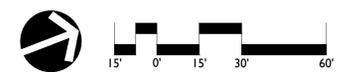


VICINITY MAP
NTS

SITE DEVELOPMENT DATA

- ACREAGE: ± 3.6 AC
- TAX PARCEL #S: 119-074-27, 119-074-28
- EXISTING ZONING: R-5, R-22MF
- PROPOSED ZONING: UR-2 (CD)
- EXISTING USES: MULTI-FAMILY RESIDENTIAL
- PROPOSED USES: MULTI-FAMILY TOWNHOUSES

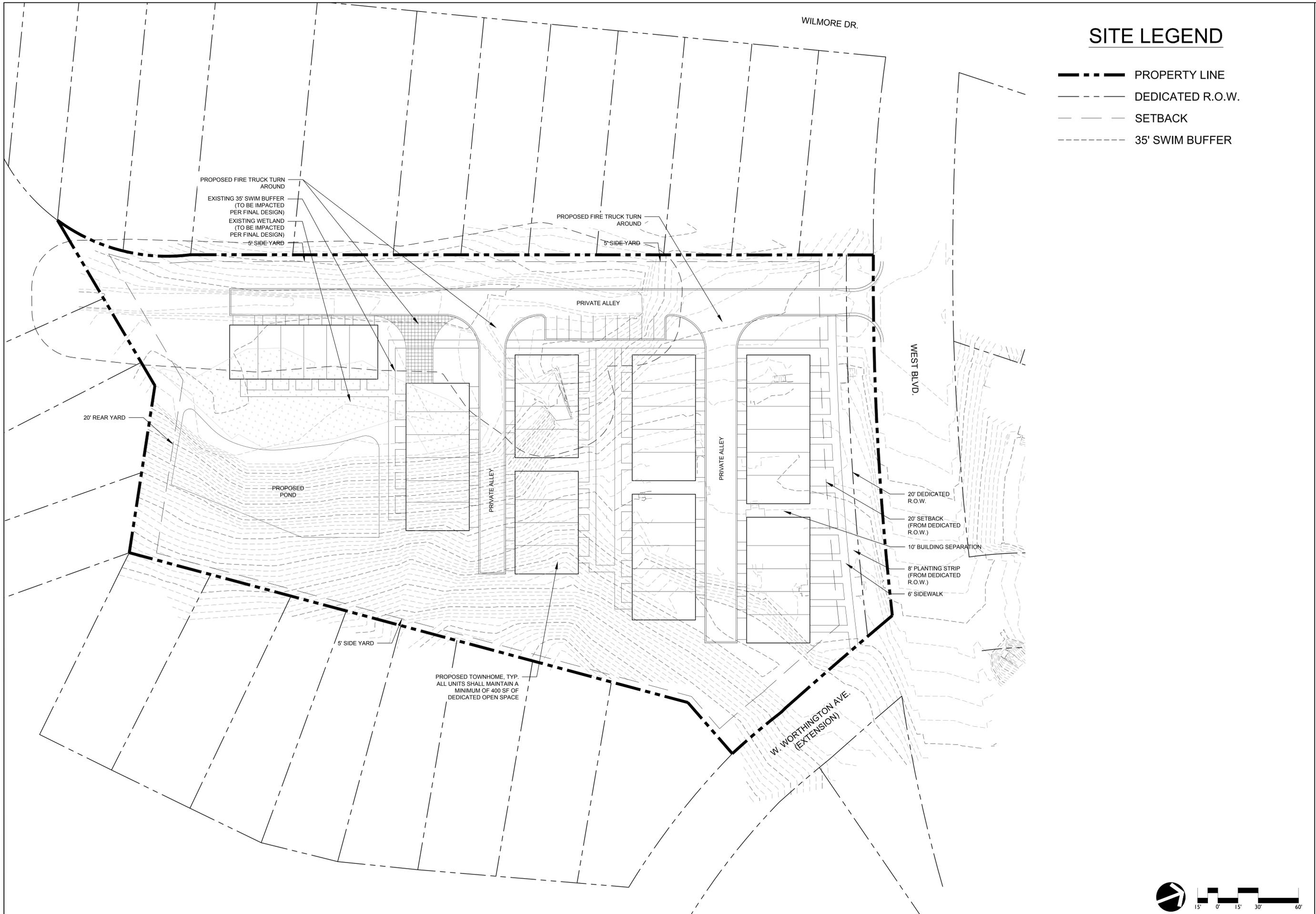


REVISIONS:
DATE: 10/23/17
DESIGNED BY: ST
DRAWN BY: JY
CHECKED BY: ST
SCALE: 1"=30'
PROJECT #: 1017051
SHEET #:

KINGSTON ON WEST
REZONING PETITION No. 2017-XXX
CHARLOTTE, NC
TECHNICAL DATA SHEET

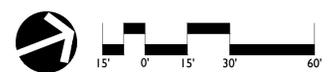
LandDesign
223 N Graham Street Charlotte, NC 28202
V: 704.333.0325 F: 704.333.3246
www.LandDesign.com

RZ-1



SITE LEGEND

- PROPERTY LINE
- DEDICATED R.O.W.
- SETBACK
- 35' SWIM BUFFER



DEVELOPMENT STANDARDS

October 23, 2017

representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

3. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.

A. General Provisions

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by J.S. & Son's Construction Company, LLC ("Petitioner") to accommodate the development of a residential community on that approximately 3.698 acre site located on the south side of West Boulevard at the intersection of West Boulevard and West Worthington Avenue, which site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Nos. 119-074-27 and 119-074-28.
2. Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.
4. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the internal private drives and alleys depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.
5. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses

1. The Site may be devoted only to a residential community containing a maximum of 41 for sale single family attached dwelling units and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district.

C. Transportation

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
2. As depicted on the Rezoning Plan, the Site will be served by internal private drives and internal private alleys, and minor adjustments to the locations of the internal private drives and the internal private alleys shall be allowed during the construction permitting process.
3. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan. The internal sidewalks may meander to save existing trees.

D. Architectural Standards

1. The maximum height in stories of the single family attached dwelling units to be located on the Site shall be 4 stories with optional rooftop terraces.
2. The maximum height in feet of each building containing single family attached dwelling units shall be 48 feet as measured under the Ordinance.
3. The primary exterior building materials for the new dwelling units to be constructed on the Site will be a combination of portions of the following: brick veneer or similar masonry products, stone, manufactured stone, stucco and cementitious siding.
4. Vinyl may not be used as an exterior building material on any building to be constructed on the Site. Notwithstanding the foregoing, vinyl may be utilized on windows, doors, garage doors, soffits, trim and railings.

E. Streetscape/Screening

1. Petitioner shall install a minimum 8 foot wide planting strip and a minimum 6 foot wide sidewalk along the Site's frontage on West Boulevard as generally depicted on the Rezoning Plan. The sidewalk, planting strip or portions thereof may be located in a sidewalk utility easement.

F. Open Space

1. Each individual sub-lot on which a single family attached dwelling unit is located must include a minimum of 400 square feet of private open space.

G. Environmental Features

1. Development of the Site shall comply with the City of Charlotte Tree Ordinance.
2. The tree save areas depicted on the Rezoning Plan are conceptual, and the actual locations of the tree save areas on the Site may vary from what is depicted on the Rezoning Plan. The actual locations of the tree save areas shall be determined during the site plan approval and permitting process.
3. Development of the Site shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.
4. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

H. Lighting

1. All freestanding lighting fixtures installed on the Site (excluding lower, decorative lighting that may be installed along the internal private drives, internal private alleys and sidewalks and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.
2. The maximum height of any freestanding lighting fixture installed on the Site, including its base, shall not exceed 16 feet.
3. Any lighting fixtures attached to the buildings to be constructed on the Site shall be decorative, capped and downwardly directed.

I. Binding Effect of the Rezoning Documents and Definitions

1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal

REVISIONS:

DATE: 10/23/17
DESIGNED BY: ST
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