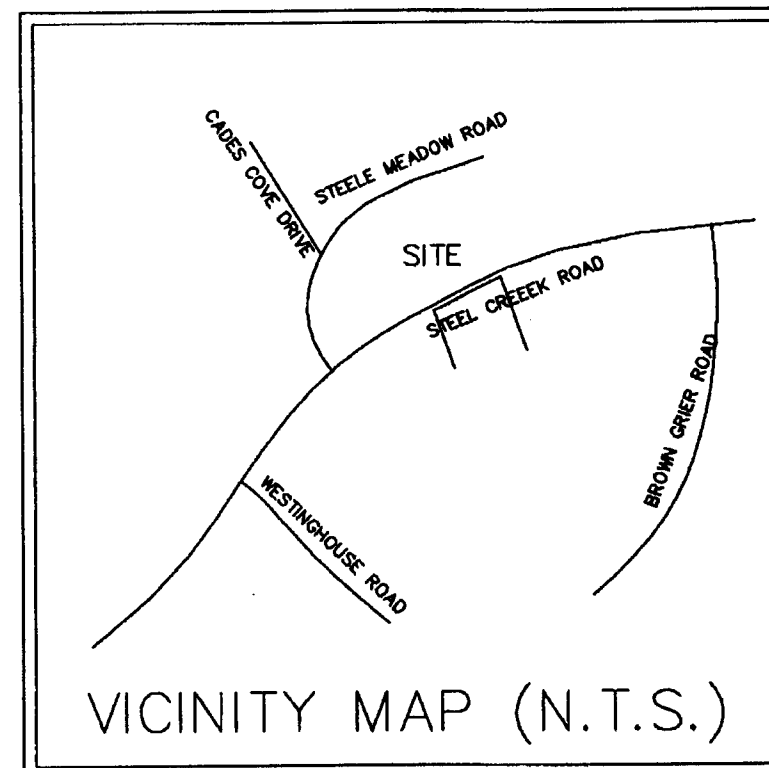


ALTA STEELE CREEK

CHARLOTTE, NORTH CAROLINA

W.P. EAST ACQUISITIONS, LLC

1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NC 28203



PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
Charlotte-Mecklenburg Planning Commission
6/15/07



ALTA STEELE CREEK
CHARLOTTE, NORTH CAROLINA

W.P. EAST ACQUISITIONS, LLC
1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NC 28203

GENERAL NOTES:

1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT STEELE CREEK AND SMOKE MONT DRIVE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS# 50.05 (9" SIGNS ONLY)
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
9. CURB AND GUTTER SHOWN ON PLANS ALONG STEELE CREEK ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
10. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
11. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
12. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
13. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
14. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
15. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
16. NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
17. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
18. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
19. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE LAND DEVELOPMENT STANDARDS.
20. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

ADDITIONAL GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY DELTA LAND SURVEYORS.
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
5. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE LAND DEVELOPMENT STANDARDS.
6. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

CONSULTANTS:

DEVELOPER: W.P. EAST ACQUISITIONS, LLC.
1001 MOREHEAD SQUARE DRIVE
SUITE 250
CHARLOTTE, NC 28203
704.332.8995

ARCHITECT: WATTS LEAF ARCHITECTS, PA
101 NORTH McDOWELL STREET
SUITE 112
CHARLOTTE, NC 28204
704.376.1200

LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608

CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608

SURVEYOR: DELTA LAND SERVICES, INC.
6033 FLORENCE AVENUE
SUITE 100
CHARLOTTE, NC 28212
704.536.6190

SITE DATA

TAX ID#: 19918106 & 19918105
ZONING: R17-MF
SITE AREA: 15.846 ACRES
PROPOSED UNITS: 240 APARTMENTS
A UNITS: 12 "A" UNITS (5%) = 12 HC SPACES
B UNITS: 80 GROUND FLOOR UNITS - 12 "A" UNITS = 68 "B" UNITS (2%) = 2 HC SPACES

DENSITY ALLOWED: 17 DUA
DENSITY PROPOSED: 15.15 DUA
PARKING REQUIRED: 360 SPACES (1.5 SPACES/ UNIT)
PARKING PROPOSED: 355 SPACES
REGULAR PARKING 13 SPACES
HANDICAP PARKING 3 SPACES
VAN ACCESSIBLE PARKING 36 SPACES (2 HANDICAP ACCESSIBLE SPACES)
GARAGE PARKING 23 SPACES
ON STREET PARKING 430 SPACES (1.79 SPACES/ UNIT)
TOTAL

BICYCLE PARKING REQ.: 12 (1 SPACE/ 20 UNITS)
BICYCLE PARKING PROVIDED: 12 ((2) 6 SPACE RACKS)

MIN. STEELE CREEK ROAD SETBACK: 30'
MIN. SMOKE MONT DRIVE SETBACK: 15' per section 9.303(19f.)
MIN. SIDEYARD: 10'
MIN. REARYARD: 50'
MAX. BUILDING HEIGHT: 40'
DEED SETBACK: 150' (150' SETBACK PER RESTRICTIONS SET FORTH IN DEED BOOK 1312 PAGE 307 RECORDED IN THE MECKLENBURG COUNTY REGISTRY AS MEASURED FROM EXISTING IRONS.)

REQUIRED OPEN SPACE: 45% = 7.13 AC.
PROVIDED OPEN SPACE: 56% = 8.92 AC.

TRASH PICK-UP: PRIVATE TRASH COMPACTOR SYSTEM
SOLID WASTE CONTAINERS REQUIRED: 8 CU. YD COMPACTOR PER 90 UNITS (240 UNITS = 22 CU YD. COMPACTOR)
SOLID WASTE CONTAINER PROVIDED: 40 CU YD. COMPACTOR
REQUIRED RECYCLING CENTERS: (4) - 144 SF RECYCLING STATIONS OR 576 SF
PROVIDED RECYCLING CENTERS: 576 SF

LENGTH OF PRIVATE STREETS (MORGAN CREEK DRIVE):
PRIVATE STREET A 338 LF
PRIVATE STREET B 125 LF

PARKING ALONG PRIVATE STREETS (MORGAN CREEK DRIVE):
PRIVATE STREET A 163 LF (48% OF 338 LF)
PRIVATE STREET B 50 LF (40% OF 125 LF)

SCHEDULE OF DRAWINGS:

L-1 COVER SHEET
L-2 EXISTING CONDITIONS
L-3 SITE PLAN
L-3B SITE PLAN WHEEL PATH
L-4 GRADING PLAN
L-5 REQUIRED PLANTING PLAN
L-6 SMOKE MONT DRIVE PLAN AND PROFILE
L-7 MORGAN CREEK DR. PRIVATE STREET A & B PLAN AND PROFILES
L-8 SITE DETAILS
L-9 SITE DETAILS
L-10 SITE DETAILS

C-1 PHASE IA EROSION CONTROL PLAN
C-2 DA OF PHASE IA EROSION CONTROL PLAN
C-3 PHASE IB EROSION CONTROL PLAN
C-4 PHASE II EROSION CONTROL PLAN
C-5 EROSION CONTROL DETAILS
C-6 EROSION CONTROL DETAILS
C-7 STORM DRAINAGE PIPE CHART
C-8 DRAINAGE AREA PLAN
C-9 STORM DETAILS
C-9A STORM AND GUARDRAIL DETAILS
C-10 STORM DETAILS
C-11 OVERALL WATER AND SEWER PLAN
C-12 SANITARY SEWER PROFILES
C-13 UTILITY DETAILS
C-14 INTERSECTION SIGHT DISTANCE PLAN AND PROFILES
C-15 STEELE CREEK ROAD WIDENING AND IMPROVEMENTS PLAN AND PROFILE
C-16 STEELE CREEK ROAD CROSS SECTION (1+19 THRU 3+00)
C-17 STEELE CREEK ROAD CROSS SECTION (3+50 THRU 5+00)
C-18 STEELE CREEK ROAD CROSS SECTION (5+13 THRU 7+00)
C-19 STEELE CREEK ROAD CROSS SECTION (7+50 THRU 8+50)
C-20 STEELE CREEK ROAD CROSS SECTION (8+68 THRU 10+50)
C-21 STEELE CREEK ROAD CROSS SECTION (11+00 THRU 13+00)
C-22 STEELE CREEK ROAD CROSS SECTION (13+50 THRU 15+00)
C-23 STEELE CREEK ROAD STORM DRAINAGE IMPROVEMENTS AND AREA PLAN
C-24 STEELE CREEK ROAD TRAFFIC CONTROL PLAN
C-25 STEELE CREEK ROAD STRIPING PLAN AND DETAILS
C-26 PRE-DEVELOPED DRAINAGE AREA MAP
C-27 POST-DEVELOPED DRAINAGE AREA MAP

A-5.0 ARCHITECTURAL ELEVATIONS

CMUD
1. COVER SHEET
2. SANITARY SEWER PLAN AND PROFILE
3. WATER PLAN

Design Resource Group

1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0608 fax 704.358.3093
www.drgp.com

• Landscape Architecture

• Urban Design

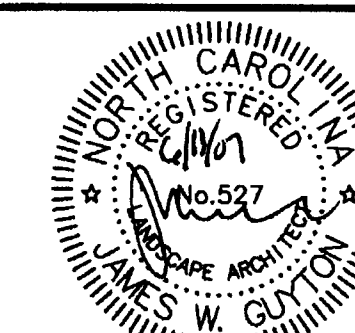
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• Land Planning

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COVER
SHEET

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Scale: NOT TO SCALE

Date: NOVEMBER 27, 2006

Project No.: 041-096

Revisions:

1. FEB. 5, 2007 PER REVIEW COMMENTS
2. MARCH 23, 2007 PER REVIEW COMMENTS
3. MAY 15, 2007 PER REVIEW COMMENTS
4. JUNE 13, 2007 PER NCDOT COMMENTS

Sheet L-1

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FIRE DATA		
CONSTRUCTION TYPE:		VB
BUILDING TO BE SPRINKLED WITH TYPE 13R		
BUILDING TYPE I		
ENTRANCE LEVEL	8,671	
MID LEVEL:	8,491	
UPPER LEVEL:	8,491	
TOTAL:		25,653 SQ. FT.
BUILDING TYPE II		
ENTRANCE LEVEL	9,163	
MID LEVEL:	8,973	
UPPER LEVEL:	8,973	
TOTAL:		27,109 SQ. FT.
BUILDING TYPE IV		
ENTRANCE LEVEL	5,994	
MID LEVEL:	5,891	
UPPER LEVEL:	5,891	
TOTAL:		17,776 SQ. FT.
LEASING OFFICE		4,516 SQ. FT.

SITE ACCESSIBILITY NOTES

1. All buildings within the boundary of this site, unless otherwise stated as exempt, shall have "accessible routes" as required that conform to the requirements of "The Americans With Disabilities Act", "Fair Housing Standards", and governing State Handicap Code Standards. These standards for accessibility include, but are not limited to:

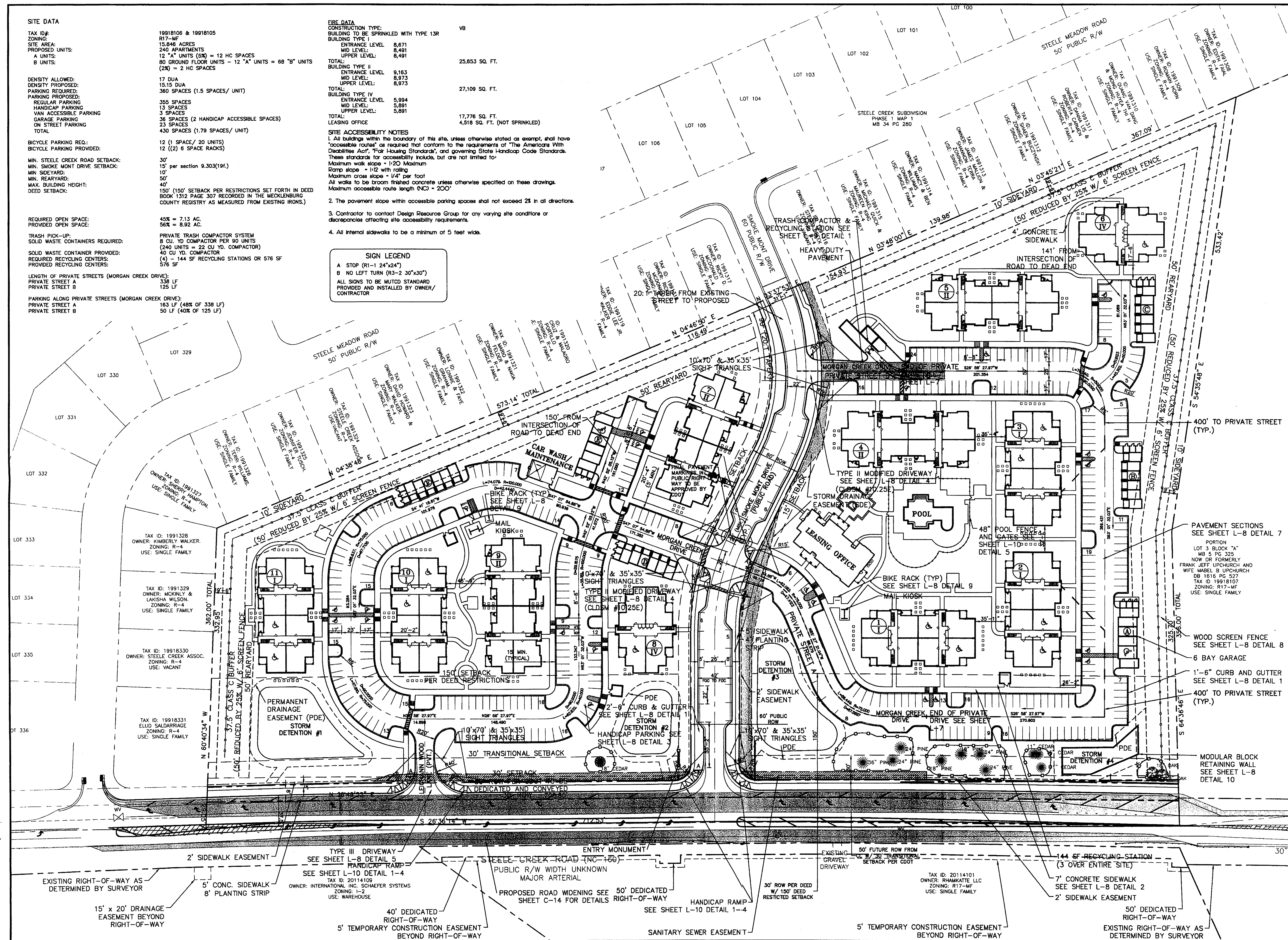
- Maximum walk slope = 1:20 Maximum
- Ramp slope = 1:12 with railing
- Maximum cross slope = 1/4" per foot
- All walks to be broom finished concrete unless otherwise specified on these drawings.
- Maximum accessible route length (NCI) = 200'

2. The pavement slope within accessible parking spaces shall not exceed 2% in all directions.

3. Contractor to contact Design Resource Group for any varying site conditions or discrepancies affecting site accessibility requirements.

4. All internal sidewalks to be a minimum of 5 feet wide.

A STOP (R1-1 24"x24")
B NO LEFT TURN (R3-2 30"x30")
ALL SIGNS TO BE MUTCD STANDARD
PROVIDED AND INSTALLED BY OWNER/
CONTRACTOR



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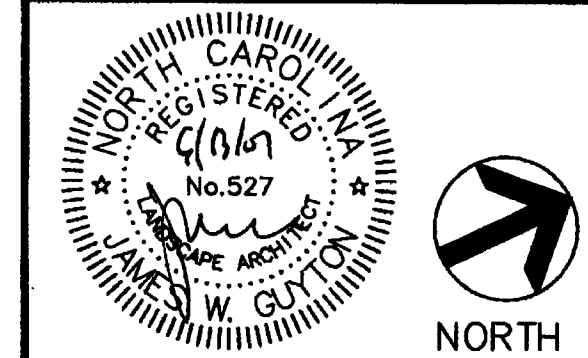
Civil Engineering

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SITE PLAN

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Scale: 1" = 50'

Date: NOV. 27, 2006

Project No.: 041-096

Revisions:

1. FEB. 5, 2007 PER REVIEW COMMENTS

2. MARCH 23, 2007 PER REVIEW COMME

3. JUNE 13, 2007 PER NCDOT COMMENT

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Sheet 1-3
