

SKETCH PLANS  
FOR  
THE ROSE GARDEN & ALI'S  
COFFEE SHOP  
REZONING PETITION # 2019-146



VICINITY MAP

BUILDING 1 SITE PLAN DATA TABLE	
PARCEL ID:	08107308
EXISTING ZONING: R-8	PROPOSED ZONING: UR-1 (CD)
BUILDING USE:	DUPLEX
CONTACT: ALB ARCHITECTURE	(ANGIE LAUER) 704-503-9595
BUILDING TYPE:	V-B RESIDENTIAL
ITEM	PROVIDED
LOT AREA	0.091 ACRES (3,990 SQ. FT.)
FRONT BUILD TO LINE	14'-0"
MIN. SIDE SETBACK	5'-0"
MIN. REAR SETBACK	10'-0"
MAX. AVG. HEIGHT @ FRONT BUILDING LINE - TABLE 904.6 (1)(A)	48'-0"
MAX. AVG. HEIGHT @ SIDE YARD LINE - TABLE 904.6 (1)(A)	40'-0"
FEMA MAP NUMBER	3710455400K
FEMA EFFECTIVE DATE	02/19/2014
WATERSHED	UPPER LITTLE SUGAR
SOIL TYPE	CuB

BUILDING 2 SITE PLAN DATA TABLE	
PARCEL ID:	08107308
EXISTING ZONING: R-8	PROPOSED ZONING: UR-C (CD)
BUILDING USE:	COFFEE SHOP
CONTACT: ALB ARCHITECTURE	(ANGIE LAUER) 704-503-9595
BUILDING TYPE:	V-B
ITEM	PROVIDED
LOT AREA	0.078 ACRES (3,412 SQ. FT.)
FRONT BUILD TO LINE	14'-0"
MIN. SIDE SETBACK	5'-0"
MIN. REAR SETBACK	20'-0"
MAX. BUILDING HEIGHT	60'-0"
FEMA MAP NUMBER	3710455400K
FEMA EFFECTIVE DATE	02/19/2014
WATERSHED	UPPER LITTLE SUGAR
SOIL TYPE	CuB
PROPOSED / REQUIRED SITE DATA	
PROPOSED USE:	BUSINESS
EXISTING SF: 419 SF	PROPOSED SF: 419 SF (UNHEATED)
PROP. IMPERVIOUS COVERAGE:	N/A
REQUIRED PARKING:	1 SPACE PER 400 SF
URBAN OPEN SPACE:	N/A
NATURAL OPEN SPACE:	N/A

REVISIONS / SUBMITTALS		
#	DATE	REASON
1	20 SEPT 2019	INITIAL REZONING PLAN SUBMITTAL

INDEX OF DRAWINGS	
A-0	COVER SHEET
A-0.1	N/A
A-1.0	EXISTING SITE PLAN
A-1.1	PROPOSED SITE PLAN
A-3.0	FRONT ELEVATION
A-3.3	LEFT ELEVATION

EXISTING ZONING INFORMATION

PARCEL ID #	08107308
JURISDICTION	CHARLOTTE
ZONED	R-8

BUILDING LIMITS	
FRONT SETBACK	14'-0"
SIDE YARD	5'-0"
REAR YARD	20'-0"

NOTE:  
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Designed Exclusively For:  
**THE ROSE GARDEN**  
1521 N Davidson Street, Charlotte, NC 28205

REZONING PETITION # 2019-146

PROJECT #: 19011  
ISSUED: 20 SEPT 2019  
REVISIONS:

COVER SHEET

A-0

OF: THREE





Designed Exclusively For:

**THE ROSE GARDEN**

1521 N Davidson Street, Charlotte, NC 28205

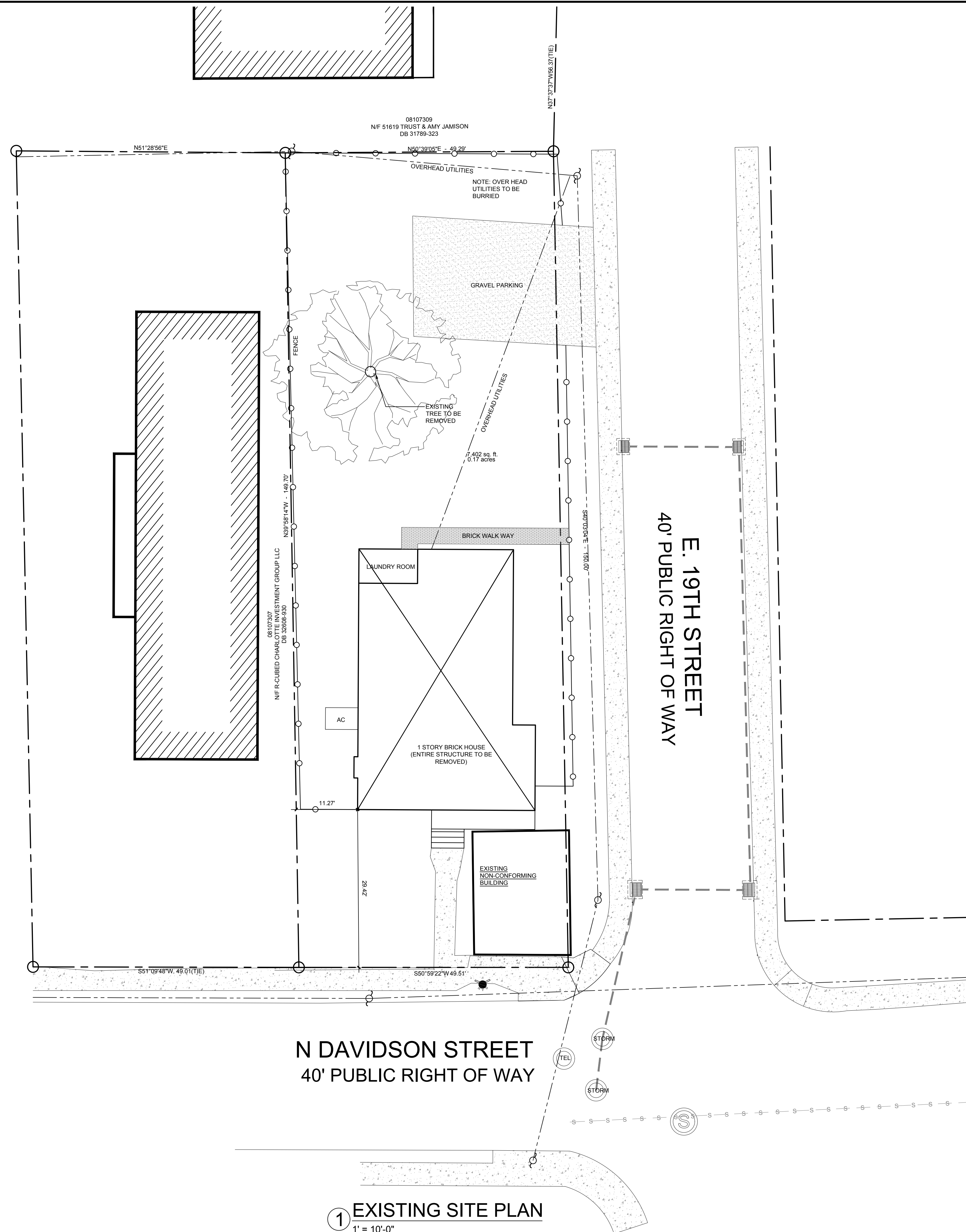
ZONING PETITION # 2019-146

PROJECT #:	19011
SUBMITTED:	20 SEPT 2019
REVISIONS:	

## EXISTING CONDITIONS

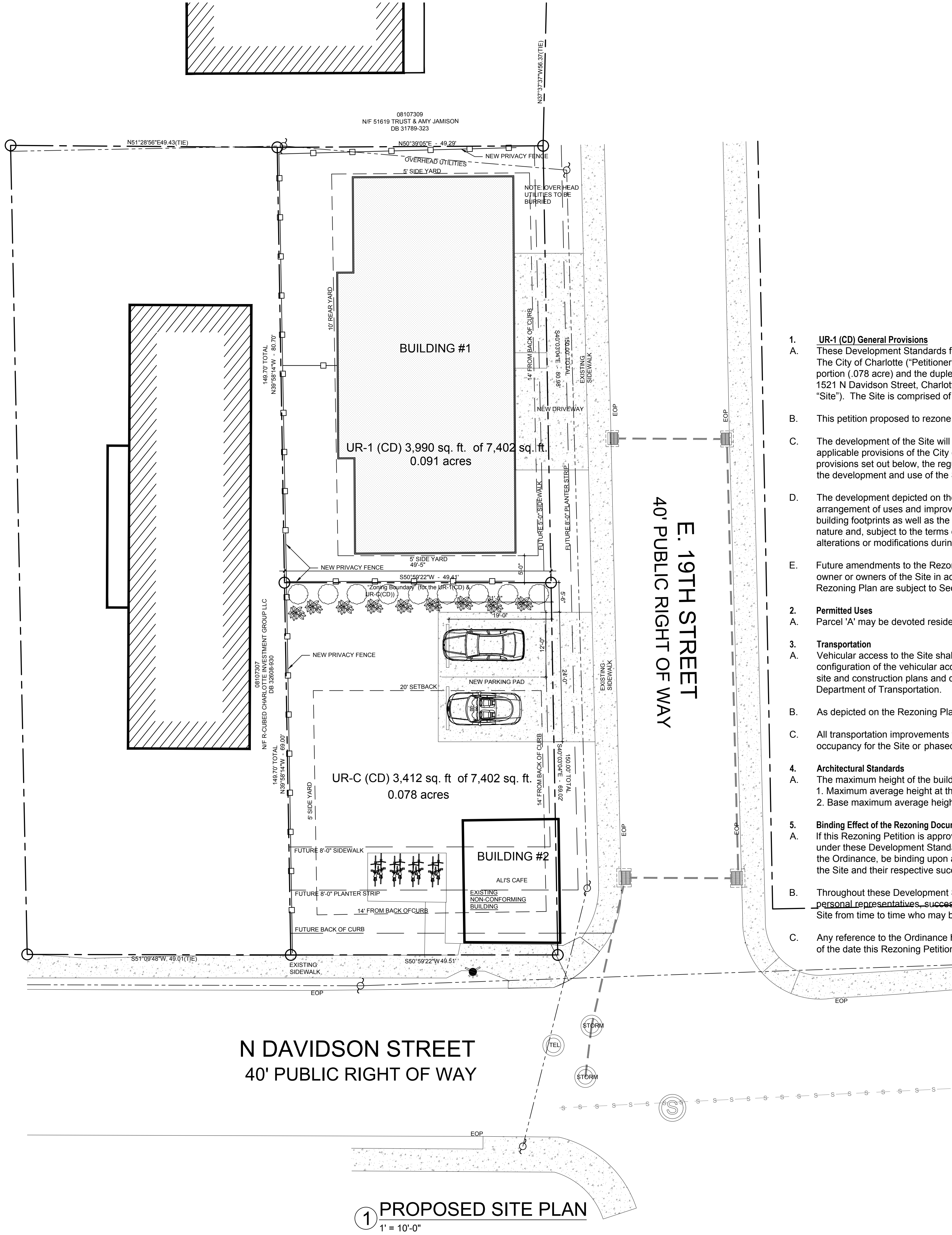
A-1.0

OF: THREE





1. **UR-C (CD) General Provisions**
- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by The City of Charlotte ("Petitioner") to accommodate the existing non-conforming building on the southeastern portion (.091 acre) and the duplex planned for the northwestern portion (.078 acre) of the .17 acre site located at 1521 N Davidson Street, Charlotte, NC 28205, the site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Number 08107308, to be divided into two parcels.
- B. This petition proposed to rezone the southeastern portion (.078 acre) from R-8 to UR-C (CD)
- C. The development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Subject to the optional provisions set out below, the regulations established under the Ordinance for the UR zoning district shall govern the development and use of the Site.
- D. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the locations of the internal drives depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.
- E. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.
- F. Dedication and fee simple conveyance of all rights of way to the City before the site's first building certificate of occupancy is issued. CDOT requests right of way set at 2' behind back of sidewalk where feasible, current building location does not make this request feasible.
- G. Once Building #2 is demolished, developer/owner shall commit to construct an 8'-0" planting strip and an 8'-0" sidewalk on N. Davidson Street.
2. **Permitted Uses**
- A. Parcel 'B' may be devoted to uses allowed in the UR-C district that may be accommodated within the footprint of the existing, nonconforming building as depicted on the site plan, excluding drive-in windows, automotive sales, service or repair, animal crematoriums, funeral homes and embalming, or equipment rental and leasing within an enclosed building.
- B. Building #2 has the potential to utilize the rooftop of the building fronting N.Davidson St. without encroaching upon the public ROW, a condition that should the commercial building demolished, the street yards along N. Davidson and 19th St. shall be improved per CDOT's current ROW standards.
- C. Building #2 is currently existing non-conforming and any future additions including rooftop terraces shall be allowed only within the buildable area of the lot .
3. **Transportation**
- A. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.
- B. As depicted on the Rezoning Plan, the Site will be served by private drives on N. Davidson and E. 19th Street.
- C. The petitioner should revise the site plan to add a note specifying all transportation improvements will be approved and constructed before the site's first building certificate of occupancy is issued. The petitioner may phase transportation improvements if said improvements and phasing are explicitly described in site plan notes.
4. **Architectural Standards**
- A. The maximum height of the building shall be 60'-0"
5. **Binding Effect of the Rezoning Documents and Definitions**
- A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- B. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



VICINITY MAP

1. **UR-1 (CD) General Provisions**
- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by The City of Charlotte ("Petitioner") to accommodate the existing non-conforming building on the southeastern portion (.078 acre) and the duplex planned for the northwestern portion (.091acre) of the .17 acre site located at 1521 N Davidson Street, Charlotte, NC 28205, the site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Number 08107308, to be divided into two parcels.
- B. This petition proposed to rezone northwestern portion (.091 acre) from R-8 to UR-1(CD).
- C. The development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Subject to the optional provisions set out below, the regulations established under the Ordinance for the UR zoning district shall govern the development and use of the Site.
- D. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the locations of the internal drives depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.
- E. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.
2. **Permitted Uses**
- A. Parcel 'A' may be devoted residential uses as permitted in UR-1 district.
3. **Transportation**
- A. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.
- B. As depicted on the Rezoning Plan, the Site will be served by private drives on E. 19th Street.
- C. All transportation improvements will be approved and constructed before the issuance of the first certificate of occupancy for the Site or phased per the Site's development plan.
4. **Architectural Standards**
- A. The maximum height of the building shall conform to table 9.406(1)(A)
1. Maximum average height at the front building line (feet) 48'-0"
2. Base maximum average height (feet) 40'-0" measured at the required side yard line.
5. **Binding Effect of the Rezoning Documents and Definitions**
- A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- B. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, ~~personal representatives, successors~~ in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.

NOTE:

CONCRETE: [Symbol]

GRAVEL: [Symbol]

RETAINING WALL: [Symbol]

PAVER SYSTEM: [Symbol]

KEY:

WALL TO BE REMOVED: [Symbol]

ITEM TO BE REMOVED: [Symbol]

LEGEND:

BOUNDARY LINE: [Symbol]

OVERHEAD UTILITIES: [Symbol]

FENCE (TYPE NOTED): [Symbol]

UTILITY POLE: [Symbol]

R/W: RIGHT OF WAY

E/P: EDGE OF PAVEMENT

SCALE: 1" = 10'-0"

NORTH

**AB**  
architecture

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REZONING PETITION # 2019-146

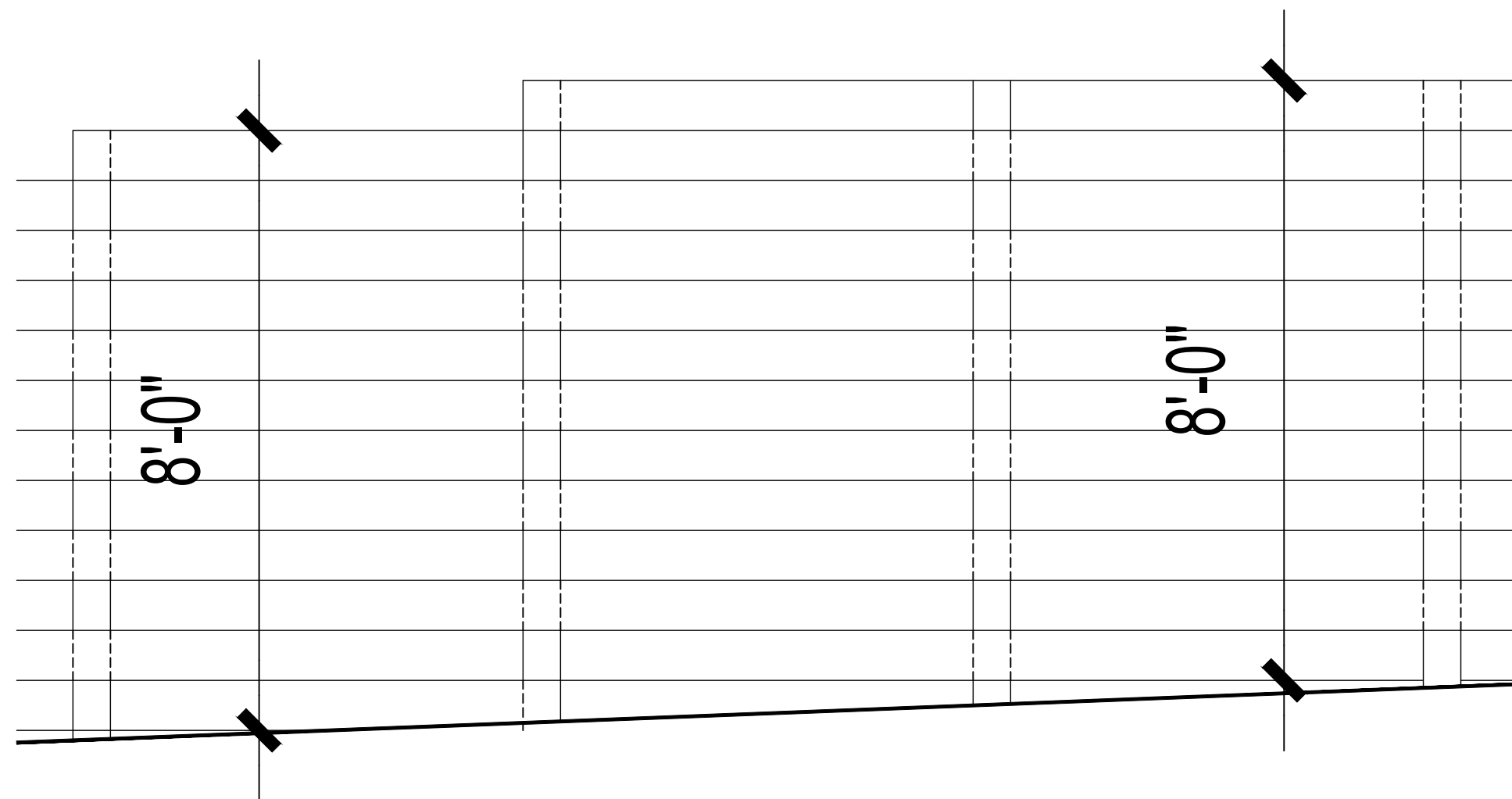
PROJECT #: 19011  
ISSUED: 20 SEPT 2019  
REVISIONS:

PROPOSED SITE PLAN

**A-1.1**

OF: THREE





2 PRIVACY FENCE  
1/2" = 1'-0"



EXAMPLE OF PRIVACY FENCE - COLOR T.B.D.



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

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PROJECT #: 19011  
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PROPOSED FRONT  
ELEVATION  
**A-3.0**  
OF: THREE

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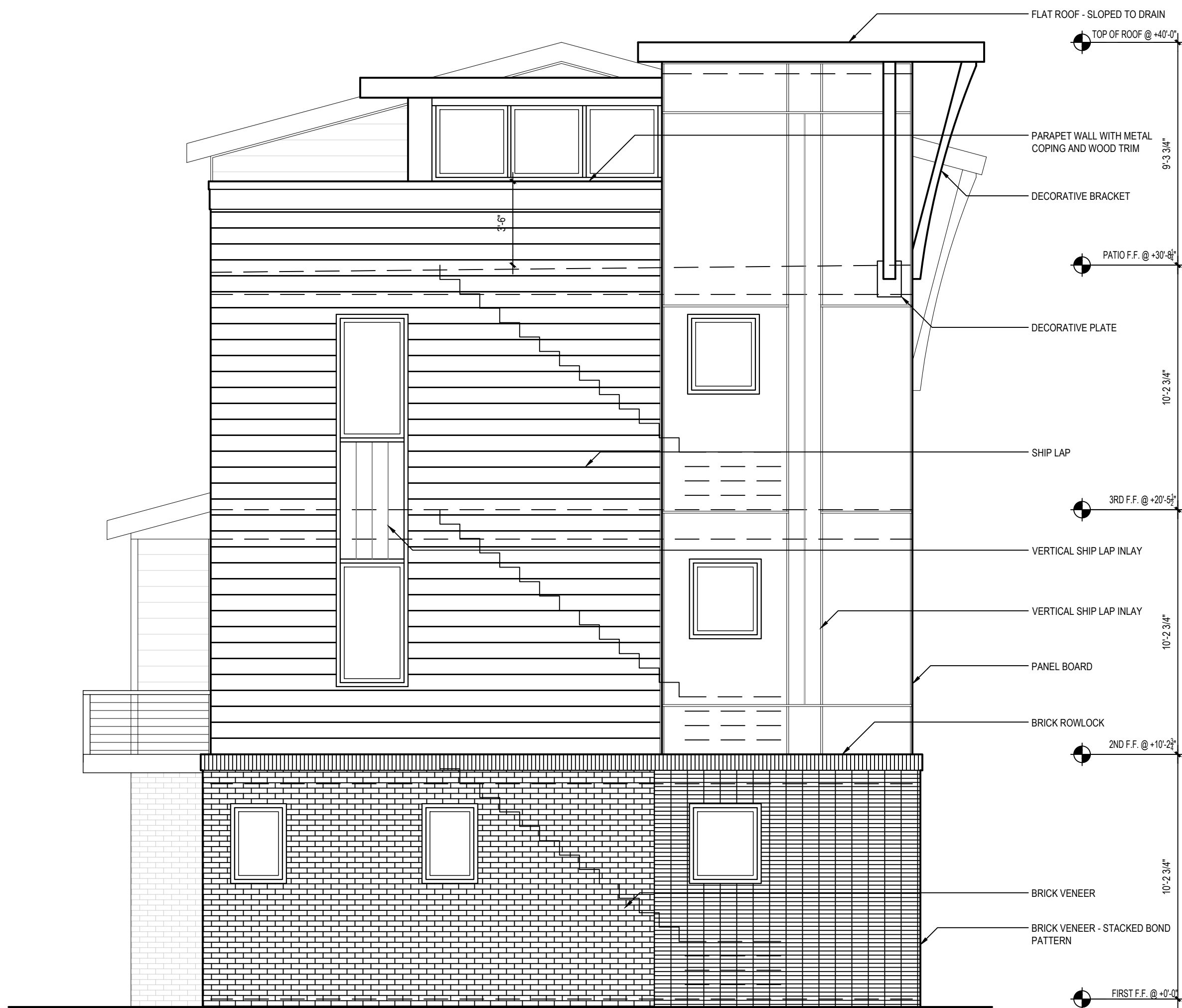
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REZONING PETITION # 2019-146

PROJECT #: 19011  
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PROPOSED LEFT ELEVATION

**A-3.3**  
OF: THREE



**1** PROPOSED LEFT ELEVATION  
1/4" = 1'-0"

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