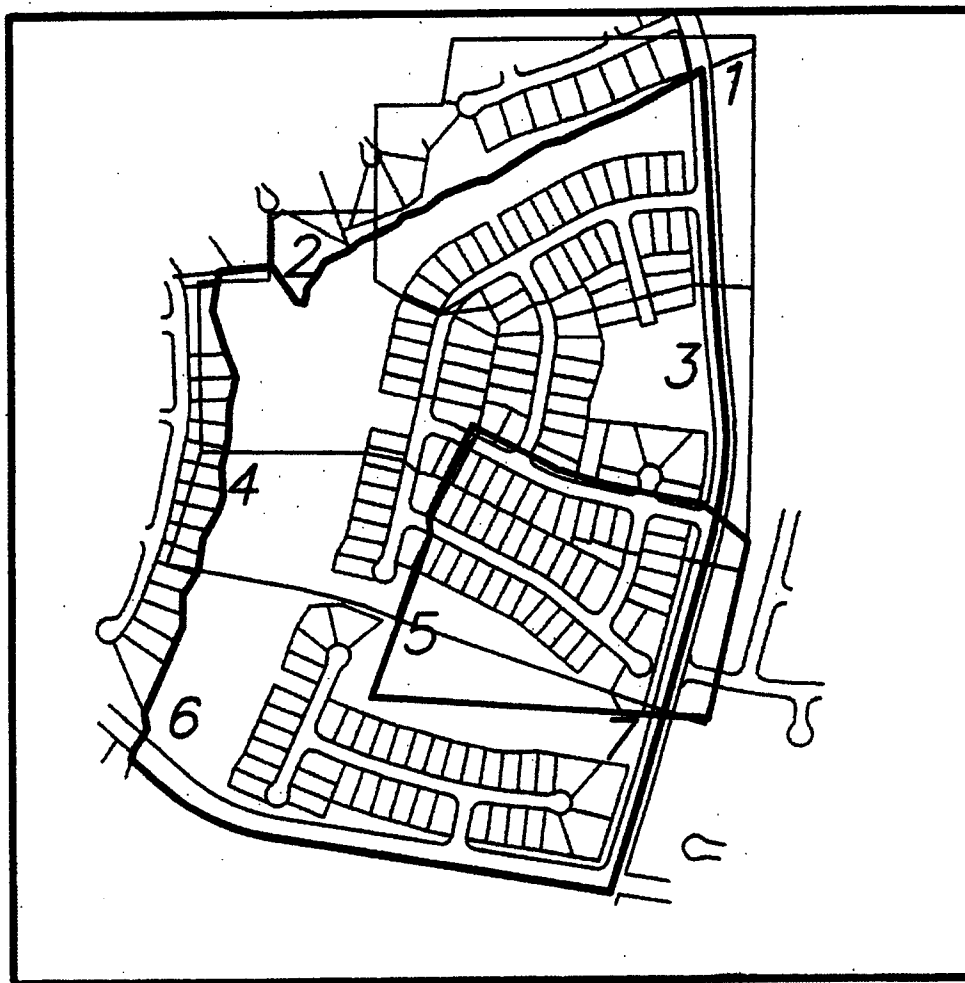
MECKLENBURG COUNTY

CITY OF CHARLOTTE CITY AND NO



PROJECT NO.	NO.	DATE	REVISION	BY
5623-401	1	03/23/07	1ST PRELIM REVIEW PER CITY OF CHARLOTTE COMMENTS	GSM
5623-401	2	5/10/07	PER MECKLENBURG COUNTY COMMENTS	JFS
5623-401				
5623-401				
5623-401				

SITE PLAN INDEX



NTS

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C6	270.00	69.05	34.71	68.86	S 69°56'55" E	14°39'11"
C9	250.00	81.77	41.25	81.40	N 31°10'08" E	18°44'22"
C10	250.00	39.59	19.84	39.55	N 17°15'43" E	30°42'28"
C11	250.00	57.42	28.84	57.30	N 56°02'31" W	13°09'39"

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C2	84.17	1243.95	42.10	84.15	N13°23'06"E	3°32'36"

LEGEND

- PROP. SANITARY SEWER EASEMENT
- PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED R/W LINE
- PROPOSED CENTER LINE
- PROPOSED SETBACK LINE
- PROPOSED CURB
- PROPOSED SIDEWALK
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(704) 523-8111

STEVEN J. WASHIELA
NORTH CAROLINA
PROFESSIONAL
ENGINEER
NO. 17691

BY GSN
DATE 03/23/07
REVISION 1ST REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 1
DATE 03/23/07
REVISION 1ST REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 2
DATE 04/27/07
REVISION 2ND REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 3
DATE 05/01/07
REVISION 3RD REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 4
DATE 05/01/07
REVISION 4TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 5
DATE 05/01/07
REVISION 5TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 6
DATE 05/01/07
REVISION 6TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 7
DATE 05/01/07
REVISION 7TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 8
DATE 05/01/07
REVISION 8TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 9
DATE 05/01/07
REVISION 9TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 10
DATE 05/01/07
REVISION 10TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS

NO. 11
DATE 05/01/07
REVISION 11TH REVISION PER CITY OF CHARLOTTE
COMMENTS REVISED PER CITY AND NCOT COMMENTS