

BELLAVITA ON PARK

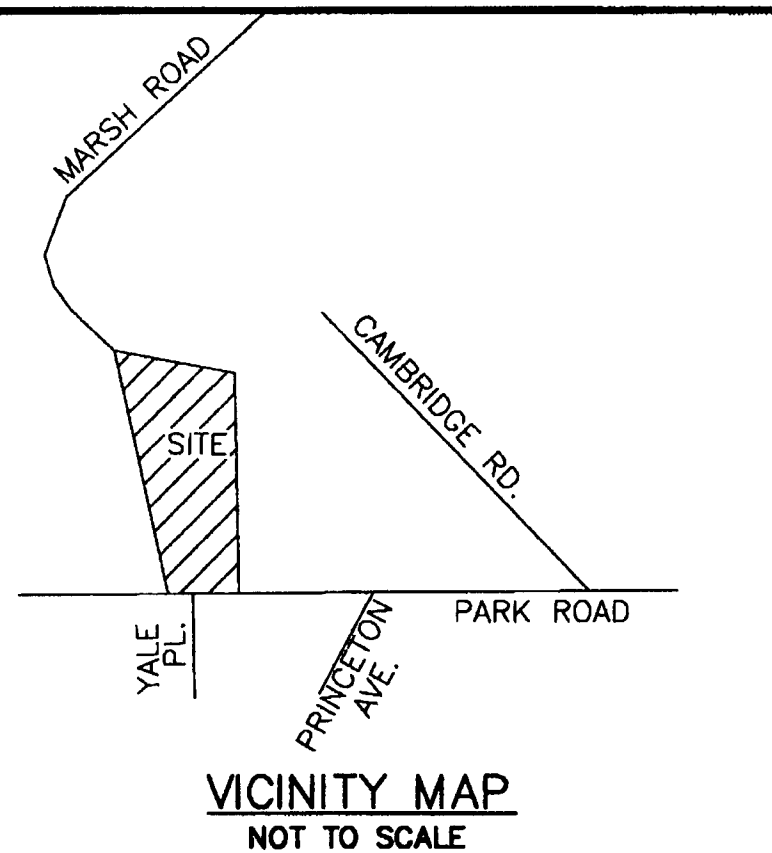
CHARLOTTE, NORTH CAROLINA

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission
SCS
8/15/07

BELLAVITA ON PARK
CHARLOTTE, NORTH CAROLINA
CRESCENT RESOURCES
400 S. TRYON ST. SUITE 1300
CHARLOTTE, NC 28285

CRESCENT RESOURCES

400 S. TRYON STREET, SUITE 1300
CHARLOTTE, NORTH CAROLINA 28285



GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY R.B. PHARR & ASSOCIATES, P.A. ON 10-2-06
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS AT MARSH ROAD AND PARK ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMDS# 50.05 (9" SIGNS ONLY)
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. CURB AND GUTTER SHOWN ON PLANS ALONG MARSH ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
14. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
16. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
18. NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
19. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
20. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
21. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
22. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
23. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

SITE DATA:

TAX PARCEL: 147-101-72
ZONING: R-43MF
GROSS AREA: 98,484 SF (2.26 ACRES) - 1,378 SF (.03 ACRES R/W TO BE DEDICATED) = 97,107 SF (2.23 ACRES) NET
NET AREA: 97,107 SF (2.23 ACRES)
PROPOSED USE: FOR SALE CONDOMINIUMS
PROPOSED UNITS: 97 CONDOMINIUM UNITS
PROPOSED DENSITY: 42.92 DU/A (97 UNITS / 2.26 ACRES (GROSS AREA))
PARKING REQUIRED: 146 SPACES (97 UNITS X 1.5 SPACES)
PARKING PROVIDED: 125 GARAGE SPACES, 8 HC GARAGE SPACES (INCLUDES 2 HC VAN), 15 PARALLEL ON STREET SPACES, 190 TOTAL SPACES
BICYCLE PARKING REQUIRED: 9 SPACES
BICYCLE PARKING PROVIDED: 9 SPACES
OPEN SPACE REQUIRED: 30% (.678 AC)
OPEN SPACE PROVIDED: 34,319 SF (.788 AC) 35.34%
SETBACK: 30' (15' CORNER SETBACK)
SIDEYARD: 10'
REARYARD: 40'
MAXIMUM BUILDING HEIGHT: 40'
NOTE:
SITE IS EXEMPT FROM DETENTION ORDINANCE

EXISTING BUILDING SQUARE FOOTAGE: 30,947 SF
PROPOSED BUILDING SQUARE FOOTAGE: 42,149 SF
IMPERVIOUS AREA: 62,788 (1.44 ACRES)
PRE 1978 IMPERVIOUS AREA: 92,757 SF (2.13 ACRES)
TRASH PICK UP REQUIRED: 9 CU YD COMPACTOR (8 CU YD COMPACTOR/90 UNITS)
TRASH PICK UP PROVIDED: (1) 9 CU. YD. COMPACTOR WITH MINI ROLL OUT DUMPSTER FOR PRIVATE COLLECTION
RECYCLE AREA REQUIRED: 175 SF (97 UNITS x 144 SF/80 units)
RECYCLE AREA PROVIDED: 175 SF ((1.8 SF x 17 units) + 144 SF))

CONSULTANTS:

DEVELOPER: CRESCENT RESOURCES
400 S. TRYON STREET
SUITE 1300
CHARLOTTE, NC 28285
980-321-6234
ARCHITECT: JENKINS + PEER ARCHITECTS
112 SOUTH TRYON STREET
CHARLOTTE, NC 28284
704.372.6665
LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
SURVEYOR: R.B. PHARR & ASSOCIATES, P.A.
420 HAWTHORNE LANE
CHARLOTTE, N.C. 28204
704.376.2186

SCHEDULE OF DRAWINGS:

L-1 COVER SHEET
L-2 EXISTING CONDITIONS
L-3 SITE PLAN
L-4 GRADING PLAN
L-5 REQUIRED PLANTING PLAN
L-6 TRAFFIC CONTROL PLAN
L-7 SITE DETAILS
L-8 SITE DETAILS
L-9 SITE DETAILS
C-1 PHASE I EROSION CONTROL PLAN
C-2 PHASE II EROSION CONTROL & STORM DRAINAGE PLAN
C-3 DRAINAGE AREA PLAN
C-4 RESERVED
C-5 EROSION CONTROL DETAILS
C-6 STORM DRAINAGE DETAILS
C-7 STORM DRAINAGE DETAILS
C-8 WATER AND SANITARY SEWER PLAN
C-9 SANITARY SEWER DETAILS
C-10 WATER DETAILS
C-11 RETAINING WALL DESIGN AND DETAIL

Design Resource Group

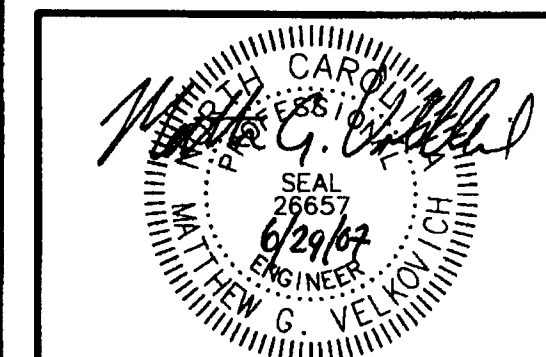
1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0608 fax 704.358.3068
www.drgp.com

• Landscape Architecture
• Urban Design
• Civil Engineering
• Land Planning

DRG

COVER
SHEET

Copyright © 2006 Design Resource Group, PA
This plan or drawing and any accompanying documents or calculations are the property of Design Resource Group, PA, and are intended solely for the use of the recipient noted. No third party use or modification is permitted without written authorization.



Scale: NOT TO SCALE
Date: JAN 26, 2007
Project No.: 064-007
Revisions:
1. 28 MAR 2007 BLDG. STD. SUBMITTAL AND CMPC REVIEW
2. 16 MAY 2007 PER BLDG. STD. REVIEW
3. 29 JUNE 2007 PER CMPC REVIEW

Sheet L-1

BELLAVITA ON PARK
CHARLOTTE, NORTH CAROLINA

CRESCENT RESOURCES
400 S. TRYON ST. SUITE 1300
CHARLOTTE, NC 28285

Design
Resource Group

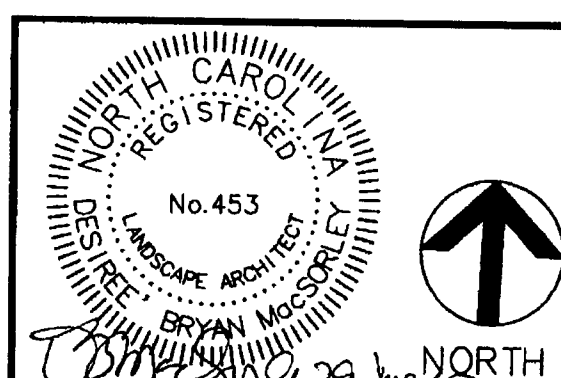
1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0808 fax 704.358.3083
www.drg.com

• Landscape Architecture
• Urban Design
• Civil Engineering
• Land Planning

DRG

SITE
PLAN

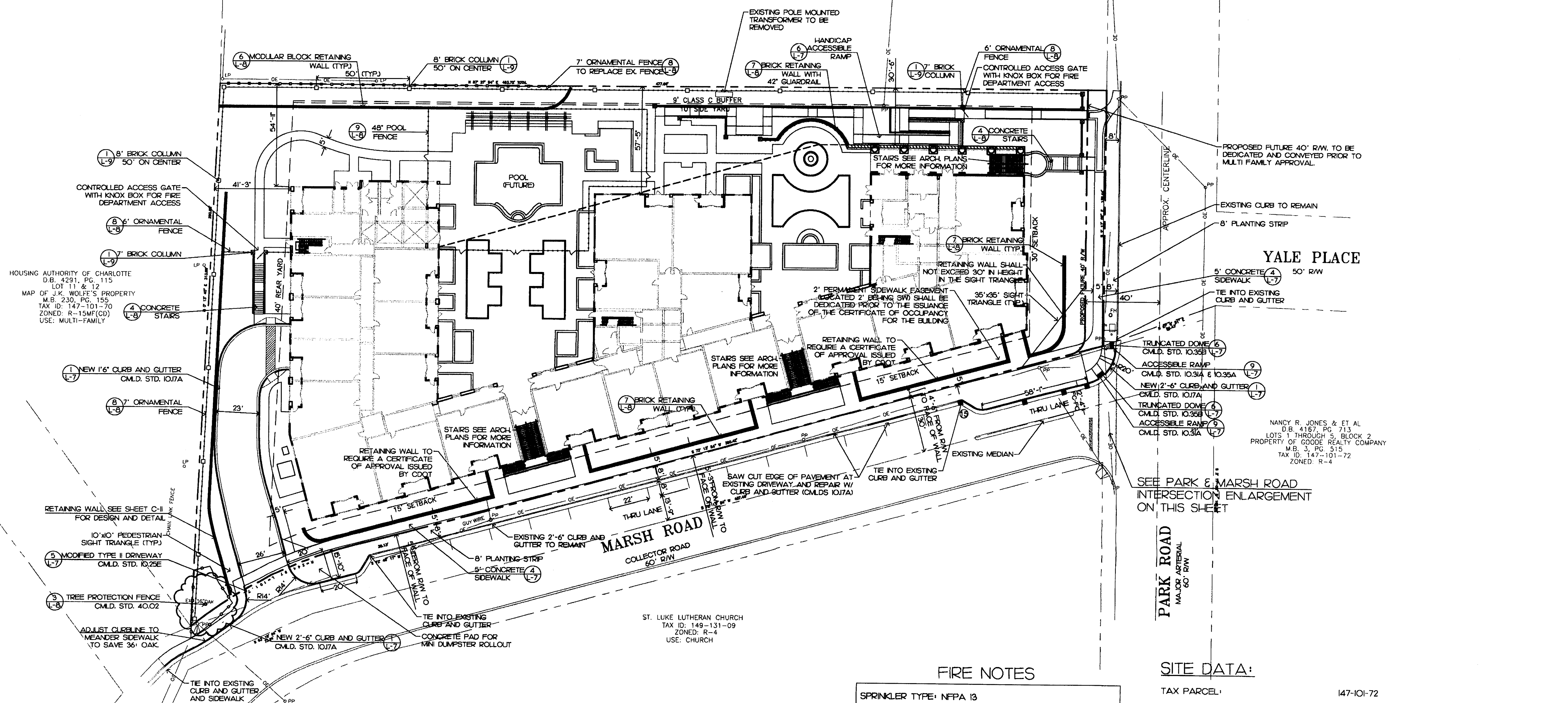
Copyright © 2007 Design Resource Group, PA
This plan or drawing and any accompanying documents or
calculations are the property of Design Resource Group, PA,
and are intended solely for the use of the recipient noted.
No third party use or modification is permitted without
written authorization.



Scale: 1" = 30'
Date: JAN 26, 2007
Project No.: 064-007
Revisions:
1. 28 MAR 2007 BLDG. STD. SUBMITTAL
AND CMPC REVIEW
2. 16 MAY 2007 PER BLDG. STD. REVIEW
3. 8 JUNE 2007 PER BLDG. STD. REVIEW
4. 29 JUNE 2007 PER CMPC REVIEW

Sheet L-3

THE ROMAN CATHOLIC DIOCESE OF CHARLOTTE
D.B. 3387, PG. 587
LOT 2 & PART OF LOT 3
MAP OF J.K. WOLFE'S PROPERTY
M.B. 230, PG. 155
TAX ID: 147-101-73
ZONED: R-4
USE: MIDDLE SCHOOL



FIRE NOTES

SPRINKLER TYPE: NFPA 13
BUILDING SF: 42,419 SF PER FLOOR
BUILDING HEIGHT (AVERAGED): 69.5'
TYPE OF CONSTRUCTION: V-A ON RESIDENTIAL FLOORS
I-B (PARKING FLOORS)

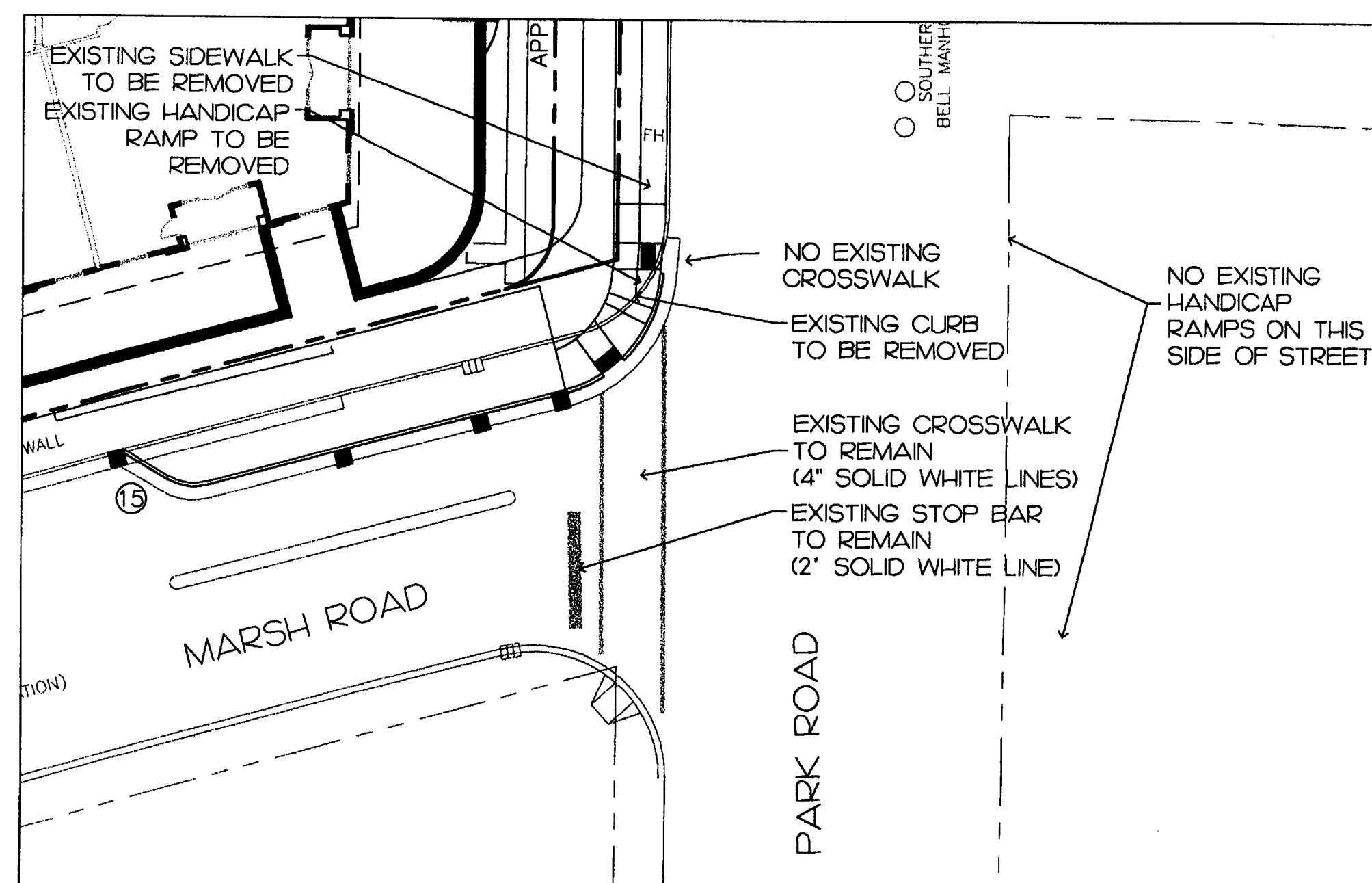
SITE NOTES:

1. '9" CLASS C BUFFER IS 1/2 OF THE REQUIRED BUFFER OF THE ADJUTING MIDDLE SCHOOL WHICH IS 18" BASED ON THE DEVELOPING TRACT ACREAGE 2.23 ACRES.
2. PARKING GARAGE CONTAINS 175 SPACES TOTAL. SEE ARCHITECT'S GARAGE PLANS FOR ACTUAL GARAGE RAMPS, PARKING DIMS AND LAYOUT.
3. 9 BICYCLE PARKING SPACES PROVIDED IN PEDESTAL LEVEL OF DECK. SEE ARCHITECT'S PLANS FOR ACTUAL LOCATION. SEE SPECIFICATION INFORMATION ON DETAIL 5 SHEET L-8.
4. SEE ARCHITECT'S PLANS FOR TRASH AND RECYCLING LOCATIONS AND DETAILS.

SITE DATA:

TAX PARCEL: 147-101-72
ZONING: R-43MF
GROSS AREA: 98,484 SF (2.26 ACRES) - 1,378 SF (0.03 ACRES) R/W TO BE DEDICATED - 97,107 SF (2.23 ACRES) NET
NET AREA: 97,107 SF (2.23 ACRES)
PROPOSED USE: FOR SALE CONDOMINIUMS
PROPOSED UNITS: 97 CONDOMINIUM UNITS
PROPOSED DENSITY: 4292 DUA (97 UNITS / 2.26 ACRES (GROSS AREA))
PARKING REQUIRED: 146 SPACES (97 UNITS X 1.5 SPACES)
PARKING PROVIDED: 175 GARAGE SPACES
6 LC GARAGE SPACES (INCLUDES 2 LC VAN) 15 PARALLEL ON STREET SPACES 190 TOTAL SPACES
BICYCLE PARKING REQUIRED: 9 SPACES
BICYCLE PARKING PROVIDED: 9 SPACES
OPEN SPACE REQUIRED: 30% (678 AC)
OPEN SPACE PROVIDED: 34,319 SF (788 AC) 35.34%
SETBACK: 30' (15' CORNER SETBACK)
SIDEYARD: 10'
REARYARD: 40'
MAXIMUM BUILDING HEIGHT: 40'
NOTE: SITE IS EXEMPT FROM DETENTION ORDINANCE

EXISTING BUILDING SQUARE FOOTAGE: 30,947 SF
PROPOSED BUILDING SQUARE FOOTAGE: 42,419 SF
IMPERVIOUS AREA: 62,788 (1.44 ACRES)
PRE 1978 IMPERVIOUS AREA: 92,757 SF (2.13 ACRES)
TRASH PICK UP REQUIRED: 9 CU YD COMPACTOR (8 CU YD COMPACTOR/ 90 UNITS)
TRASH PICK UP PROVIDED: (1) 9 CU YD. COMPACTOR WITH MINI ROLL OUT DUMPSTER FOR PRIVATE COLLECTION
RECYCLE AREA REQUIRED: 175 SF (97 UNITS X 1.44 SF/80 units)
RECYCLE AREA PROVIDED: 175 SF (118 SF X 17 units) + 144 SF)



PARK & MARSH ROAD INTERSECTION ENLARGEMENT