

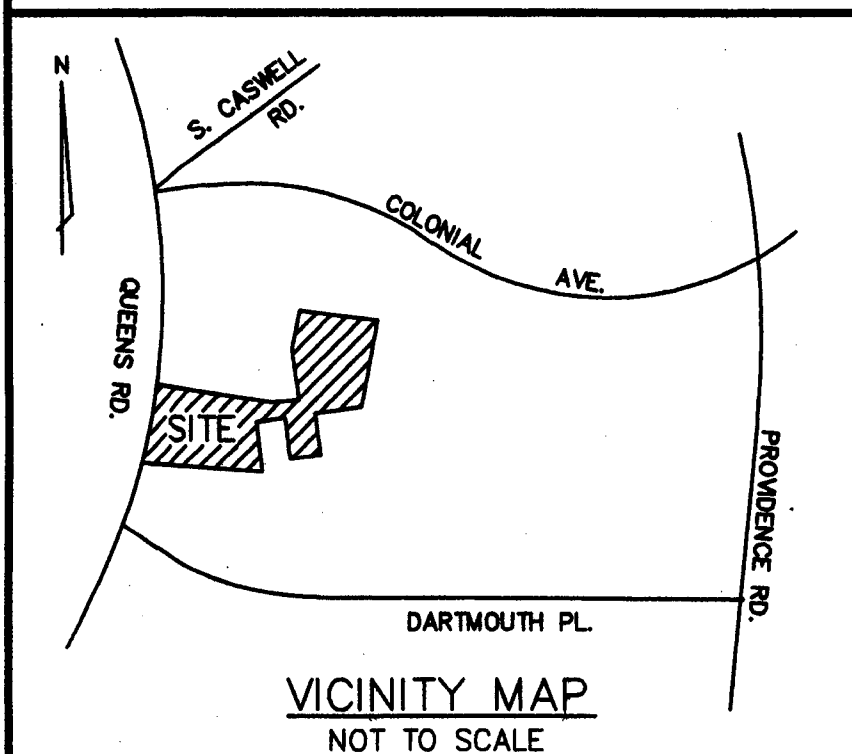
511 QUEENS ROAD CHARLOTTE, NORTH CAROLINA

FIVE-ELEVEN PARTNERS, LLC

P.O. BOX 11739
COLUMBIA, SC 29250



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CHARLOTTE, NORTH CAROLINA
FIVE-ELEVEN PARTNERS, LLC
P.O. BOX 11739
COLUMBIA, SC 29250



Technical Data Sheet - Development Conditions Rezoning Petition 02-144

A) Conditions Regarding Use

- The Site will be developed as a multi-family residential development.

B) Conditions Regarding Building Design

- Building development will not exceed an FAR of 2.0 per UR-3 requirements. The Petitioner reserves the right to provide less density in number of units, or less square footage, or both.
- The Building will not exceed six stories. The building will not exceed 75 feet in height from either the average grade surrounding the building to the top of the parapet wall if the building has a flat roof or the average grade surrounding the building to the height of any sloped roof as measured halfway between the eave and the peak of the roof.
- Any accessory use allowed by the Ordinance shall be permitted on the Site.
- The main building elevations will have at least 50% brick or masonry veneer and the carriage house building elevations will have at least 30% brick or masonry veneer.
- The material that is not masonry will be wood or cementitious siding. No Vinyl-siding will be used. Plastic or metal material may be used for incidental architectural details including windows, doors and trim details.
- The roofs of the building may be flat or sloped.
- Balcony openings along the south elevation of the 6 story structure shall be no wider than the openings of the same balconies facing east and west. The southern opening of the balconies shall have a transparent screening.

C) Conditions Regarding Screening, Walls and Dumpsters

- Screening shall conform to the standards and treatments specified in Chapter 12, part 3, of the Ordinance, except as stipulated in Notes #9, #10 and #11.
- Walls screening parking areas will be comprised of brick pilasters with panels made of wood, metal or other material that complement the building as described in note # 5 between pilasters. Walls screening parking area will be solid and block views to the parking area from public streets except at access points.
- Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
- A dumpster located on the Site for there are carriage units shall be screened from view by a solid enclosure with a gate. Additional trash collection shall occur in the enclosed parking deck to service the 6-story building.
- Roof top mechanical equipment shall be screened from public view at street level.

D) Conditions Regarding Parking

- Off street parking spaces will satisfy the minimum 60 spaces and a maximum of 120 spaces as established under the Ordinance. The petitioner reserves the right to change the parking count provided as long as it is within 10% of the number shown on the Parking Plan of the Technical Data Sheet.
- The petitioner shall provide bicycle parking in accordance with the provisions of the new ordinance when adopted.

E) Conditions Regarding Buffers, Landscaping, Lighting and Signage

- Trees shall be installed along Queens Road in accordance with the City of Charlotte Tree Ordinance.
- All freestanding lighting fixtures will be uniform in design and shall not exceed 20' in height, including base and fixtures, except as may be required in the public right of way.
- Wall pack lighting will not be allowed.
- Signage will be allowed in accordance with the Ordinance.
- Petitioner will work with a certified arborist to save trees in the setback along Queens Road. The petitioner agrees to implement all prescribed measures dictated by the certified arborist but does not warrant that the trees will live and does not agree to any additional mitigation if the trees do not live.

- Proposed planting shown is conceptual only and will be subject to change and review of actual site conditions and Urban Forestry staff approval. The Petitioner shall work with Urban Forestry staff to determine the number and type of trees they will require for the site during Landscape Plan Review.

- The Petitioner shall hire an arborist to develop a plan to save existing trees along Queens Road.

- The existing swimming pool shall be removed from the site.

F) Conditions Regarding City Services and Regulations

- Adequate fire protection will be provided in accordance with the Fire Marshal's specifications.
- Storm water runoff from the Site will be managed through proven techniques, which satisfy standards, if any, imposed by the City of Charlotte Engineering Department.
- Storm water detention shall not be located in any setback or buffer.
- All development within the Site will conform to the Charlotte Subdivision Regulations and the Charlotte City Code.
- The Petitioner shall dedicate, and convey any additional right of way as required along Queens Road prior to issuance of a building permit.

G) Conditions Regarding Setbacks, Sidewalks & Access

- The courtyard (urban open space) shall have direct access via sidewalks to the street.
- The building setback is 14 feet.
- The maximum building height proposed for the structure facing Queens Road, measured to the peak, shall be 65 feet and 6 stories. To support this height all side and rear yards must be increased 1 foot for each 10 feet over 40 feet in height. The maximum building height for the rear structure, measured to the peak, shall be 65 feet and 5 stories. To support this height all side and rear yards must be increased 1 foot for each 10 feet over 40 feet in height.

- Queens Road is designated as a major thoroughfare inside Route 4 requiring a minimum of 80 feet of right-of-way. The current right-of-way meets and exceeds this requirement, measuring 55 feet from the centerline of the roadway.

- Adequate site distance triangles shall be observed at the existing/proposed entrances to Queens Road All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance at the entrances.

- The proposed/modified driveway connections to Queens Road will require a driveway permit to be submitted to CDOT during the driveway permit process. The locations of the driveways shown on the site plan are subject to change in order to align with driveways on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.

- A Right-of-Way Encroachment Agreement is required for the installation of any nonstandard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained Street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard item(s).

- The petitioner shall maintain a 6' sidewalk with a minimum 8' planting strip along Queens Road. The sidewalk may meander and planting width may vary to save existing trees 8-inch in caliper and larger.

- Site triangles measuring 10' x 10' are required at each parking deck access adjacent to walkable areas for visibility of pedestrians.

- Driveways accessing Queens Road must be a 28' min. width for a two-way driveway and a 20' width for a one-way driveway. New/reconstructed driveways must be drop curb ramp Type II modified driveways (with radii). The radii shall be equal to the width of the planting setup.

- The cross-access easement with The Little Theatre of Charlotte can be found in Deed Book 4747, Pages 0573 -0580.

- On-site recycling shall be provided.

- The building may be sold as condominiums or townhomes but may also be rental apartments.

H) Conditions Regarding Ownership and Use

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY RB PHARR & ASSOCIATES, PA ON AUGUST 8, 2006.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- EXISTING STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NONSTANDARD ITEMS (E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (OUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

SITE DATA

TAX PARCEL:
SITE AREA:
EXISTING ZONING:
PROPOSED ZONING:
DENSITY:
MAX F.A.R.:

PROPOSED F.A.R.:

PARKING REQUIRED:
PARKING PROVIDED:

BICYCLE PARKING REQUIRED:
BICYCLE PARKING PROVIDED:

MAXIMUM WEST BLDG. HEIGHT:
MAXIMUM EAST BLDG. HEIGHT:

EXISTING IMPERVIOUS AREA:
PROPOSED IMPERVIOUS AREA:

FIRE INFORMATION
CONSTRUCTION
SQUARE FOOT PER FLOOR - WEST BUILDING

LOWER GARAGE
UPPER GARAGE
FIRST
SECOND
THIRD
FOURTH
TOTAL

SQUARE FOOT PER FLOOR - EAST BUILDING

GARAGE
FIRST
SECOND
THIRD
FOURTH
TOTAL

MIN. SETBACK:
MIN. SIDEYARD:
MIN. REAR YARD:

REQUIRED TRASH:
PROVIDED TRASH:

RECYCLING REQUIRED:
RECYCLING PROVIDED:

CONSULTANTS:
DEVELOPER:

ARCHITECT:

LANDSCAPE ARCH.:

CIVIL ENGINEER:

SURVEYOR:

ESTATES, INC.
PO BOX 11739
COLUMBIA, SC 29250
PHONE

VA/H ARCHITECTS, PA
SUITE 212
CHARLOTTE, NC 28207
704-377-9799

DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704-343-0608

DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704-343-0608

RB PHARR & ASSOCIATES, PA
420 HAWTHORNE LANE
CHARLOTTE, NC 28204
704-376-2186

ID NUMBERS: 155-021-04
62,116 SF OR 1.426 ACRES
UR-3(CD) 2002-144
56 CONDOMINIUMS
39.3 DUA
3.0 (2.0 F.A.R. INCREASED 50% PER
CONSTRUCTION OF PARKING DECK)
126,860/82,116 = 2.07
(NUMBER INCLUDES AREA OF PARKING DECK)
56 MIN: 108 MAX
84 REGULAR SPACES
2 COMPACT SPACES
2 VAN HANDICAP SPACES
88 TOTAL

3
4 (2 PER BUILDING)

65': 6 STORIES (SEE ARCHITECTURALS)
65': 5 STORIES (SEE ARCHITECTURALS)

43,844.81 SQ. FT.
44,104.88 SQ. FT. DETENTION WILL NOT BE REQUIRED

TYPE: NFPA 13 SPRINKLER

14,441 SQ. FT. PARKING SPACES
13,487 SQ. FT. PARKING SPACES
13,280 SQ. FT. UNITS
13,280 SQ. FT. UNITS
13,280 SQ. FT. UNITS
13,280 SQ. FT. UNITS
81,046 SQ. FT. UNITS

15,159 SQ. FT. PARKING SPACES
11,185 SQ. FT. UNITS
11,853 SQ. FT. UNITS
11,953 SQ. FT. UNITS
11,953 SQ. FT. UNITS
62,971 SQ. FT. UNITS

14' FROM BACK OF CURB, OR R/W, WHICHEVER IS GREATER
5' PLUS 2.5' PER MAX BLDG HEIGHT = 7.5'
20' PLUS 2.5' PER MAX BLDG HEIGHT = 22.5'

(2) 8 CU YD DUMPSTER
WEST BUILDING: (8) 2 C.Y. MINI-DUMPSTERS
EAST BUILDING: (2) 2 C.Y. MINI-DUMPSTERS
TOTAL: (8) 2 C.Y. MINI-DUMPSTERS PROVIDED, COLLECTED BY PRIVATE COMPANY.
(1) 144 SF STATION
(1) 72 SF STATION IN EACH GARAGE (144 SF TOTAL)

SCHEDULE OF DRAWINGS:

- L-1 COVER SHEET
- L-2 EXISTING CONDITIONS
- L-3 SITE PLAN
- L-4 GRADING PLAN
- L-5 REQUIRED PLANTING PLAN
- L-6 SITE DETAILS
- L-7 SITE DETAILS
- C-1 PHASE I EROSION CONTROL PLAN
- C-2 PHASE II EROSION CONTROL & STORM DRAINAGE PLAN
- C-3 STORM CHARTS, EROSION CONTROL & STORM DRAINAGE NOTES
- C-4 STORM DRAINAGE AREA PLAN
- C-5 EROSION CONTROL DETAILS
- C-6 STORM DRAINAGE DETAILS
- C-7 STORM DRAINAGE DETAILS
- C-8 WATER AND SANITARY SEWER PLAN
- C-9 WATER DETAILS
- C-10 SANITARY SEWER DETAILS
- C-11 EXISTING CROSS SECTIONS
- C-12 EXISTING CROSS SECTIONS
- C-13 PROPOSED 100+1 FLOOD STUDY CROSS SECTIONS
- C-14 PROPOSED 100+1 FLOOD STUDY CROSS SECTIONS

- A0.2.1 WEST BUILDING HEIGHT STUDY
- A0.2.2 WEST BUILDING HEIGHT STUDY
- A0.3.1 EAST BUILDING HEIGHT STUDY
- A0.3.2 EAST BUILDING HEIGHT STUDY
- A1.1 WEST BUILDING LOWER LEVEL GARAGE PLAN
- A1.2 WEST BUILDING UPPER LEVEL GARAGE PLAN
- A1.7 EAST BUILDING GARAGE PLAN
- A2.1 WEST BUILDING NORTH ELEVATION
- A2.2 WEST BUILDING SOUTH ELEVATION
- A2.3 EAST BUILDING SOUTH ELEVATION
- A2.4 EAST BUILDING NORTH AND EAST ELEVATION

Design Resource Group

1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0606 fax 704.358.3068
www.drgp.com

• Landscape Architecture

• Urban Design

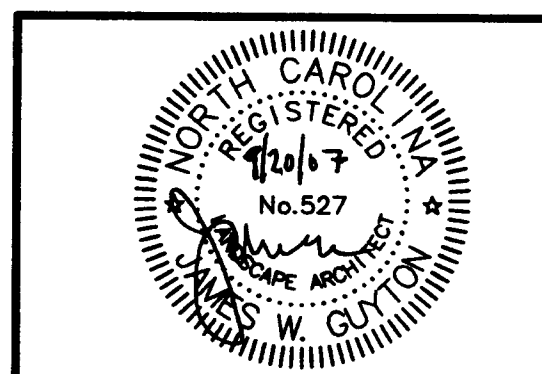
• Civil Engineering

• Land Planning

DRG

COVER
SHEET

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Scale: NOT TO SCALE

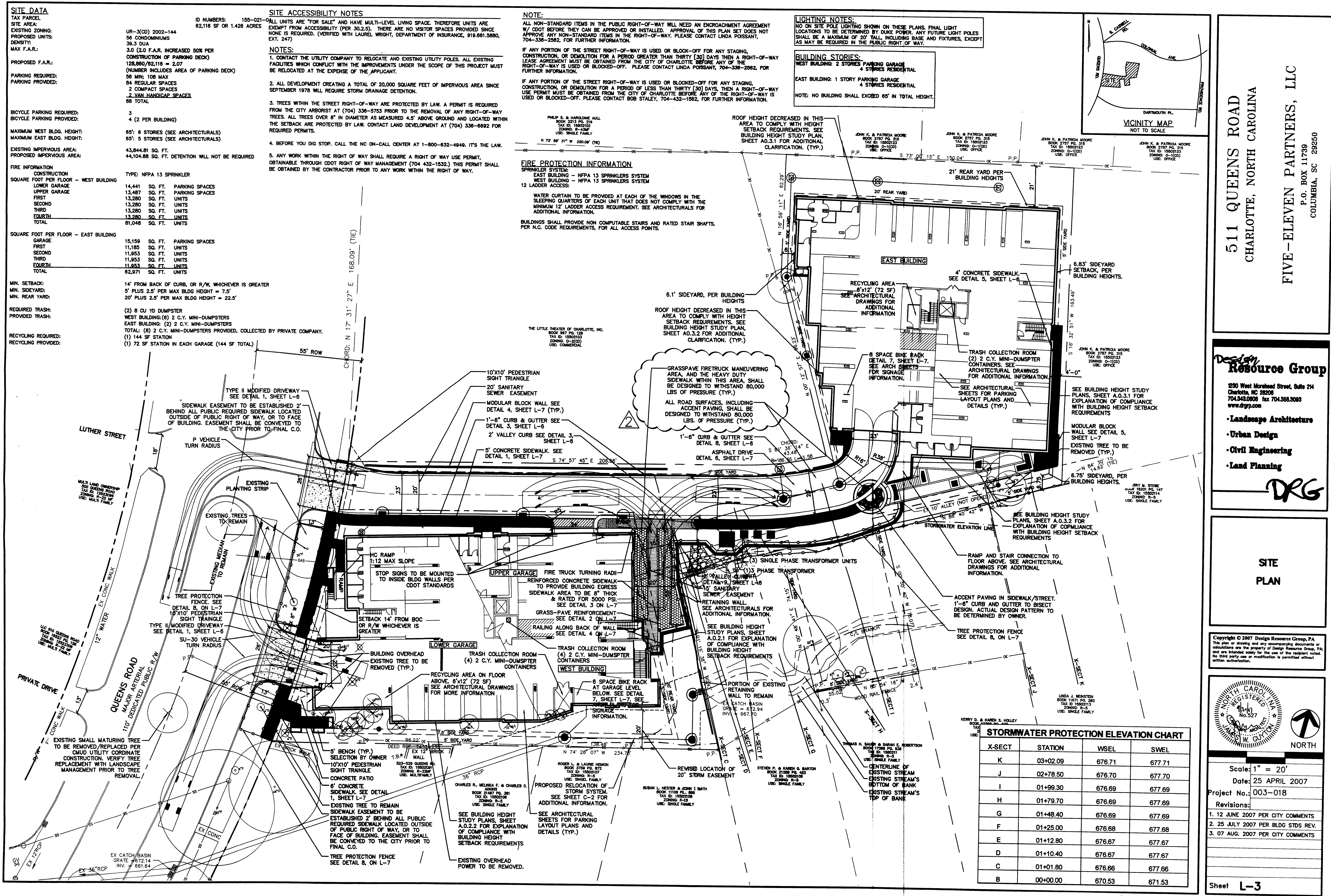
Date: 08 JAN. 2007

Project No.: 003-018

Revisions:

1. 12 JUNE 2007 PER CITY COMMENTS
2. 8 AUGUST 2007 PER CITY COMMENTS

Sheet L-1



SITE DATA
TAX PARCEL: 155-021-041
SITE AREA: 62,116 SF OR 1.426 ACRES
EXISTING ZONING: UR-3(CD) 2002-144
PROPOSED UNITS: 56 CONDOMINIUMS
DENSITY: 39.3 DUA
MAX F.A.R.: 3.0 (2.0 F.A.R. INCREASED 50% PER CONSTRUCTION OF PARKING DECK)
PROPOSED F.A.R.: 128,860/62,116 = 2.07
(NUMBER INCLUDES AREA OF PARKING DECK)
PARKING REQUIRED: 56 MIN; 108 MAX
PARKING PROVIDED: 84 REGULAR SPACES
2 COMPACT SPACES
2 VAN HANDICAP SPACES
88 TOTAL
BICYCLE PARKING REQUIRED: 3
BICYCLE PARKING PROVIDED: 4 (2 PER BUILDING)
MAXIMUM WEST BLDG. HEIGHT: 65' 6 STORIES (SEE ARCHITECTURALS)
MAXIMUM EAST BLDG. HEIGHT: 65' 5 STORIES (SEE ARCHITECTURALS)
EXISTING IMPERVIOUS AREA: 43,844.81 SQ. FT.
PROPOSED IMPERVIOUS AREA: 44,104.88 SQ. FT. DETENTION WILL NOT BE REQUIRED
FIRE INFORMATION
CONSTRUCTION TYPE: NFPA 13 SPRINKLER
SQUARE FOOT PER FLOOR - WEST BUILDING
LOWER GARAGE: 14,441 SQ. FT. PARKING SPACES
UPPER GARAGE: 13,487 SQ. FT. PARKING SPACES
FIRST: 13,280 SQ. FT. UNITS
SECOND: 13,280 SQ. FT. UNITS
THIRD: 13,280 SQ. FT. UNITS
FOURTH: 13,280 SQ. FT. UNITS
TOTAL: 81,048 SQ. FT. UNITS
SQUARE FOOT PER FLOOR - EAST BUILDING
GARAGE: 15,159 SQ. FT. PARKING SPACES
FIRST: 11,185 SQ. FT. UNITS
SECOND: 11,953 SQ. FT. UNITS
THIRD: 11,953 SQ. FT. UNITS
FOURTH: 11,953 SQ. FT. UNITS
TOTAL: 62,971 SQ. FT. UNITS
MIN. SETBACK: 14' FROM BACK OF CURB, OR R/W, WHICHEVER IS GREATER
MIN. SIDEYARD: 5' PLUS 2.5' PER MAX BLDG HEIGHT = 7.5'
MIN. REAR YARD: 20' PLUS 2.5' PER MAX BLDG HEIGHT = 22.5'
REQUIRED TRASH: (2) 8 CU YD DUMPSTER
PROVIDED TRASH: WEST BUILDING: (6) 2 C.Y. MINI-DUMPSTERS
EAST BUILDING: (2) 2 C.Y. MINI-DUMPSTERS
TOTAL: (8) 2 C.Y. MINI-DUMPSTERS PROVIDED, COLLECTED BY PRIVATE COMPANY.
RECYCLING REQUIRED: (1) 144 SF STATION
RECYCLING PROVIDED: (1) 72 SF STATION IN EACH GARAGE (144 SF TOTAL)

SITE ACCESSIBILITY NOTES
ALL UNITS ARE "FOR SALE" AND HAVE MULTI-LEVEL LIVING SPACE. THEREFORE UNITS ARE EXEMPT FROM ACCESSIBILITY (PER 30.2.5). THERE ARE NO VISITOR SPACES PROVIDED SINCE NONE IS REQUIRED. (VERIFIED WITH LAUREL WRIGHT, DEPARTMENT OF INSURANCE, 919.681.5880, EXT. 247)
NOTES:
1. CONTACT THE UTILITY COMPANY TO RELOCATE AND EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
3. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
4. BEFORE YOU DIG STOP. CALL THE NC ON-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
5. ANY WORK WITHIN THE RIGHT OF WAY SHALL REQUIRE A RIGHT OF WAY USE PERMIT, OBTAINABLE THROUGH CDOT RIGHT OF WAY MANAGEMENT (704 432-1532.) THIS PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY WORK WITHIN THE RIGHT OF WAY.

NOTE:
ALL NON-STANDARD ITEMS IN THE PUBLIC RIGHT-OF-WAY WILL NEED AN ENCROACHMENT AGREEMENT W/ CDOT BEFORE THEY CAN BE APPROVED OR INSTALLED. APPROVAL OF THIS PLAN SET DOES NOT APPROVE ANY NON-STANDARD ITEMS IN THE RIGHT-OF-WAY. PLEASE CONTACT LINDA POSSANT, 704-336-2582, FOR FURTHER INFORMATION.
IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD GREATER THAN THIRTY (30) DAYS THEN A RIGHT-OF-WAY LEASE AGREEMENT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT LINDA POSSANT, 704-336-2582, FOR FURTHER INFORMATION.
IF ANY PORTION OF THE STREET RIGHT-OF-WAY IS USED OR BLOCKED-OFF FOR ANY STAGING, CONSTRUCTION, OR DEMOLITION FOR A PERIOD OF LESS THAN THIRTY (30) DAYS, THEN A RIGHT-OF-WAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF CHARLOTTE BEFORE ANY OF THE RIGHT-OF-WAY IS USED OR BLOCKED-OFF. PLEASE CONTACT BOB STALEY, 704-432-1562, FOR FURTHER INFORMATION.

FIRE PROTECTION INFORMATION
SPRINKLER SYSTEM:
EAST BUILDING - NFPA 13 SPRINKLERS SYSTEM
WEST BUILDING - NFPA 13 SPRINKLERS SYSTEM
12 LADDER ACCESS:
WATER CURTAIN TO BE PROVIDED AT EACH OF THE WINDOWS IN THE SLEEPING QUARTERS OF EACH UNIT THAT DOES NOT COMPLY WITH THE MINIMUM 12' LADDER ACCESS REQUIREMENT. SEE ARCHITECTURALS FOR ADDITIONAL INFORMATION.
BUILDINGS SHALL PROVIDE NON COMPUTABLE STAIRS AND RATED STAIR SHAFTS, PER N.C. CODE REQUIREMENTS, FOR ALL ACCESS POINTS.

LIGHTING NOTES:
NO ON SITE POLE LIGHTING SHOWN ON THESE PLANS. FINAL LIGHT LOCATIONS TO BE DETERMINED BY DUKE POWER. ANY FUTURE LIGHT POLES SHALL BE A MAXIMUM OF 20' TALL, INCLUDING BASE AND FIXTURES, EXCEPT AS MAY BE REQUIRED IN THE PUBLIC RIGHT OF WAY.
BUILDING STORIES:
WEST BUILDING: 2 STORIES PARKING GARAGE
4 STORIES RESIDENTIAL
EAST BUILDING: 1 STORY PARKING GARAGE
4 STORIES RESIDENTIAL
NOTE: NO BUILDING SHALL EXCEED 65' IN TOTAL HEIGHT.

VICINITY MAP
NOT TO SCALE
511 QUEENS ROAD
CHARLOTTE, NORTH CAROLINA
FIVE-ELEVEN PARTNERS, LLC
P.O. BOX 11739
COLUMBIA, SC 29250

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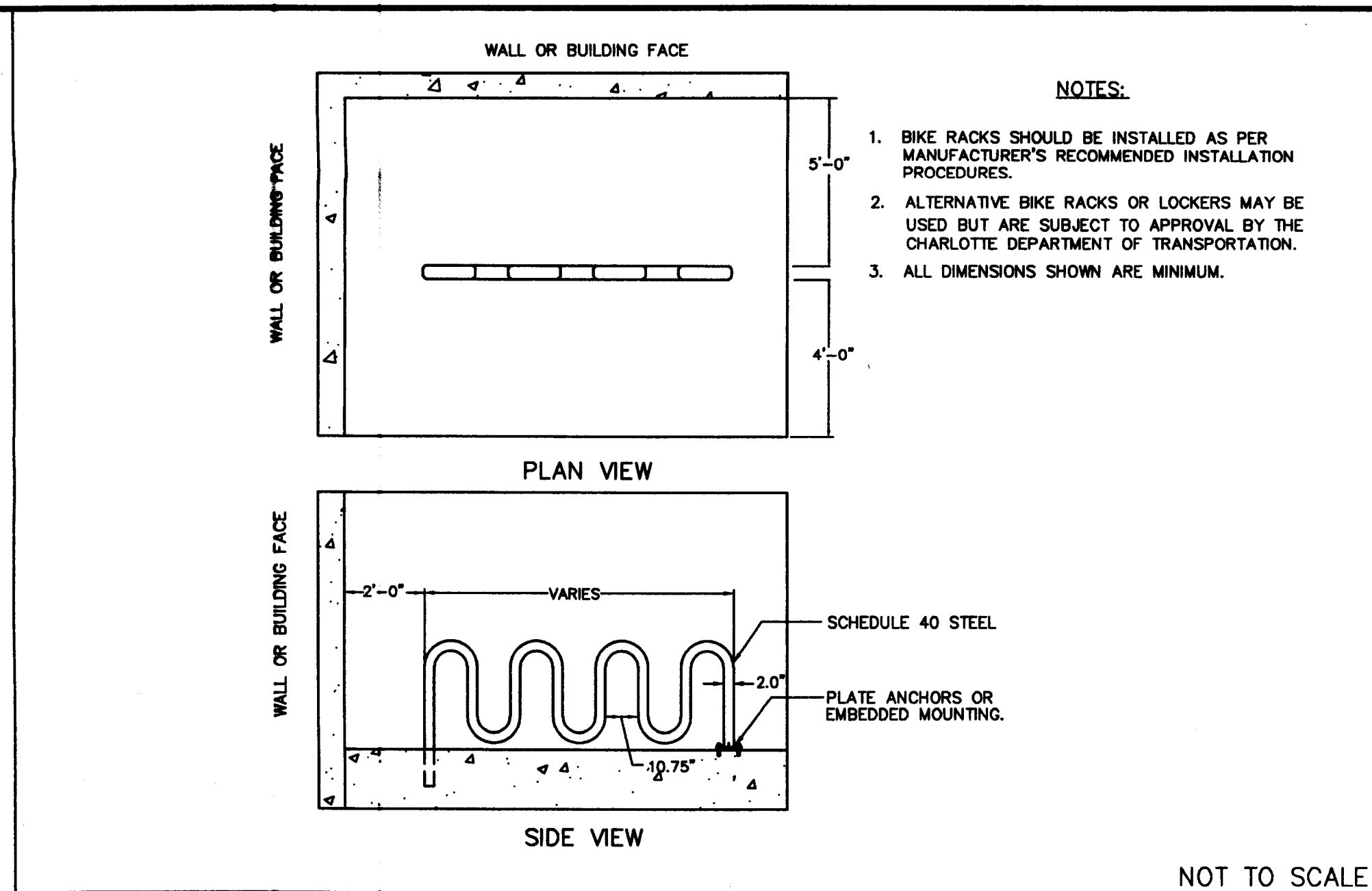
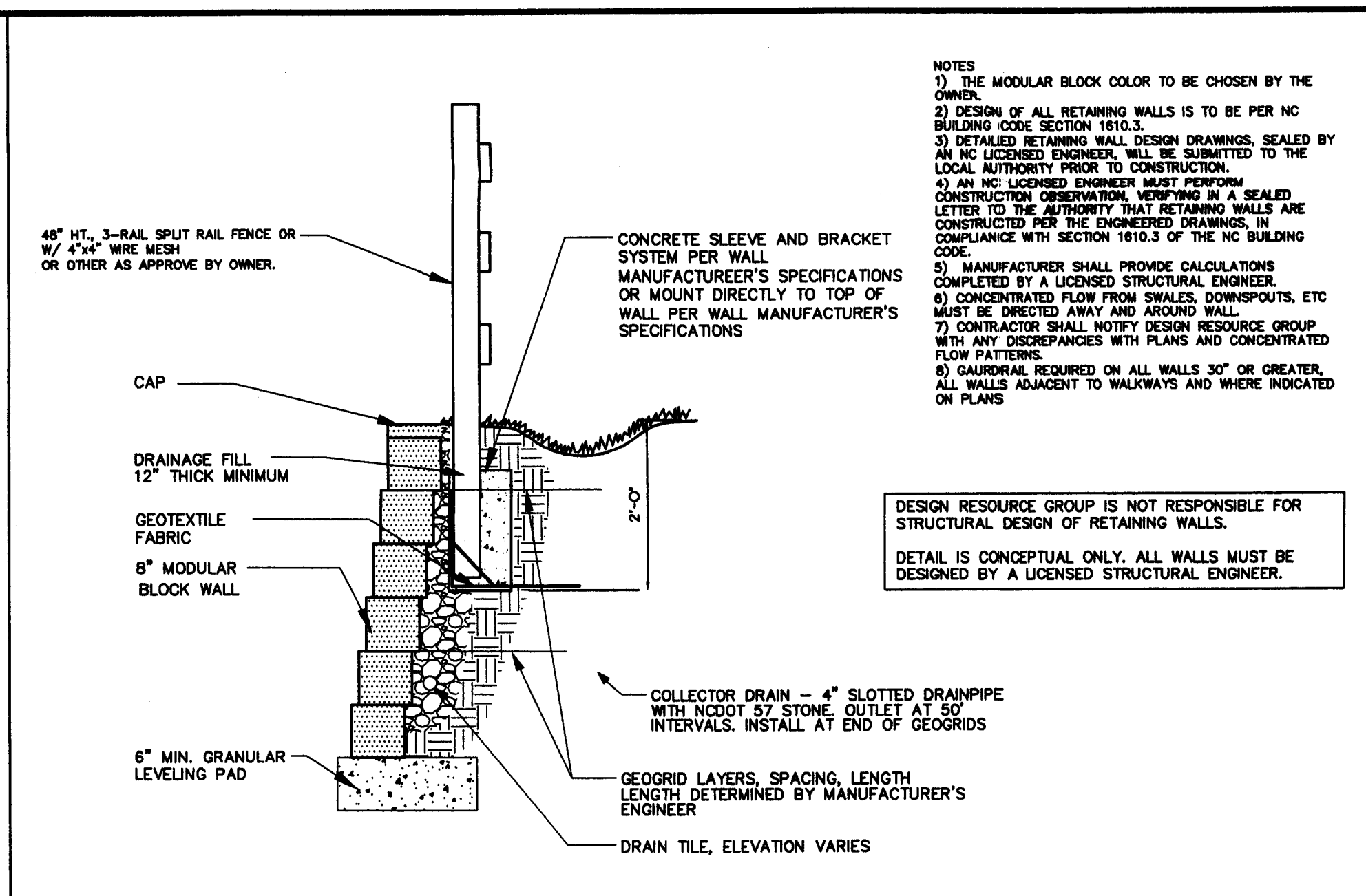
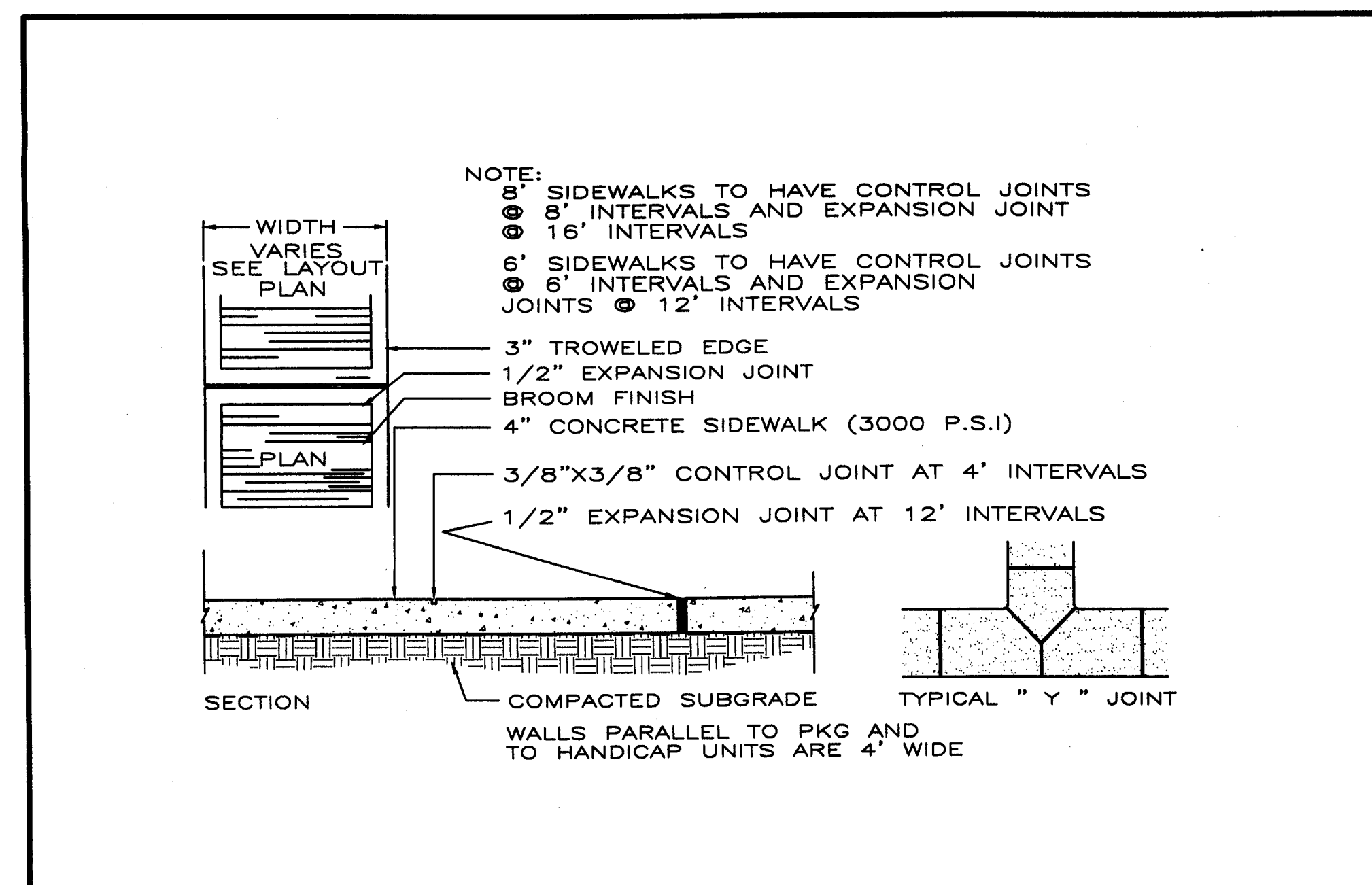
SITE PLAN

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STORMWATER PROTECTION ELEVATION CHART

X-SECT	STATION	WSEL	SWEL
K	03+02.09	676.71	677.71
J	02+78.50	676.70	677.70
I	01+99.30	676.69	677.69
H	01+79.70	676.69	677.69
G	01+48.40	676.69	677.69
F	01+25.00	676.68	677.68
E	01+12.80	676.67	677.67
D	01+10.40	676.67	677.67
C	01+01.80	676.66	677.66
B	00+00.00	670.53	671.53

Scale: 1" = 20'
Date: 25 APRIL 2007
Project No.: 003-018
Revisions:
1. 12 JUNE 2007 PER CITY COMMENTS
2. 25 JULY 2007 PER BLDG STDS REV.
3. 07 AUG. 2007 PER CITY COMMENTS
Sheet **L-3**



1
L-7

CONCRETE WALK

4
L-7

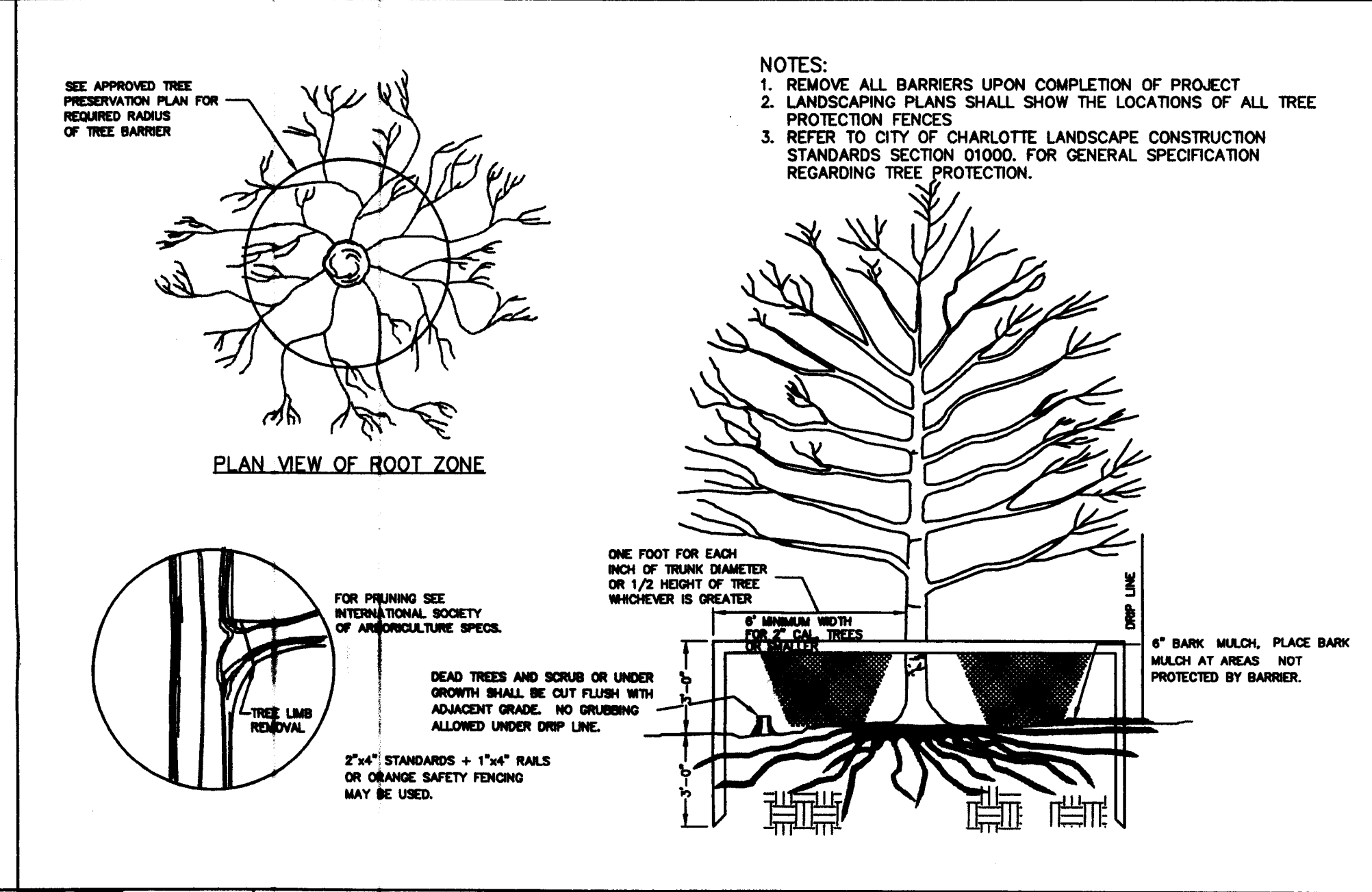
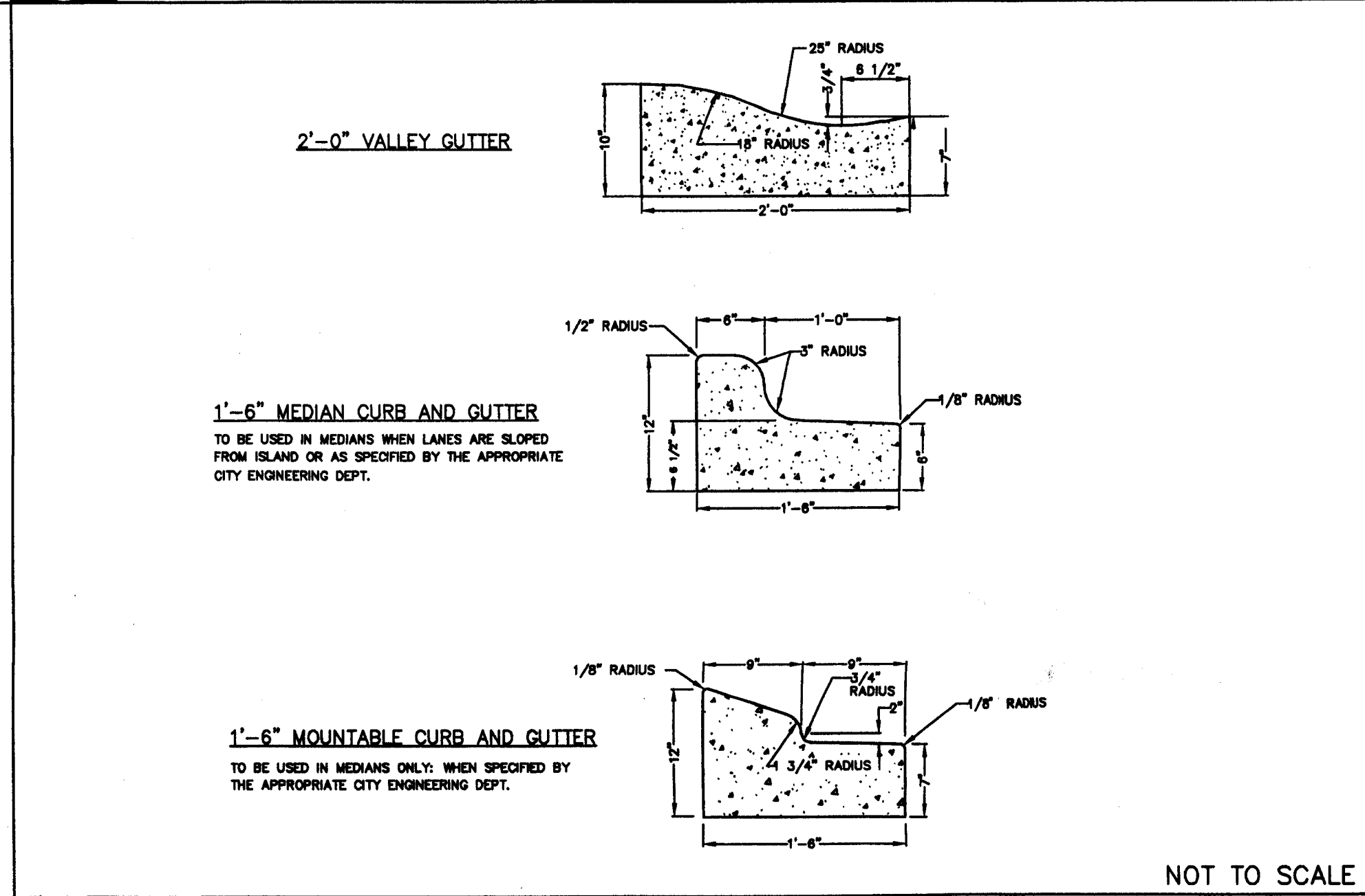
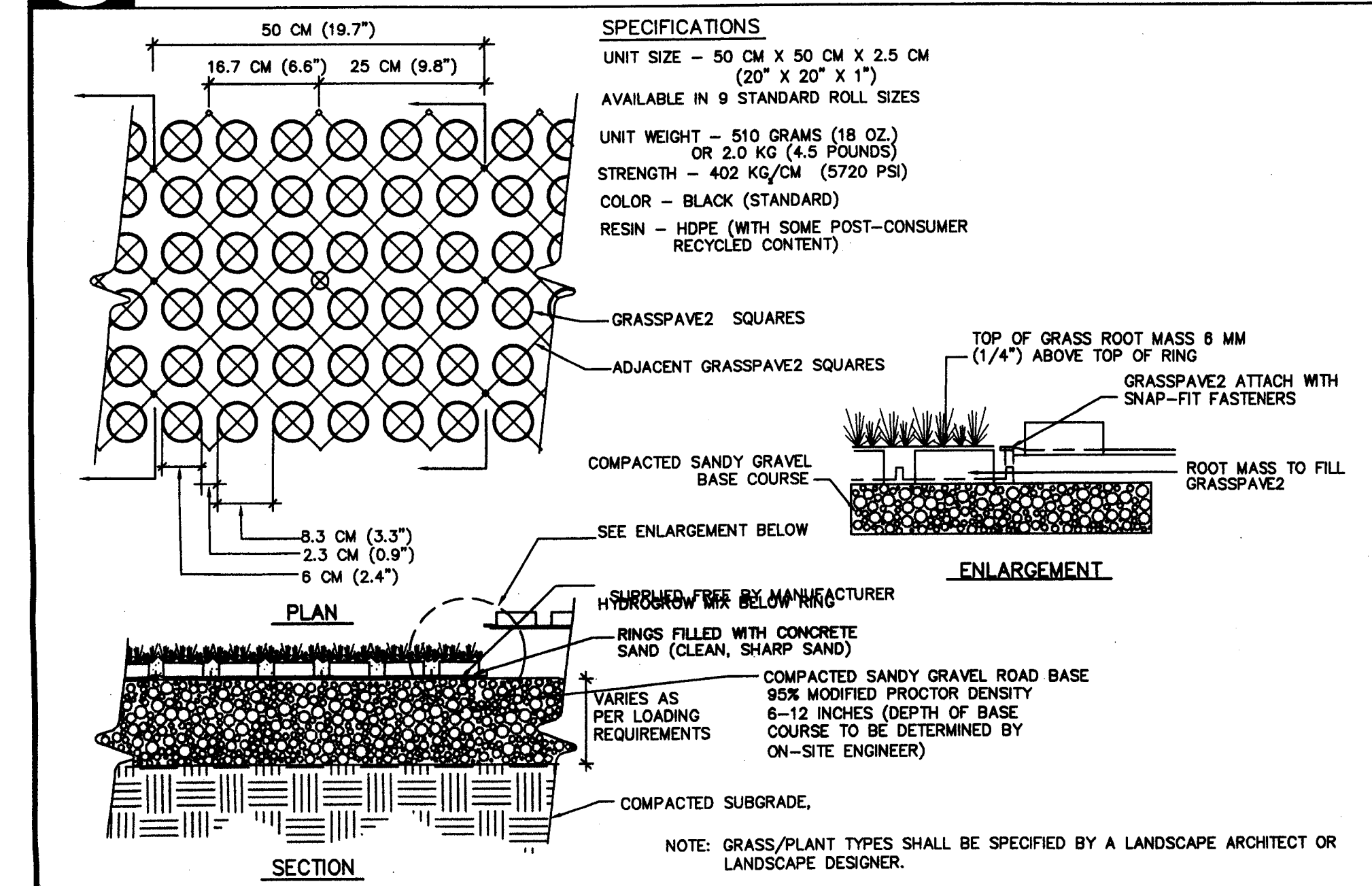
MODULAR BLOCK RETAINING WALL

7
L-7

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS

WAVE RACK FOR
BICYCLE PARKING

STD. NO. REV.
50.21



2
L-7

GRASS PAVER DETAIL

5
L-7

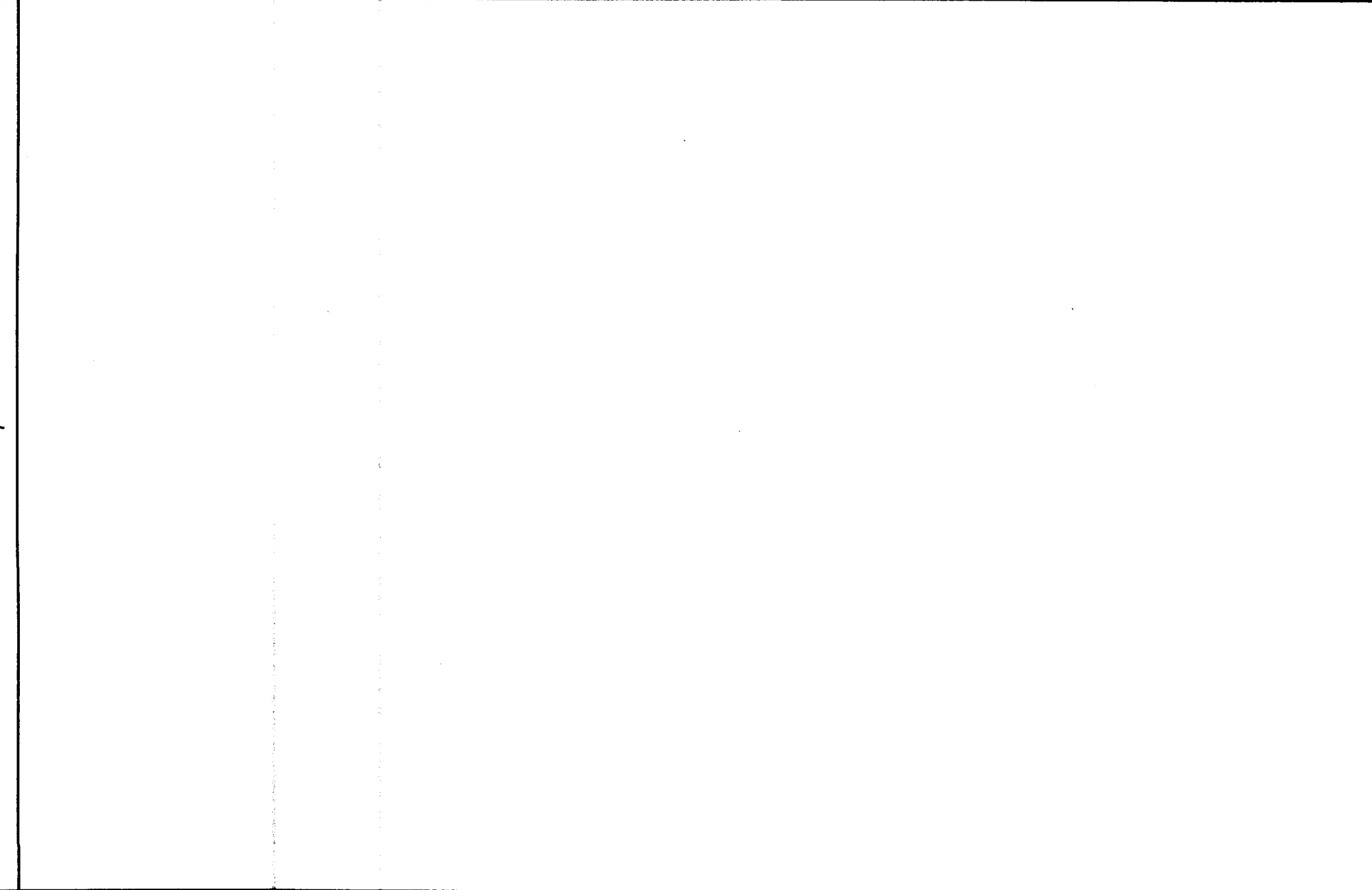
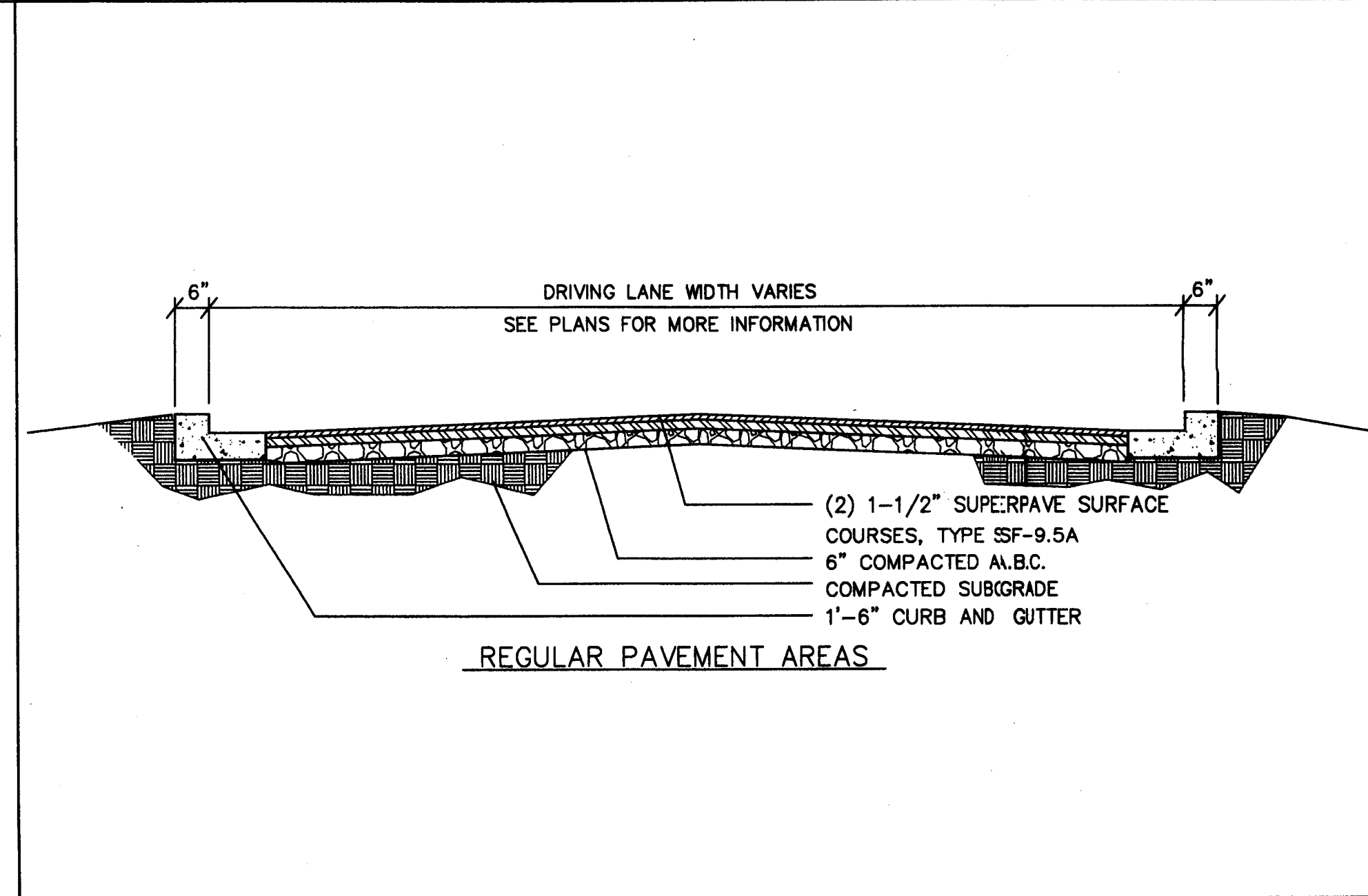
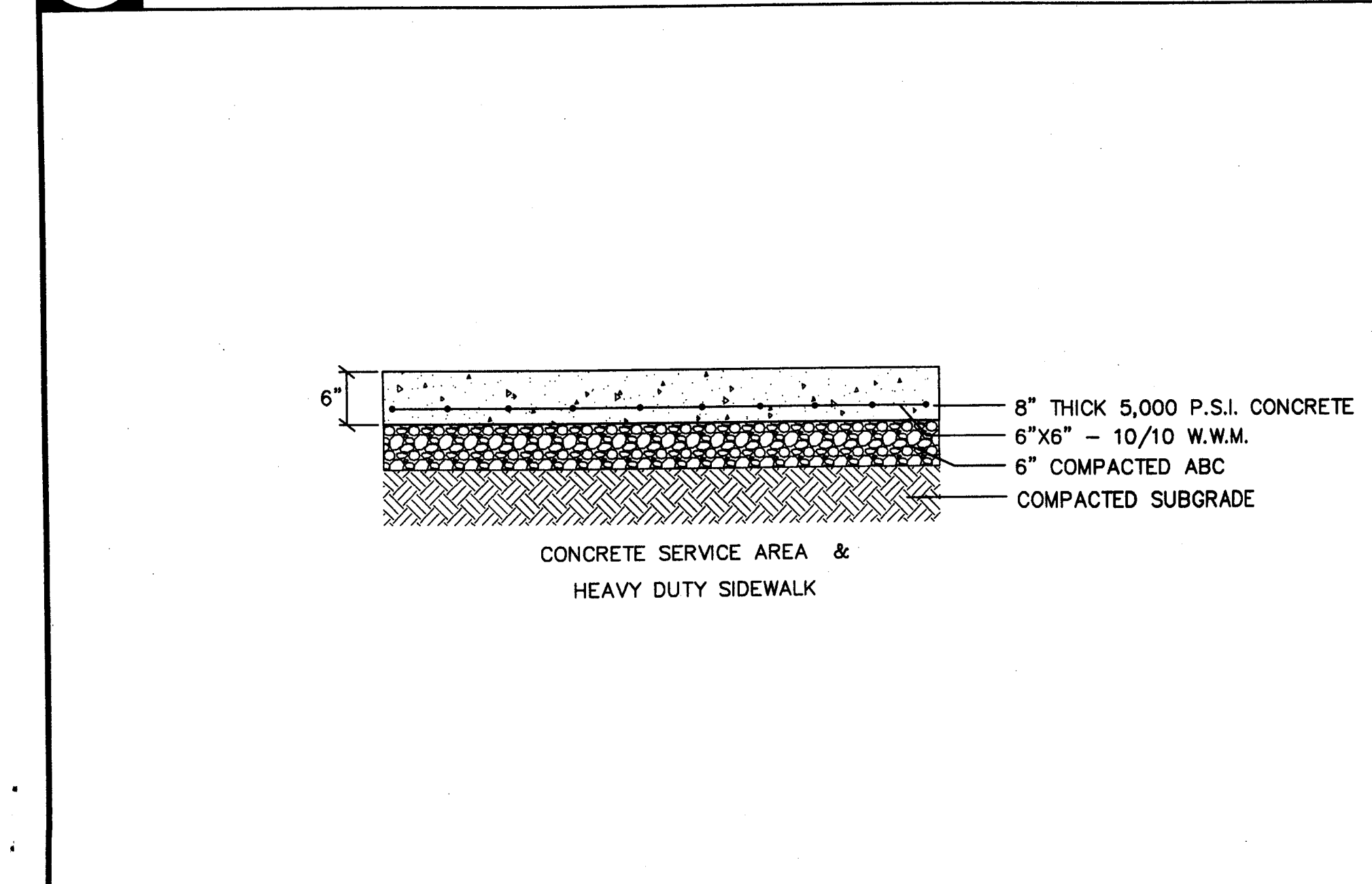
CURB AND GUTTER

8
L-7

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS

TREE PROTECTION DETAIL

STD. NO. REV.
40.02



3
L-7

HEAVY DUTY SIDEWALK

6
L-7

ASPHALT DRIVEWAY/ PARKING

9
L-7

511 QUEENS ROAD
CHARLOTTE, NORTH CAROLINA

FIVE-ELEVEN PARTNERS, LLC
P.O. BOX 11739
COLUMBIA, SC 29250

Design Resource Group

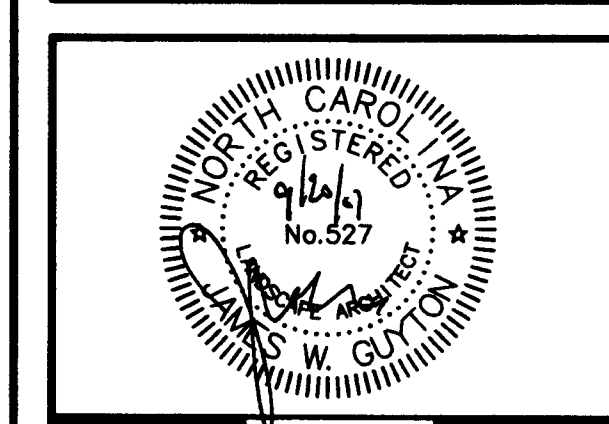
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SITE DETAILS

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Scale: NOT TO SCALE
Date: 08 JAN. 2007
Project No.: 003-018
Revisions:
1. 12 JUNE 2007 PER CITY COMMENTS
2. 8 JUNE 2007 PER CITY COMMENTS

Sheet **L-7**