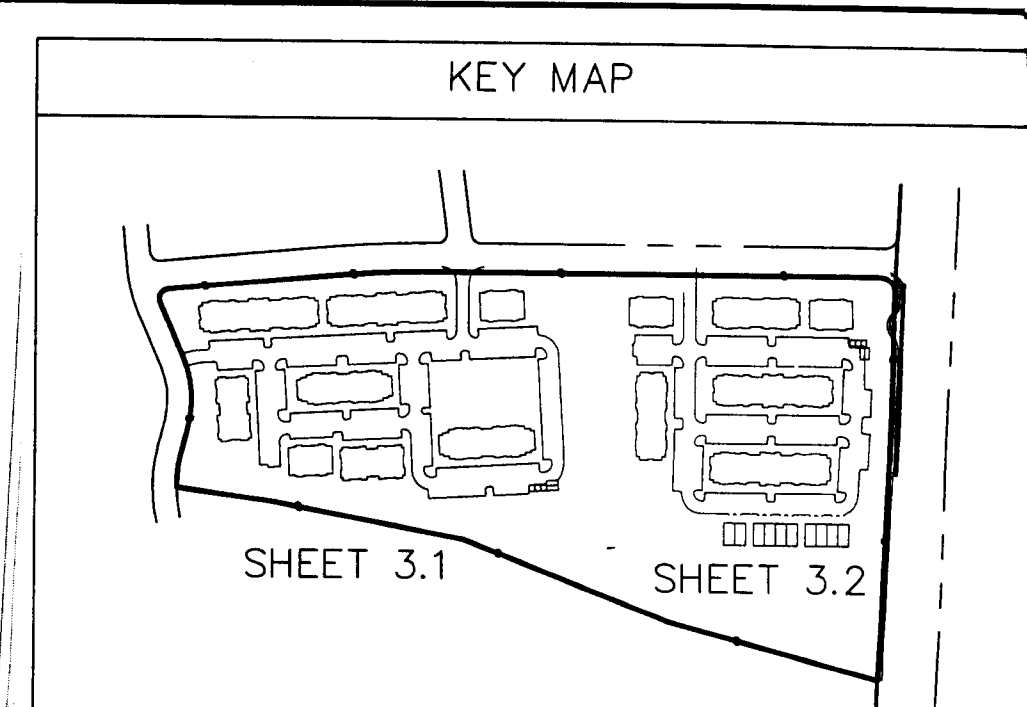
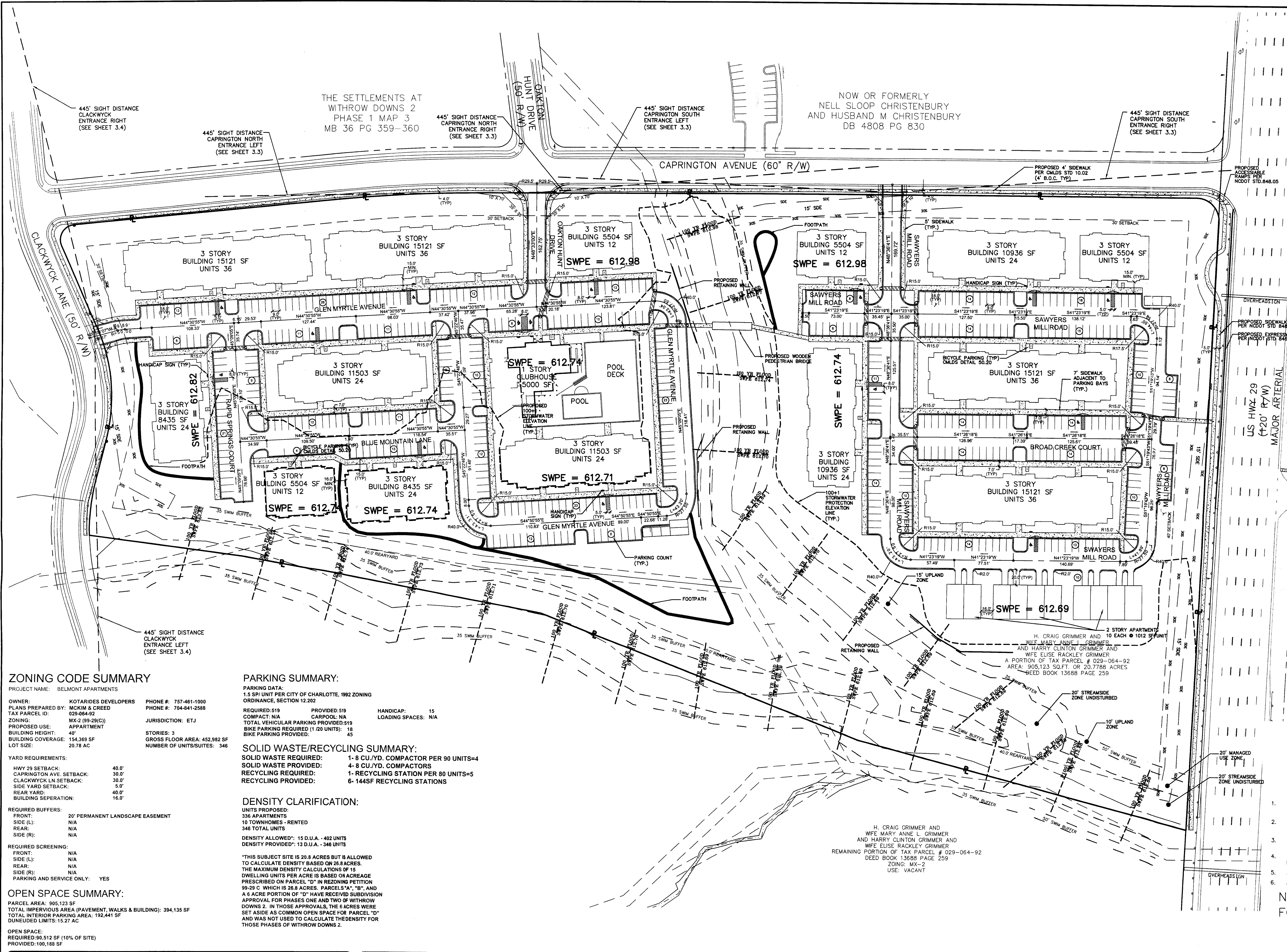




LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK CMLDS #10.22
	PROPOSED HANDICAP RAMP
	PROPOSED HANDICAP SPACE -/-
	PROPOSED HANDICAP VAN SPACE -/-
	PROPOSED HANDICAP SIGN CLDSM #50.10A B, C
	PROPOSED STOP SIGN -/-
	HEAVY DUTY CONCRETE -/-
	HEAVY DUTY BITUMINOUS CONCRETE -/-
	LIGHT DUTY BITUMINOUS CONCRETE -/-
	PROPOSED 1'-6\"/>
	PROPOSED 2'-6\"/>
	PROPOSED LIGHTING -/-
	PROPERTY LINE -/-

ZONING CODE SUMMARY

PROJECT NAME: BELMONT APARTMENTS
OWNER: KOTARIDES DEVELOPERS
PLANS PREPARED BY: MCKIM & CREED
TAX PARCEL ID: 029-064-02
ZONING: MX-2 (99-29)(C)
PROPOSED USE: APARTMENT
BUILDING HEIGHT: 40'
BUILDING COVERAGE: 154,369 SF
LOT SIZE: 20.78 AC

YARD REQUIREMENTS:
HWY 29 SETBACK: 40.0'
CAPRINGTON AVE. SETBACK: 30.0'
CLACKWYCK LN SETBACK: 30.0'
SIDE YARD SETBACK: 5.0'
REAR YARD: 40.0'
BUILDING SEPARATION: 16.0'

REQUIRED BUFFERS:
FRONT: 20' PERMANENT LANDSCAPE EASEMENT
SIDE (L): N/A
REAR: N/A
SIDE (R): N/A

REQUIRED SCREENING:
FRONT: N/A
SIDE (L): N/A
REAR: N/A
SIDE (R): N/A
PARKING AND SERVICE ONLY: YES

PARKING SUMMARY:

PARKING DATA:
1.5 SP/UNIT PER CITY OF CHARLOTTE, 1992 ZONING ORDINANCE, SECTION 12.202

REQUIRED: 519	PROVIDED: 519	HANDICAP: 15
COMPACT: N/A	CARPOOL: N/A	LOADING SPACES: N/A
TOTAL VEHICULAR PARKING PROVIDED: 519		
BIKE PARKING REQUIRED (1/20 UNITS): 18		
BIKE PARKING PROVIDED: 45		

SOLID WASTE/RECYCLING SUMMARY:
SOLID WASTE REQUIRED: 1-8 CU./YD. COMPACTOR PER 90 UNITS=4
SOLID WASTE PROVIDED: 4-8 CU./YD. COMPACTORS
RECYCLING REQUIRED: 1- RECYCLING STATION PER 80 UNITS=5
RECYCLING PROVIDED: 6- 144SF RECYCLING STATIONS

DENSITY CLARIFICATION:

UNITS PROPOSED: 336 APARTMENTS
10 TOWNHOMES - RENTED
346 TOTAL UNITS
DENSITY ALLOWED: 15 D.U./A. - 402 UNITS
DENSITY PROVIDED: 13 D.U./A. - 346 UNITS

*THIS SUBJECT SITE IS 20.8 ACRES BUT IS ALLOWED TO CALCULATE DENSITY BASED ON 26.8 ACRES. THE MAXIMUM DENSITY CALCULATIONS OF 15 DWELLING UNITS PER ACRE IS BASED ON ACREAGE PRESCRIBED ON PARCEL "D" IN REZONING PETITION 99-29 C WHICH IS 26.8 ACRES. PARCELS "A", "B", AND "C" ARE 6 ACRE PORTION OF "D" HAVE RECEIVED SUBDIVISION APPROVAL FOR PHASES ONE AND TWO OF WITHROW DOWNS 2. IN THOSE APPROVALS, THE 6 ACRES WERE SET ASIDE AS COMMON OPEN SPACE FOR PARCEL "D" AND WAS NOT USED TO CALCULATE THE DENSITY FOR THOSE PHASES OF WITHROW DOWNS 2.

OPEN SPACE SUMMARY:

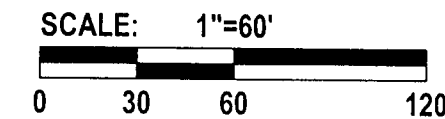
PARCEL AREA: 905,123 SF
TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS & BUILDING): 394,135 SF
TOTAL INTERIOR PARKING AREA: 192,441 SF
DUNEDED LIMITS: 15.27 AC

OPEN SPACE:
REQUIRED: 90,512 SF (10% OF SITE)
PROVIDED: 190,188 SF

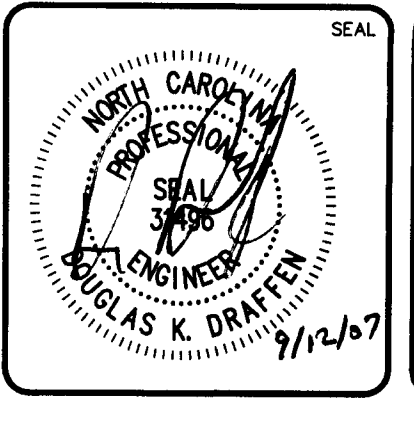
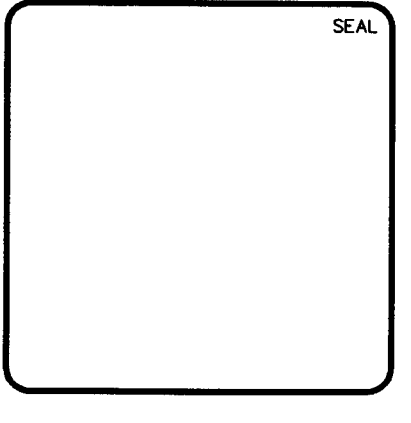
PRELIMINARY PLAN
APPROVED
DATE: 11/26/07
CALL N.C. ONE CALL CENTER BEFORE YOU DIG
STOP
1-800-632-4949
AVOID UTILITY DAMAGE

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.
- ALL DIMENSION ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB RADI ARE 5' UNLESS NOTED OTHERWISE

NOTICE TO CONTRACTOR/REVIEWER:
FOR GENERAL NOTES SEE SHEET C9.0



REV.	DESCRIPTION	DATE
1	5TH SUBMITTAL TO CITY	09/12/07
2	4TH SUBMITTAL TO CITY	08/08/07
3	3RD SUBMITTAL TO CITY	05/23/07
4	2ND SUBMITTAL TO CITY	03/16/07
5	1ST SUBMITTAL TO CITY	01/16/07

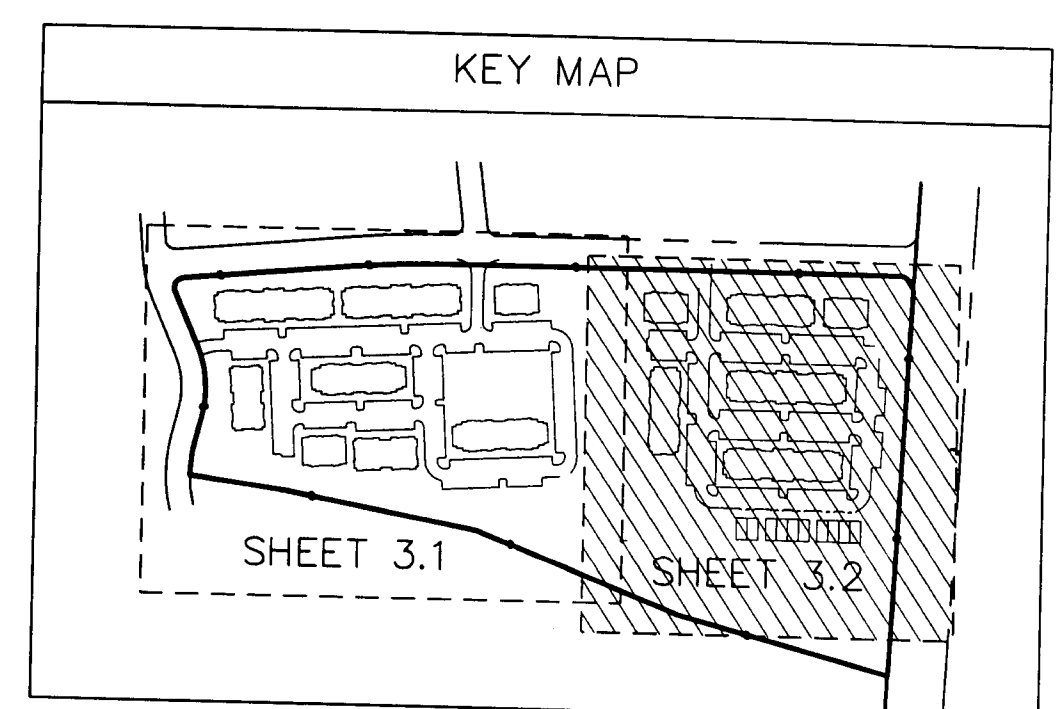
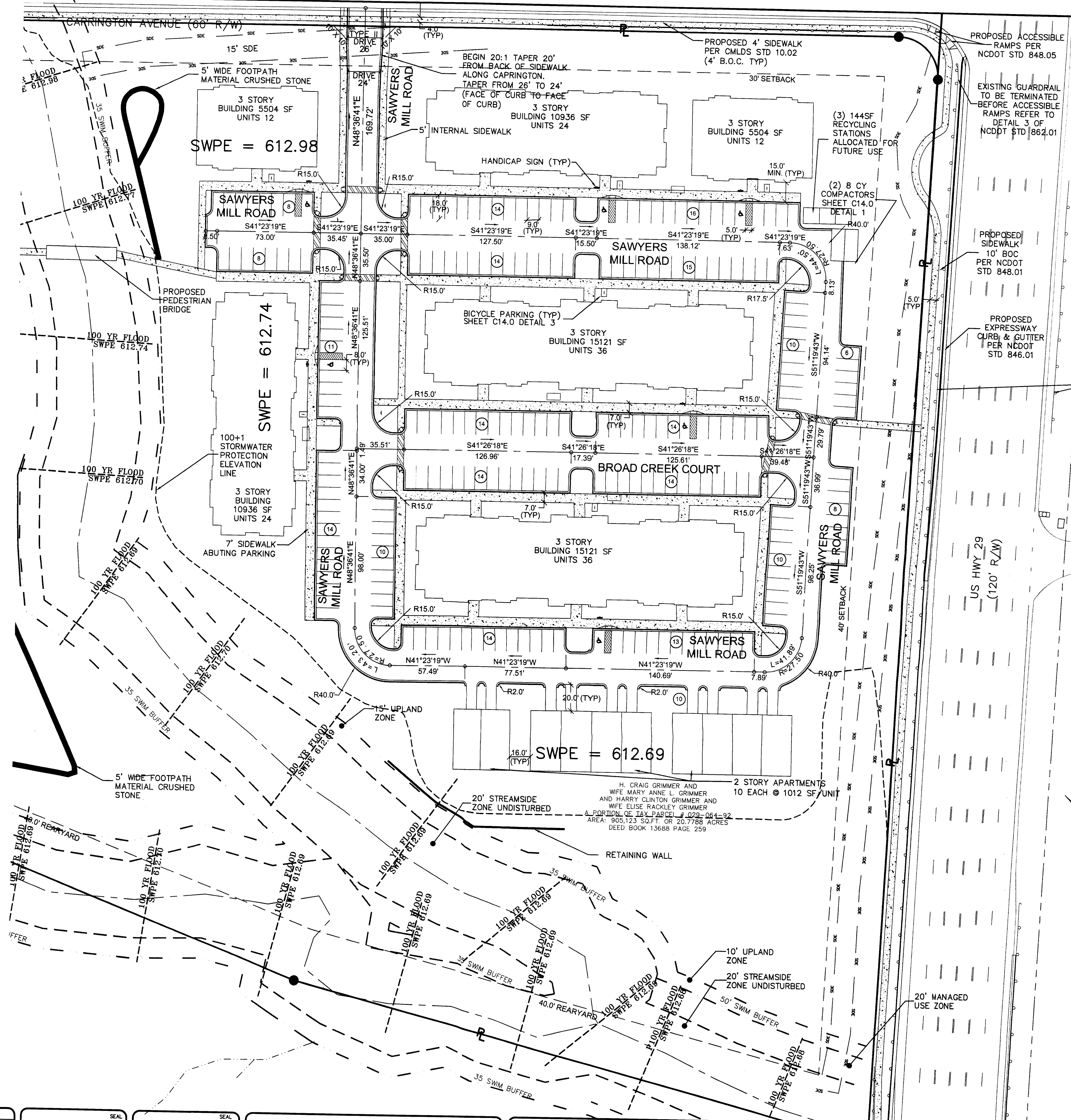


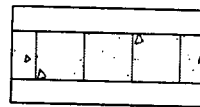
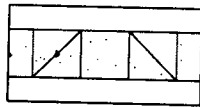
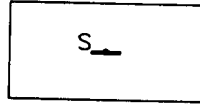
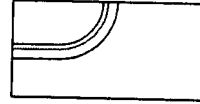
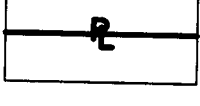
MCKIM & CREED
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KOTARIDES DEVELOPERS

BELMONT APARTMENTS
CHARLOTTE, NORTH CAROLINA
NORTHWEST CORNER OF
CAPRINGTON AVENUE & HWY 29
OVERALL SITE PLAN

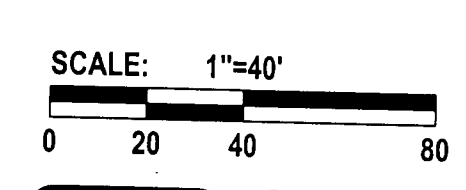
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PROJ. # 45550004	HORIZONTAL: 1\"/>	DRAWING NUMBER: C3.0
DRAWN: GWF	VERTICAL: N/A	
DESIGNED: JLD		
CHECKED: DKD		
PROJ. MGR: DKD		
STATUS: Preliminary Design	REVISION: E	



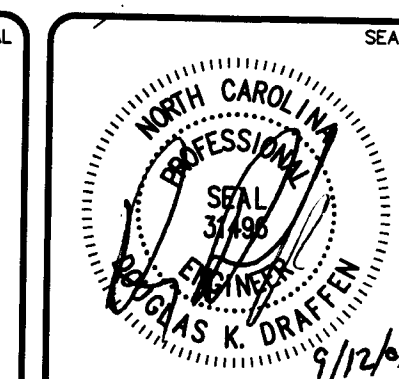
LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK CMLDS #10.2
	PROPOSED HANDICAP RAMP
	PROPOSED HANDICAP SPACE -/-
	PROPOSED HANDICAP VAN SPACE -/-
	PROPOSED HANDICAP SIGN CLDSM #50.10A, B, C
	PROPOSED STOP SIGN -/-
	HEAVY DUTY CONCRETE -/-
	HEAVY DUTY BITUMINOUS CONCRETE -/-
	LIGHT DUTY BITUMINOUS CONCRETE -/-
	PROPOSED 1'-6" CURB & GUTTER CLDSM #10.17A
	PROPOSED 2'-6" CURB & GUTTER CLDSM #10.17A
	PROPOSED LIGHTING -/-
	PROPERTY LINE -/-



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 - ALL DIMENSION ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 - ALL CURB RADI ARE 5' UNLESS NOTED OTHERWISE
- NOTICE TO CONTRACTOR/REVIEWER:
FOR GENERAL NOTES SEE SHEET C9.0



REV.	DESCRIPTION	DATE
E	5TH SUBMITTAL TO CITY	08/12/07
D	4TH SUBMITTAL TO CITY	08/08/07
C	3RD SUBMITTAL TO CITY	05/23/07
B	2ND SUBMITTAL TO CITY	03/16/07
A	1ST SUBMITTAL TO CITY	01/18/07
REV.	DESCRIPTION	DATE
1	REVISIONS	

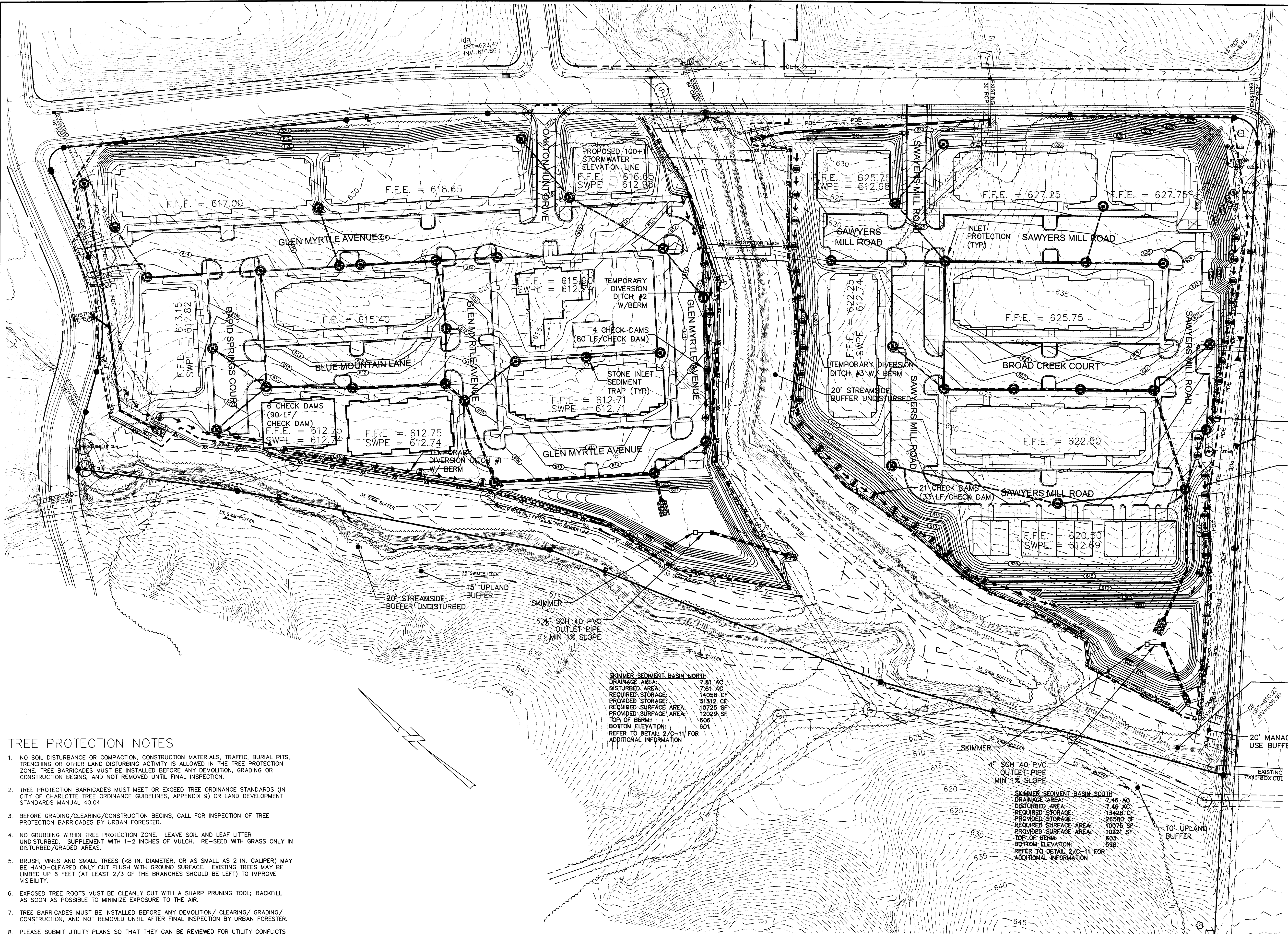


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KOTARIDES DEVELOPERS

BELMONT APARTMENTS
CHARLOTTE, NORTH CAROLINA
NORTHWEST CORNER OF
CAPRINGTON AVENUE & HWY 29
SITE PLAN

DATE:	01/15/07	SCALE:	HORIZONTAL: 1"=40'	FILE NUMBER:	CS103-45550004
PROJ. #:	45550004	DRAWN:	GWF	DRAWING NUMBER:	C3.2
DESIGNED:	JLD	CHECKED:	DKD	VERTICAL:	N/A
PROJ. MGR:	DKD	STATUS: Preliminary Design			
				REVISION:	D



LEGEND

SYMBOL	DETAIL
	SEDIMENT BASIN CLDSM #30.01 OR #30.02 CLDSM #30.03
	TREE TO BE TRANSPLANTED -/-
	SILT FENCE CLDSM #30.06
	TREE PROTECTION FENCING CLDSM #40.02
	SILT FENCE STORM INLET SEDIMENT TRAP CLDSM #30.09
	STABILIZED CONSTRUCTION ENTRANCE CLDSM #30.11A
	GRAVEL RIP RAP APRON CLDSM #20.23
	DENUDED LIMITS -/-
	FLEXIBLE PIPE SLOPE DRAIN CLDSM #30.04
	TEMPORARY SILT DITCH CLDSM #30.05
	ROCK CHECK DAM CLDSM #30.10
	DRAINAGE AREA -/-
	SPILLWAY CLDSM #30.02 CLDSM #30.03
	GRAVEL AND RIP RAP FILTER BERM BASIN CMLDS #30.12
	RIDGE LINE -/-
	PROPOSED TREELINE -/-
	PROPOSED STORM DRAINAGE CMLDS #20.25
	STONE INLET SEDIMENT TRAP CMLDS #30.08

TREE PROTECTION NOTES

- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY IS ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES, APPENDIX 9) OR LAND DEVELOPMENT STANDARDS MANUAL 40.04.
- BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- BRUSH, VINES AND SMALL TREES (<8 IN. DIAMETER, OR AS SMALL AS 2 IN. CALIPER) MAY BE HAND-CLEARED ONLY CUT FLUSH WITH GROUND SURFACE. EXISTING TREES MAY BE LIMBED UP 6 FEET (AT LEAST 2/3 OF THE BRANCHES SHOULD BE LEFT) TO IMPROVE VISIBILITY.
- EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE TO THE AIR.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/ CLEARING/ GRADING/ CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
- PLEASE SUBMIT UTILITY PLANS SO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES; I.E.: ELECTRICAL, TELEPHONE, GAS, SEWER, WATER, AND SITE LIGHTING.
- TREE PROTECTION FENCE IS TO BE LOCATED PER PLAN OR AT A MINIMUM OF 1 FOOT PER TREE DIAMETER INCH AWAY FROM THE TREE IN THE SETBACK OR RIGHT-OF-WAY.

SKIMMER SEDIMENT BASIN NORTH
DRAINAGE AREA: 7.81 AC
DISTURBED AREA: 7.81 AC
REQUIRED STORAGE: 14058 CF
PROVIDED STORAGE: 31312 CF
REQUIRED SURFACE AREA: 10725 SF
PROVIDED SURFACE AREA: 12029 SF
TOP OF BERM: 606
BOTTOM ELEVATION: 601
REFER TO DETAIL 2/C-11 FOR ADDITIONAL INFORMATION

SKIMMER SEDIMENT BASIN SOUTH
DRAINAGE AREA: 7.46 AC
DISTURBED AREA: 7.46 AC
REQUIRED STORAGE: 13428 CF
PROVIDED STORAGE: 26580 CF
REQUIRED SURFACE AREA: 10076 SF
PROVIDED SURFACE AREA: 10221 SF
TOP OF BERM: 603
BOTTOM ELEVATION: 598
REFER TO DETAIL 2/C-11 FOR ADDITIONAL INFORMATION

CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.

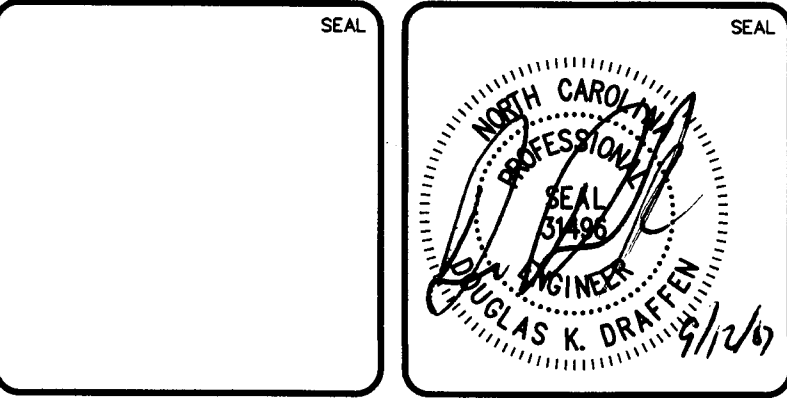
ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

NOTICE TO CONTRACTOR/REVIEWER:
FOR GENERAL NOTES SEE SHEET C9.0

SCALE: 1"=60'
0 30 60 120

REVNO.	DESCRIPTION	DATE
E	5TH SUBMITTAL TO CITY	09/12/07
C	3RD SUBMITTAL TO CITY	06/23/07
B	2ND SUBMITTAL TO CITY	03/16/07
A	1ST SUBMITTAL TO CITY	01/18/07
REVISIONS		

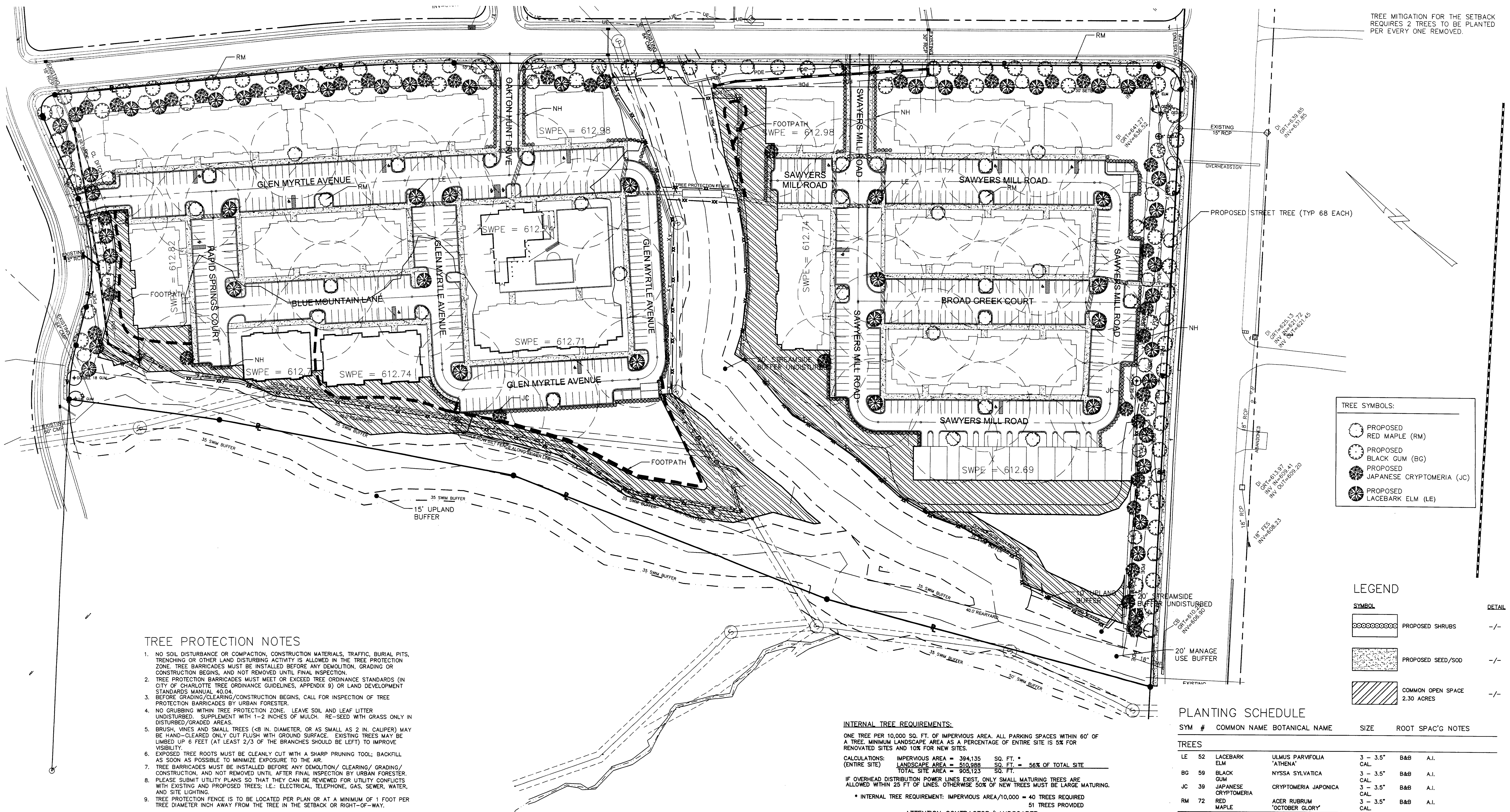


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KOTARIDES DEVELOPERS

BELMONT APARTMENTS
CHARLOTTE, NORTH CAROLINA
NORTHWEST CORNER OF
CAPRINGTON AVENUE & HWY 29
EROSION CONTROL - PHASE II

DATE: 1/15/07	SCALE: HORIZONTAL: 1"=60' VERTICAL: N/A	FILE NUMBER: CE102-45550004
PROJ. # 45550004		DRAWING NUMBER: C6.0
DRAWN: GWF		
DESIGNED: JLD		
CHECKED: DKD		
PROJ. MGR: DKD		
STATUS: Preliminary Design		REVISION: C



TREE PROTECTION NOTES

1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY IS ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
2. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES, APPENDIX 9) OR LAND DEVELOPMENT STANDARDS MANUAL 40.04.
3. BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER.
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6. EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE TO THE AIR.
7. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/ CLEARING/ GRADING/ CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
8. PLEASE SUBMIT UTILITY PLANS SO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES; I.E.: ELECTRICAL, TELEPHONE, GAS, SEWER, WATER, AND SITE LIGHTING.
9. TREE PROTECTION FENCE IS TO BE LOCATED PER PLAN OR AT A MINIMUM OF 1 FOOT PER TREE DIAMETER INCH AWAY FROM THE TREE IN THE SETBACK OR RIGHT-OF-WAY.

INTERNAL TREE REQUIREMENTS:

ONE TREE PER 10,000 SQ. FT. OF IMPERVIOUS AREA. ALL PARKING SPACES WITHIN 60' OF A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED SITES AND 10% FOR NEW SITES.

CALCULATIONS: IMPERVIOUS AREA = 394,135 SQ. FT. *
LANDSCAPE AREA = 510,988 SQ. FT. = 56% OF TOTAL SITE
(ENTIRE SITE) TOTAL SITE AREA = 905,123 SQ. FT.

IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25 FT. OF LINES. OTHERWISE 50% OF NEW TREES MUST BE LARGE MATURING.

* INTERNAL TREE REQUIREMENT: IMPERVIOUS AREA/10,000 = 40 TREES REQUIRED
51 TREES PROVIDED

ATTENTION CONTRACTOR/LANDSCAPER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 336-3599 SITE, SIGNS, OVERHEAD POWERLINES OR OTHER UTILITIES.

NOTE: NO LIGHT/UTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

PERIMETER TREE REQUIREMENTS

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDES DRIVEWAYS STREET: 2767 LF/40 FT = 70 TREES REQUIRED/ 66 TREES PROVIDED

IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25 FT. OF LINES. OTHERWISE 75% OF NEW TREES MUST BE LARGE MATURING.

* NOTE: CREDIT GIVEN FOR UTILIZING EXISTING PERIMETER TREES

- TREE SYMBOLS:
- PROPOSED RED MAPLE (RM)
 - PROPOSED BLACK GUM (BG)
 - PROPOSED JAPANESE CRYPTOMERIA (JC)
 - PROPOSED LACEBARK ELM (LE)

LEGEND

- | SYMBOL | DETAIL |
|------------------------------|--------|
| PROPOSED SHRUBS | -/- |
| PROPOSED SEED/SOD | -/- |
| COMMON OPEN SPACE 2.30 ACRES | -/- |

PLANTING SCHEDULE

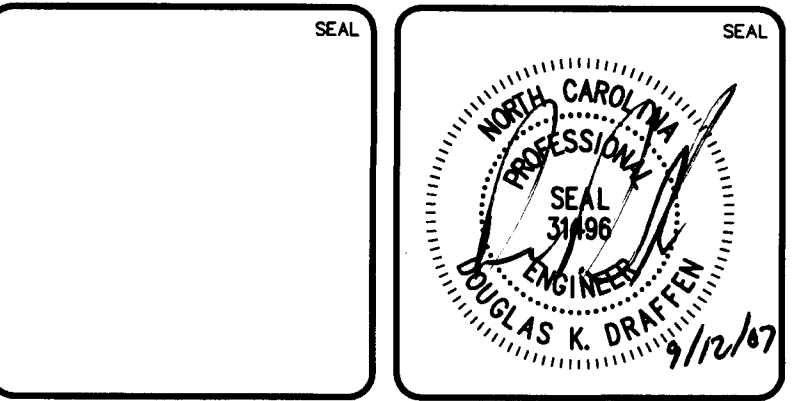
SYM #	COMMON NAME	BOTANICAL NAME	SIZE	ROOT SPAC'G	NOTES
TREES					
LE 52	LACEBARK ELM	ULMUS PARVIFOLIA 'ATHENA'	3 - 3.5" CAL.	B&B	A.I.
BG 59	BLACK GUM	NYSSA SYLVATICA	3 - 3.5" CAL.	B&B	A.I.
JC 39	JAPANESE CRYPTOMERIA	CRYPTOMERIA JAPONICA	3 - 3.5" CAL.	B&B	A.I.
RM 72	RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	3 - 3.5" CAL.	B&B	A.I.
SHRUBS					
NH 458	NEEDLEPOINT HOLLY	ILEX CORNUTA 'NEEDLE POINT'	30" HT. 24" WIDE	5 GAL.	4.0' OC FULL TO GROUND

NOTICE TO CONTRACTOR/REVIEWER:
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SCALE: 1"=60'
0 30 60 120

CALL N.C. ONE
CALL CENTER
BEFORE YOU DIG
STOP
1-800-632-4949
AVOID UTILITY
DAMAGE

REVNO.	DESCRIPTIONS	DATE
E	5TH SUBMITTAL TO CITY	09/12/07
C	3RD SUBMITTAL TO CITY	05/23/07
B	2ND SUBMITTAL TO CITY	03/16/07
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REVISIONS		



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KOTARIDES DEVELOPERS

BELMONT APARTMENTS
CHARLOTTE, NORTH CAROLINA
NORTHWEST CORNER OF
CAPRINGTON AVENUE & HWY 29

PLANTING PLAN

DATE: 1/15/07	SCALE: 1"=60'	FILE NUMBER: CL101-45550004
PROJ. #: 45550004	HORIZONTAL: 1"=60'	DRAWING NUMBER: C8.0
DRAWN: GWF	VERTICAL: N/A	
DESIGNED: JLD		
CHECKED: DKD		
PROJ. MGR: DKD		
STATUS: Preliminary Design		
REVISION: C		