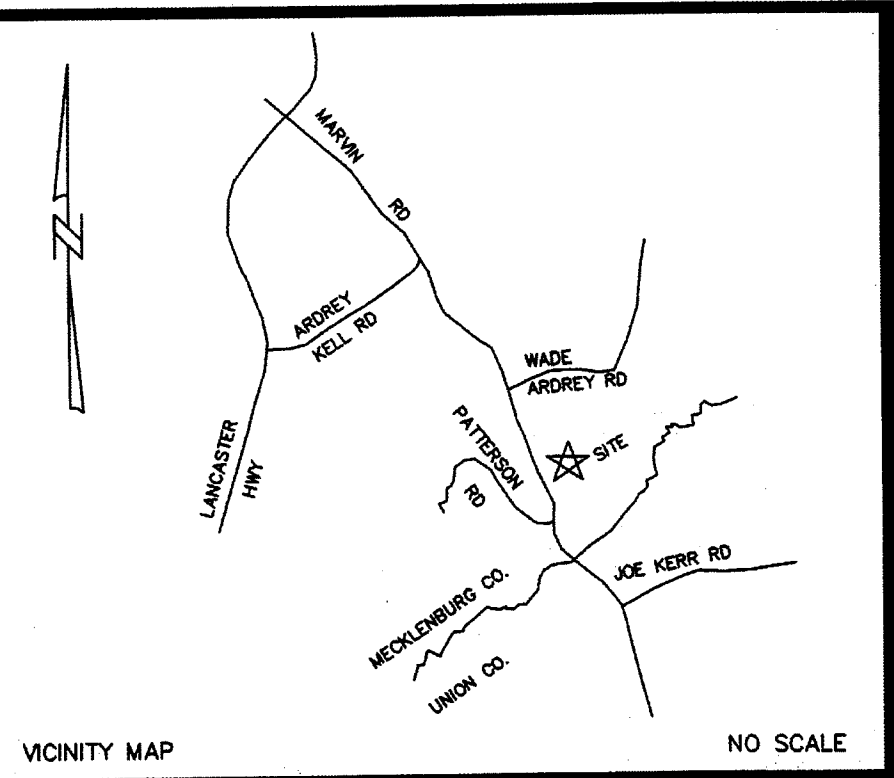




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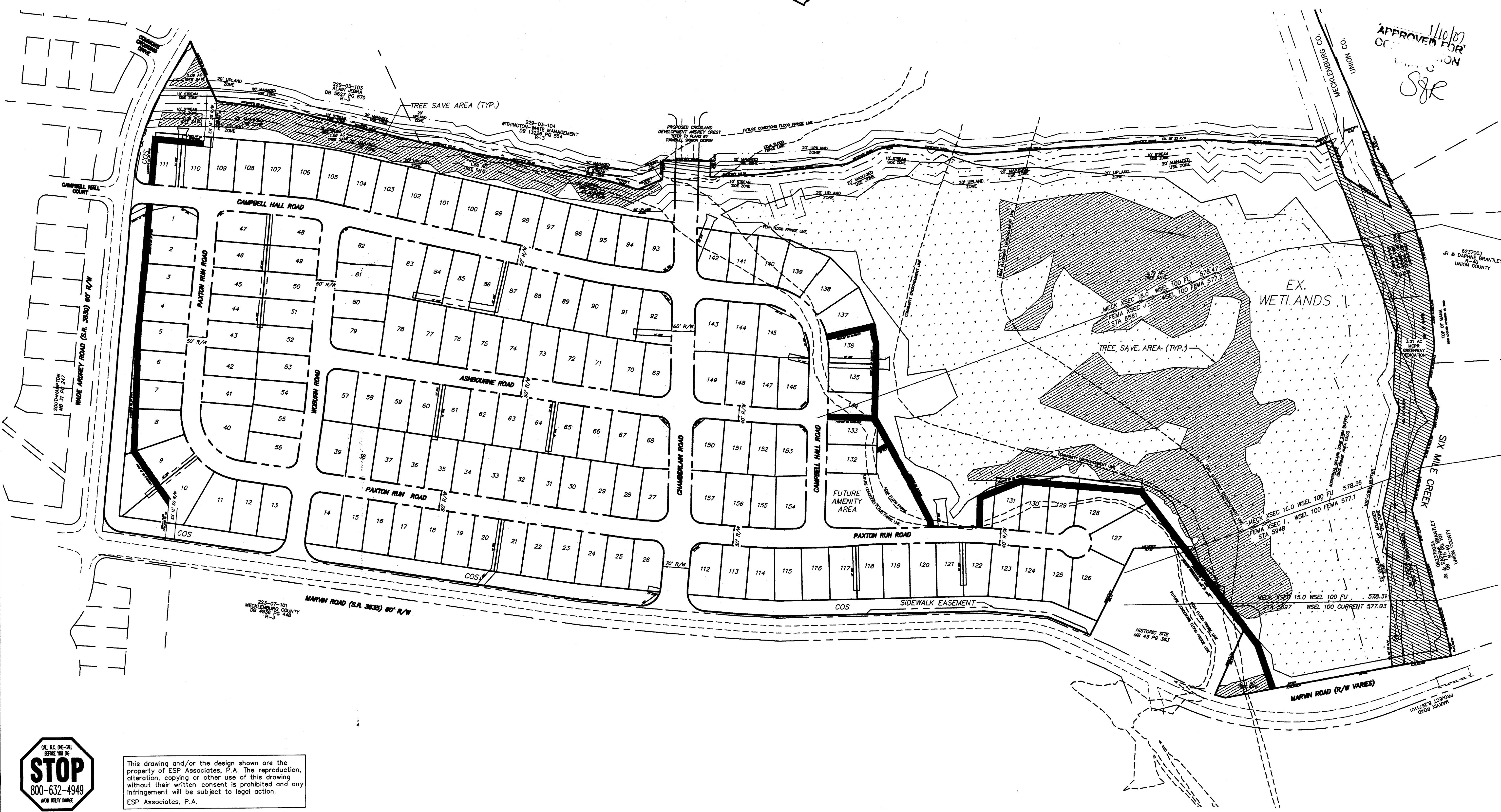
S.W.I.M. Additional Area:
AREA FROM 0.1 COMMUNITY TO FEMA FLOOD FRINGE = 6.95 AC.
50% AREA = 3.5 AC.
AREA PROVIDED AS ADDITIONAL S.W.I.M. UPLAND ZONE = 3.5 AC.

TREE SAVE DATA

TOTAL SITE AREA	91.49 AC
-UTILITY EASEMENTS	2.07 AC
NET AREA	89.42 AC
10% REQUIRED TREESAVE AREA	8.94 AC
TREESAVE PROVIDED	10.63 AC (11.89%)

SITE DATA

ZONING DISTRICT	R-3 CLUSTER
PROJECT SITE AREA	91.49 ACRES
TOTAL NO OF PROPOSED LOTS	157 LOTS
TAX PARCEL ID#S	229-031-02 229-031-13 229-031-01 229-031-05
MINIMUM LOT AREA	8,000 SQ. FT.
TYPICAL LOT SIZE	70' X 135'
MINIMUM LOT WIDTH	70'
FRONT SETBACK	20'
SIDE YARD	5' (10' CORNER)
REAR YARD	30' (45' EXTERNAL)
BUILDING HEIGHT	40'
TREE SAVE PROVIDED (SEE TREE SAVE DATA)	10.63 AC (11.89%)
C.O.S. PROVIDED	44.16 AC (48.3%)
AREA IN WETLANDS	29.12 AC
DEDICATED GREENWAY	3.21 AC



APPROVED FOR
1/10/07
OCCUPANCY
SJR



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CENTEX HOMES
4235 SOUTH STREAM BOULEVARD
SUITE 400 - 28217
CHARLOTTE, NC 28217
(704) 823-6111

OVERALL SITE PLAN NOT TO SCALE

AROREY CHASE

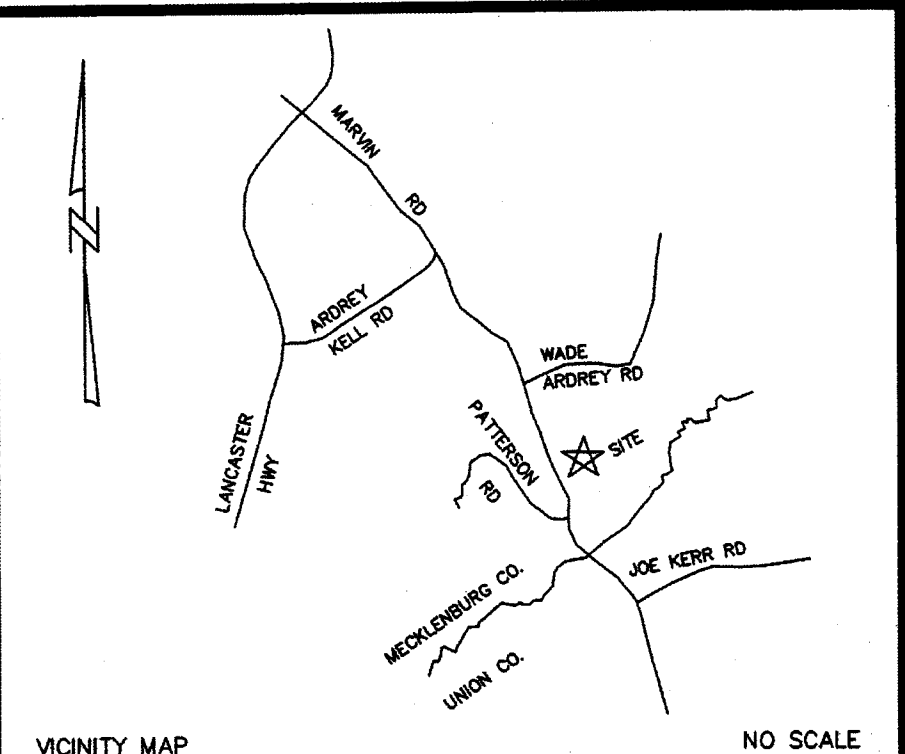
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engineering • surveying • planning
P.O. Box 7030 • Charlotte, NC 28241
10915 Southern Loop Boulevard
Pineville, NC 28134
(704) 583-4949 • Fax (704) 583-4950
www.esp-associates.com

REVISION

NO.	DATE	REVISION
1	2/20/06	REVISED COMMENTS
2	02/20/06	DEVELOPER COMMENTS
3	4-24-06	REVIEW COMMENTS
4	06/09/06	REVISED TREE SAVE DATA
5	8/23/06	DEVELOPER COMMENTS

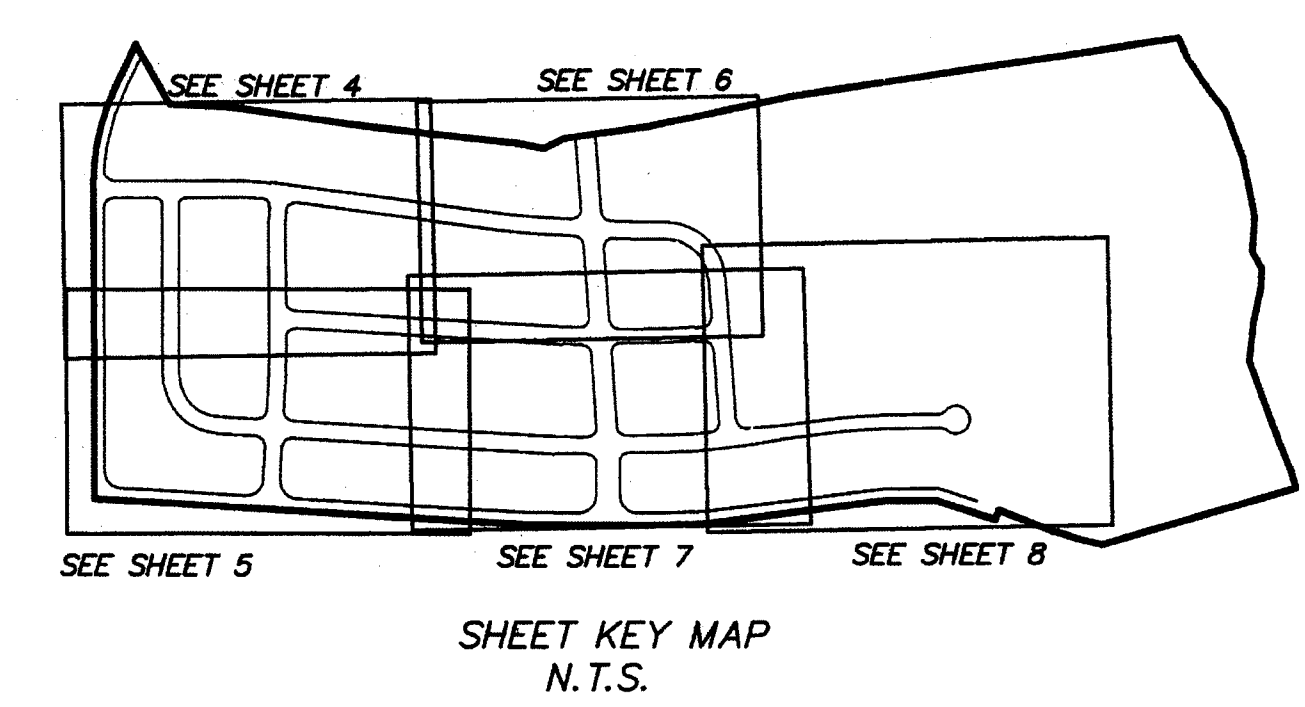
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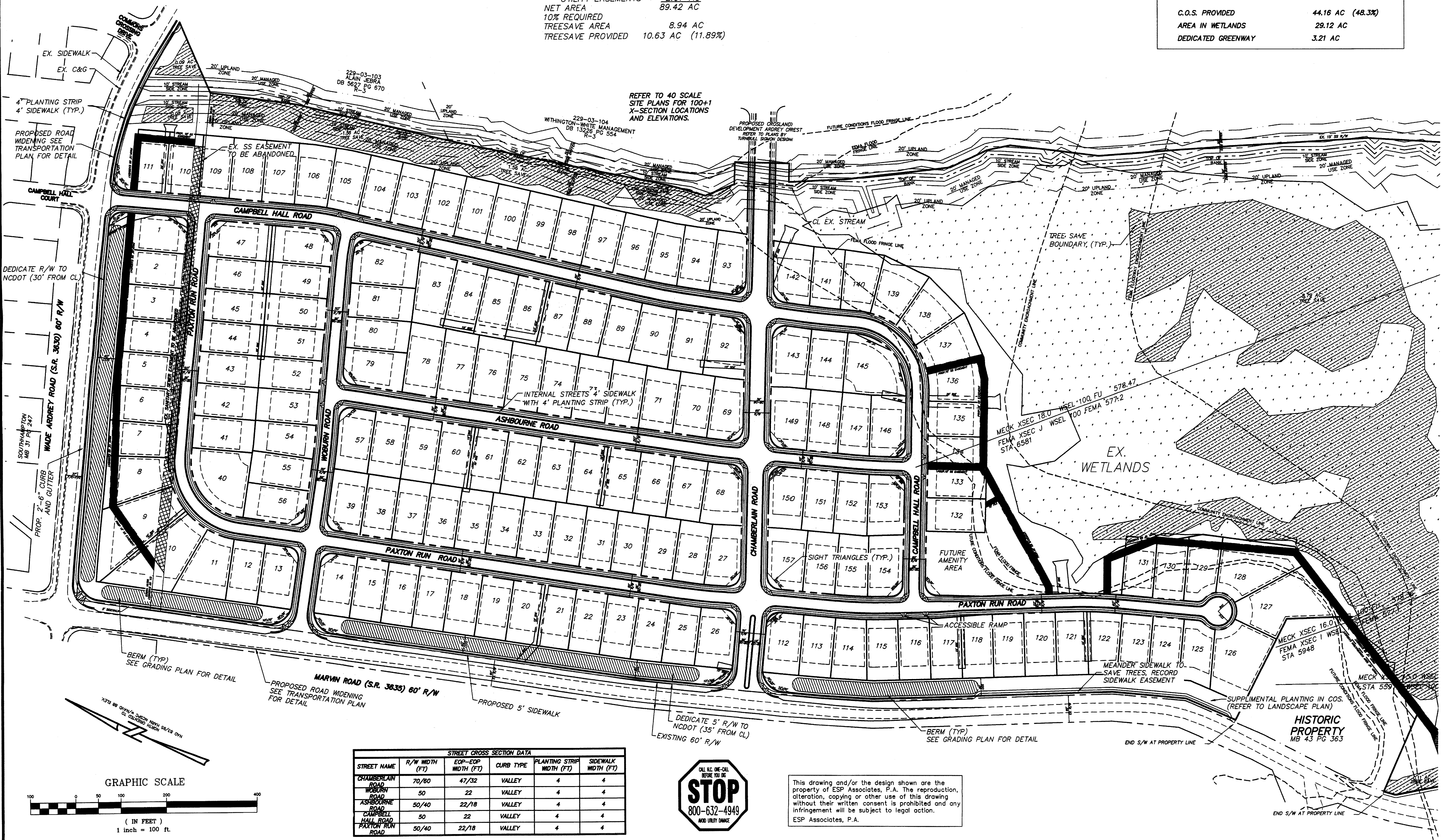
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-UTILITY EASEMENTS 2.07 AC
NET AREA 89.42 AC
10% REQUIRED TREESAVE AREA 8.94 AC
TREESAVE PROVIDED 10.63 AC (11.89%)



SITE DATA	
ZONING DISTRICT	R-3 CLUSTER
PROJECT SITE AREA	91.49 ACRES
TOTAL NO OF PROPOSED LOTS	157 LOTS
TAX PARCEL ID#S	229-031-02 229-031-13 229-031-01 229-031-05
MINIMUM LOT AREA	8,000 SQ. FT.
TYPICAL LOT SIZE	70' X 135'
MINIMUM LOT WIDTH	70'
FRONT SETBACK	20'
SIDE YARD	5' (10' CORNER)
REAR YARD	30' (45' EXTERNAL)
BUILDING HEIGHT	40'
TREE SAVE PROVIDED (SEE TREE SAVE DATA)	10.63 AC (11.89%)
C.O.S. PROVIDED	44.16 AC (48.3%)
AREA IN WETLANDS	29.12 AC
DEDICATED GREENWAY	3.21 AC



STREET CROSS SECTION DATA				
STREET NAME	R/W WIDTH (FT)	EDP-EDP WIDTH (FT)	CURB TYPE	PLANTING STRIP WIDTH (FT)
CHAMBERLAIN ROAD	70/60	47/32	VALLEY	4
WOBBURN ROAD	50	22	VALLEY	4
ASHBOURNE ROAD	50/40	22/18	VALLEY	4
CAMPBELL HALL ROAD	50	22	VALLEY	4
PAXTON RUN ROAD	50/40	22/18	VALLEY	4



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P.O. Box 7830 • Charlotte, NC 28241
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4235 SOUTH STREAM BOULEVARD
SUITE 400
CHARLOTTE, NC 28217
(704) 623-8111

OVERALL SITE PLAN

AROREY CHASE

CHARLOTTE (ETJ), N.C.

PROJECT NO. 1024-400
SCALE: 1"=100'
DATE: 10/11/05
DRAWN BY: JTW
CHECKED BY: LHM
REVISION
NO. DATE REVIEW COMMENTS
1 2/20/06
2 4/24/06
3 06/08/06
4 8/23/06

BY: PSC
SNF
PSC
PSC

SEAL
17619
LISA WALSH HARRIS
10/19/06

PROJECT
SHEET NO. 3

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HANDRAIL
(CMLDS STD. 50.04) -
STA: 11+18.84 TO
STA: 11+97.91

PROP. GUARDRAIL SEE DETAIL SHEETS
FOR ADDITIONAL INFORMATION

PROP. SIDEWALK
EASEMENT
(1.0' FROM B/C)

PROPOSED ROAD
WIDENING SEE
TRANSPORTATION

100+1 FLOODLINE (TYP.

CAMPBELL HALL
COURT

5' X 5' ADA
PASSING ZONE (TYP)

EXISTING C&G

EXIST. SIDEWALK —

DEDICATE R/W TO—

NCB01 (50 FROM 52)

4' SIDEWALK (TYP.)—
1' PLANTING STRIP (TYP.)

2'-6" CURB AND

WADE
RDREY ROAD (S.R. 3630) 60' R/W

SEE SHEET 5

-TIE IMPROVEMENTS TO CROSLAND (ARDREY CREST) PROJECT
REFER TO PLANS BY TURNBULL SIGMON DESIGN

100+1 STUDY BY TURNBULL SIGMON DESIGN
REFER TO ARDREY CHASE PLANS BY TSD
FOR SURVEYED X-SECTIONS

<u>TREE SAVE DATA</u>	
TOTAL SITE AREA	91.49 AC
-UTILITY EASEMENTS	<u>2.07 AC</u>
NET AREA	89.42 AC
10% REQUIRED	
TREESAVE AREA	8.94 AC
TREESAVE PROVIDED	10.63 AC (11.89%)

STREET CROSS SECTION DATA					
STREET NAME	R/W WIDTH (FT)	EOP-EOP WIDTH (FT)	CURB TYPE	PLANTING STRIP WIDTH (FT)	SIDEWALK WIDTH (FT)
CHAMBERLAIN ROAD	70/60	47/32	VALLEY	4	4
WISBURN ROAD	50	22	VALLEY	4	4
ASHBOURNE	50/40	22/18	VALLEY	4	4
BRASSFORD ROAD	50	22	VALLEY	4	4
PARTON TUN ROAD	50/40	22/18	VALLEY	4	4

SITE DATA	
ZONING DISTRICT	R-3 CLUSTER
PROJECT SITE AREA	91.49 ACRES
TOTAL NO. OF PROPOSED LOTS	157 LOTS
LOT PARCEL ID#S	229-031-02
	229-031-13
	229-031-01
	229-031-05
MINIMUM LOT AREA	8,000 SQ. FT.
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(SEE TREE SAVE DATA)	

C.O.S. PROVIDED	44.16 AC (48.3%)
AREA IN WETLANDS	29.12 AC
DEDICATED GREENWAY	3.21 AC



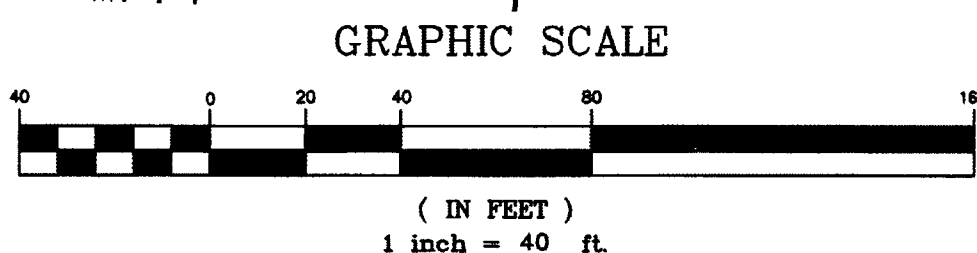
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CENTEX HOMES
4235 SOUTH STREAM BOULEVARD
SUITE 400
CHARLOTTE, N.C. 28217

ARDREY CHASE

PROJECT	NO.	DATE	REVIEW COMMENTS	BY
PROJECT G21-400	1	2/20/06	REVIEW COMMENTS	BSG
PROJECT G21-400	2	4/24/06	REVIEW COMMENTS	BSG
PROJECT G21-400	3	06/09/06	REVIEW COMMENTS	SNF
PROJECT G21-400	4	06/23/06	REVIEW TREE STATE DATA DEVELOPER COMMENTS	BSG

SHEET NO.		TG21.400 - Wade Ardev\to21.400\dwg\TG21.400 - SITE.DWG. SP1-04. pchassen	
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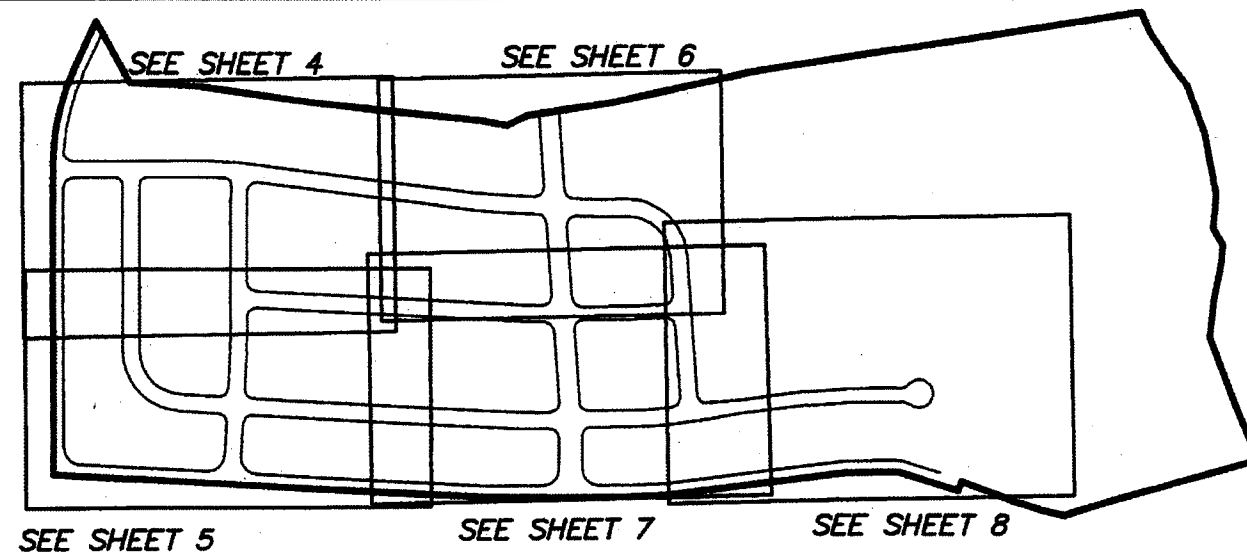
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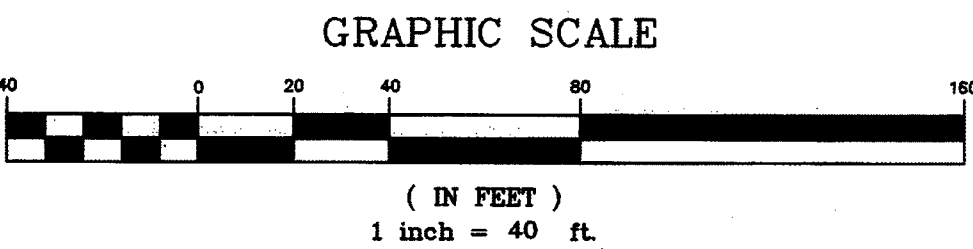
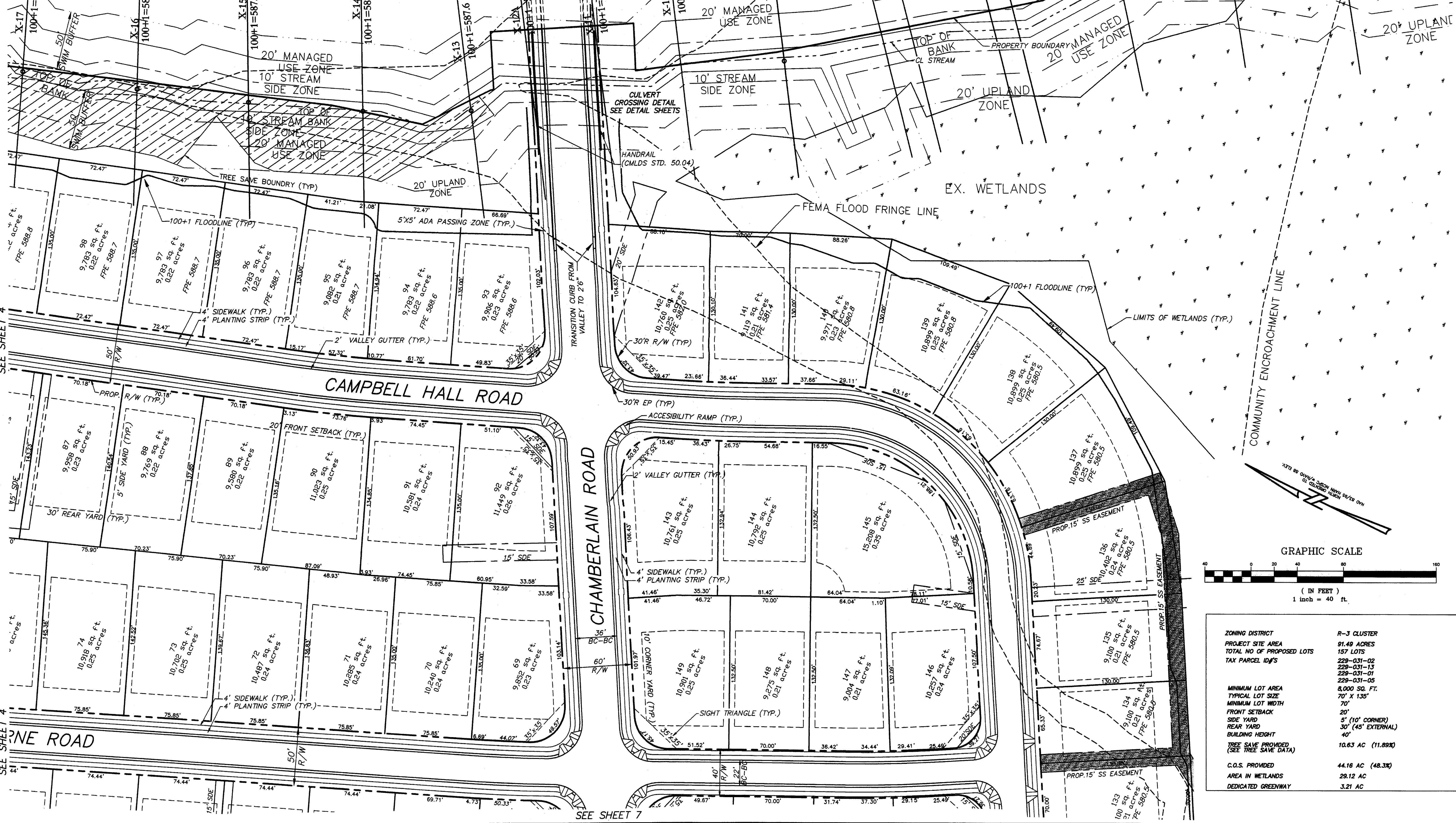


SHEET KEY MAP
N.T.S.

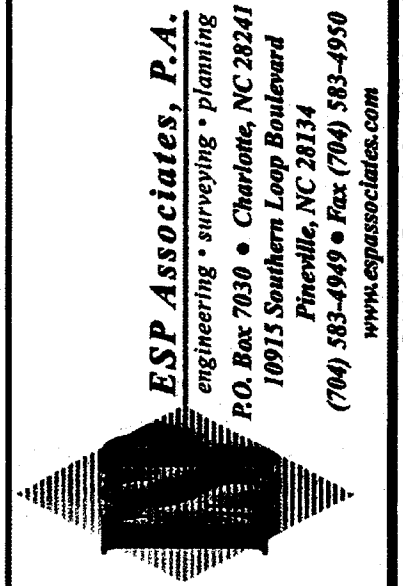
STREET CROSS SECTION DATA					
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ASHBOURNE ROAD	50/40	22/18	VALLEY	4	4
BRASSMOOR ROAD	50	22	VALLEY	4	4
PAXTON RUN ROAD	50/40	22/18	VALLEY	4	4

229-03-104
ITHINGTON-WHITE MANAGEMENT
DB 13226 PO 554
R-3

100+1 STUDY BY TURNBULL SIMON DESIGN
REFER TO ARDREY CHASE PLANS BY TSD
FOR SURVEYED X-SECTIONS

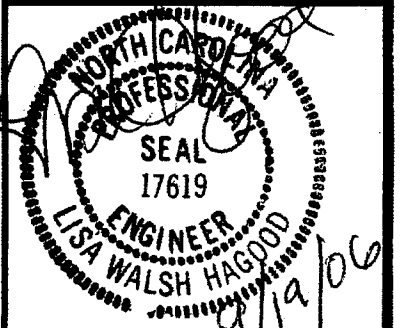


ZONING DISTRICT		R-3 CLUSTER	
PROJECT SITE AREA		91.49 ACRES	
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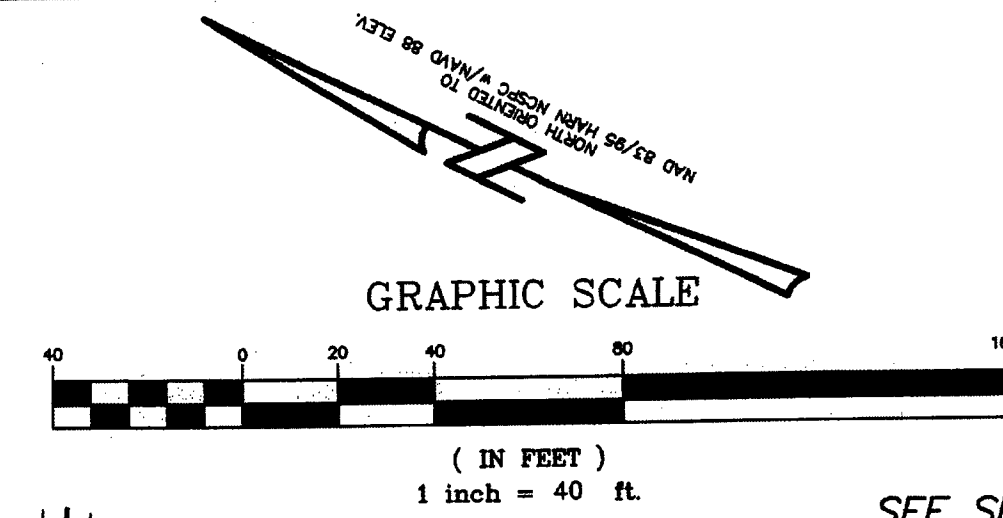
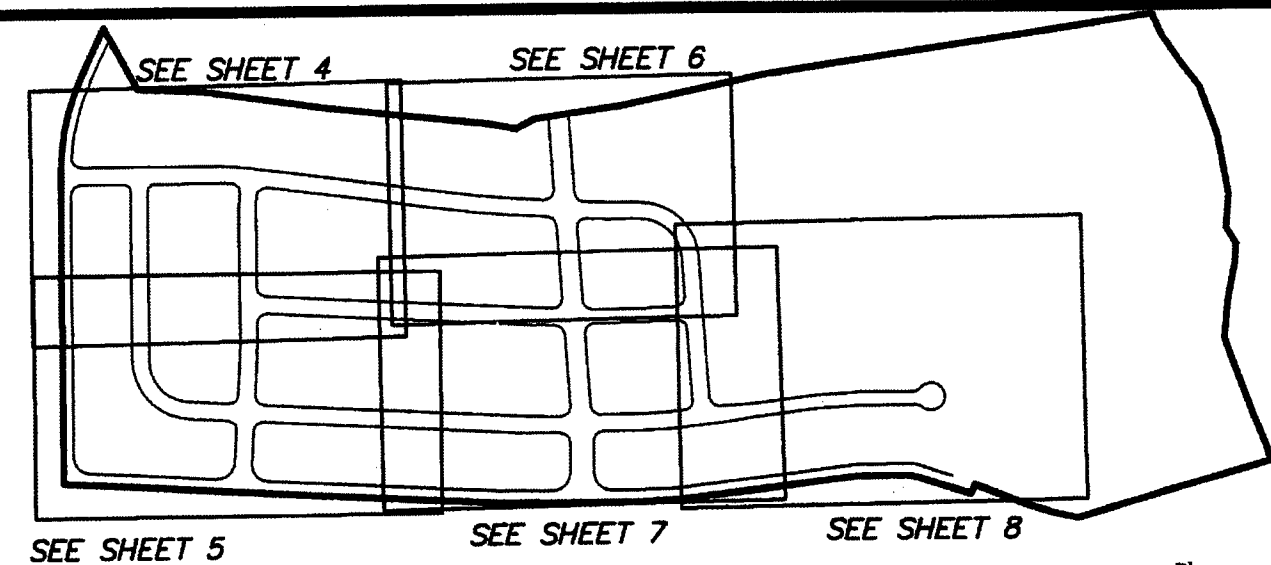


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ARDREY CHASE
CHARLOTTE (E.U.), N.C.



NO.	DATE	REVISION	BY
1	2/20/06	REVIEW COMMENTS	PSC
2	4/24/06	REVIEW COMMENTS	SKF
3	06/06/06	REVIEW COMMENTS - REVISION TREE SAVE DATA	PSC
4	8/23/06	REVISION CULVERT CROSSING DETAIL	PSC
5		DEVELOPER COMMENTS	



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STREET NAME	R/W WIDTH (FT)	EOB-EOB WIDTH (FT)	CURB TYPE	PLANTING STRIP WIDTH (FT)	SIDEWALK WIDTH (FT)
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ADREY CHASE

CHARLOTTE (ETJ), N.C.

SITE PLAN (4 OF 5)

PROJECT: ADREY CHASE
SHEET NO. 7

NO.	DATE	REVISION	BY
1	2/20/06	REVIEW COMMENTS	PSC
2	4/24/06	REVIEW COMMENTS	SKF
3	06/06/06	REVIEW COMMENTS	PSC
4	8/23/06	REVIEW COMMENTS	PSC

DESIGNED BY: LHM
CHECKED BY: LHM

