



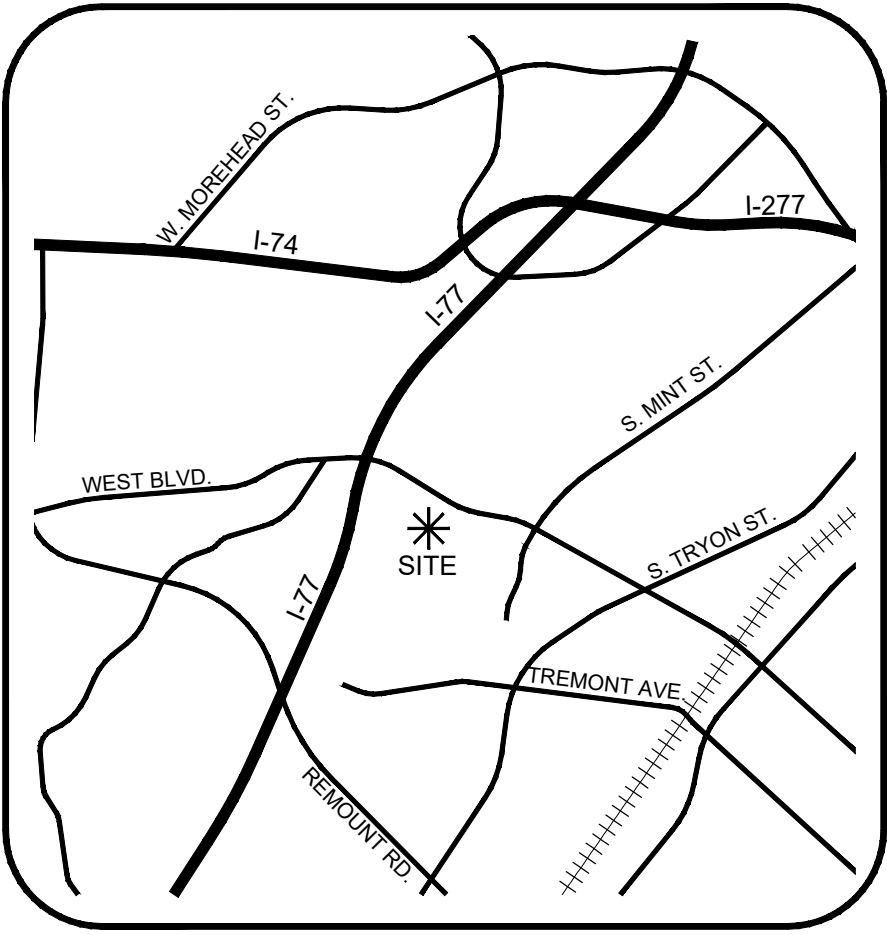
DATE: 10.23.17
DESIGNED BY: JY
DRAWN BY: JY
CHECKED BY: JY
SCALE: 1/8" = 30'
PROJECT #1017051

REVISIONS:
08.13.18 — PER CITY COMMENTS

KINGSTON ON WEST
REZONING PETITION No. 2017-168
CHARLOTTE, NC
RENDERED SITE PLAN

LandDesign
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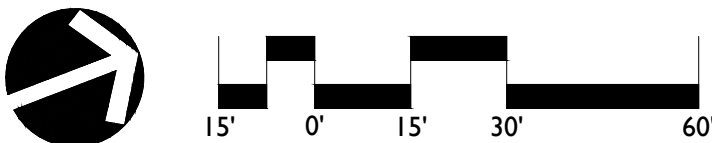
SHEET #
COVER



VICINITY MAP
NTS

SITE DEVELOPMENT DATA

- ACREAGE: ± 3.6 AC
- TAX PARCEL #S: 119-074-27, 119-074-28
- EXISTING ZONING: R-5, R-22MF
- PROPOSED ZONING: UR-2 (CD)
- EXISTING USES: MULTI-FAMILY RESIDENTIAL
- PROPOSED USES: MULTI-FAMILY TOWNHOUSES



REVISIONS:
DATE: 10.23.17
DESIGNED BY: ST
DRAWN BY: JY
CHECKED BY: ST
SCALE: 1/8" = 1'-0"
PROJECT #1017051
SHEET #

KINGSTON ON WEST
REZONING PETITION No. 2017-168
CHARLOTTE, NC
TECHNICAL DATA SHEET



- — — — — PROPERTY LINE
- - - - - DEDICATED R.O.W.
- SETBACK
- . - . - . 25' CLASS B BUFFER

KINGSTON ON WEST
REZONING PETITION No. 2017-168
CHARLOTTE, NC
SCHEMATIC SITE PLAN

DATE: 02.27.18
 DESIGNED BY: ST
 DRAWN BY: JY
 CHECKED BY: ST
 Q.C. BY: ST
 SCALE: 1"=30'
 PROJECT #1017051

SHEET #:
RZ-2



WEST BLVD. FRONT ELEVATION



WEST BLVD. REAR ELEVATION



WEST BLVD. SIDE ELEVATION

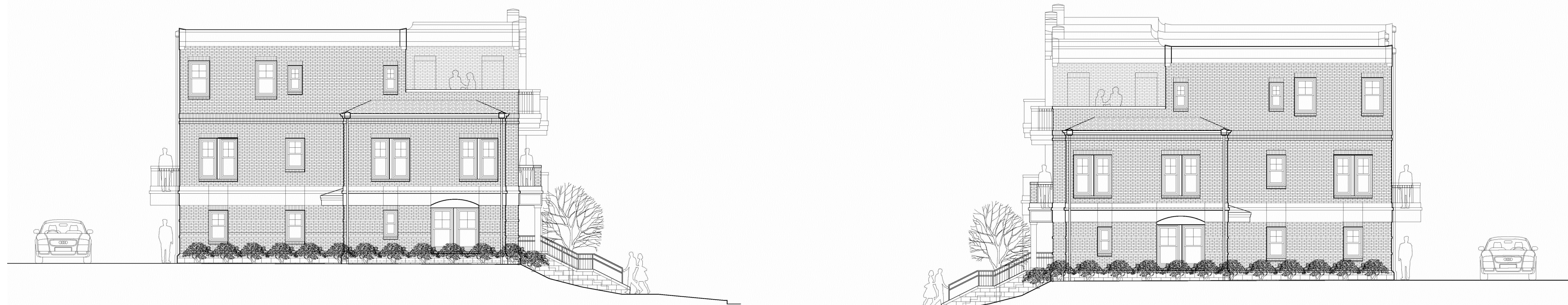




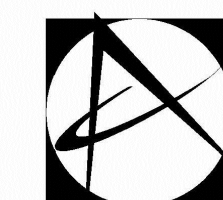
INTERNAL FRONT ELEVATION



INTERNAL REAR ELEVATION



INTERNAL SIDE ELEVATION



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DEVELOPMENT STANDARDS

August 13, 2018

A. General Provisions

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by J.S. & Son's Construction Company, LLC ("Petitioner") to accommodate the development of a residential community on that approximately 3.698 acre site located on the south side of West Boulevard at the intersection of West Boulevard and West Worthington Avenue, which site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Nos. 119-074-27 and 119-074-28.

2. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").

3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.

4. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the internal private drives and alleys depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.

5. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses

1. The Site may be devoted only to a residential community containing a maximum of 40 for sale single family attached dwelling units and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district.

C. Transportation

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT").

2. As depicted on the Rezoning Plan, the Site will be served by internal private drives and internal private alleys, and minor adjustments to the locations of the internal private drives and the internal private alleys shall be allowed during the construction permitting process.

3. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan. The internal sidewalks may meander to save existing trees.

4. Prior to the issuance of the first certificate of occupancy for a new building constructed on the Site, Petitioner shall dedicate and convey to the City of Charlotte or to NCDOT (subject to a reservation for any necessary utility easements) those portions of the Site located immediately adjacent to West Boulevard that are more particularly depicted on the Rezoning Plan as right of way for West Boulevard.

5. Subject to the approval of CDOT and any other governmental agencies, Petitioner shall install a minimum 10 foot wide multi-use path along the Site's frontage on the unimproved right of way for West Worthington Avenue as generally depicted on the Rezoning Plan. In the event that Petitioner cannot obtain all approvals and permits required to install the 10 foot wide multi-use path, then Petitioner shall have no obligation to install such improvement. The installation of the minimum 10 foot wide multi-use path shall be in lieu of the construction of a street in the unimproved right of way for West Worthington Avenue.

6. Prior to the issuance of the first certificate of occupancy for a new building constructed on the Site, Petitioner shall construct a new waiting pad for the existing bus stop located along the Site's frontage on West Boulevard. The waiting pad shall be located within the right of way or within a permanent easement, and the precise location of the waiting pad shall be determined during the permitting process. The waiting pad shall be constructed to CATS Development Standard 60.01B. Petitioner's obligation to construct the waiting pad shall be subject to Petitioner's ability to obtain all approvals and permits required to construct it. CATS shall be responsible for the installation and maintenance of any bench or shelter that may be located on the waiting pad.

D. Architectural Standards

1. The maximum height in stories of the single family attached dwelling units to be constructed on the Site shall be 3 stories.

2. The maximum height in feet of each building containing single family attached dwelling units shall be 35 feet as measured under the Ordinance.

3. The primary exterior building materials of the facades of the single family attached dwelling units to be constructed on the Site shall be brick, cast stone and similar masonry products.

4. Vinyl may not be used as an exterior building material on any building to be constructed on the Site.

5. Set out on Sheets RZ-3 and RZ-4 of the Rezoning Plan are conceptual, architectural renderings of the front, rear and side elevations of the buildings to be constructed on the Site that are intended to depict the general conceptual architectural style and character of the front, rear and side elevations of the buildings to be constructed on the Site. Accordingly, the front, rear and side elevations of the buildings to be constructed on the Site shall be designed and constructed so that the front, rear and side elevations of the buildings are substantially similar in appearance to the relevant conceptual, architectural renderings on Sheets RZ-3 and RZ-4 of the Rezoning Plan with respect to architectural style and character. Notwithstanding the foregoing, changes and alterations to the front, rear and side elevations of the buildings to be constructed on the Site that do not materially change the overall conceptual architectural style and character shall be permitted.

6. The single family attached dwelling units that abut West Boulevard shall front West Boulevard as depicted on the Rezoning Plan.

E. Streetscape/Screening

1. Petitioner shall install a minimum 8 foot wide planting strip and a minimum 6 foot wide sidewalk along the Site's frontage on West Boulevard as generally depicted on the Rezoning Plan. The sidewalk, planting strip or portions thereof may be located in a sidewalk utility easement.

2. A minimum 25 foot wide landscape area that meets the tree and shrub requirements of a Class B buffer shall be established along the Site's western boundary line as depicted on the Rezoning Plan.

3. A minimum 6 foot tall wooden screen fence shall be installed along those portions of the Site's boundary lines that are more particularly depicted on the Rezoning Plan.

4. The retaining walls to be constructed on the Site shall be tiered and cascading landscaping shall be installed on the top of such retaining walls.

F. Open Space

1. Each individual sub-lot on which a single family attached dwelling unit is located must include a minimum of 400 square feet of private open space. Uncovered terraces (including terraces located above grade) may be counted towards the minimum of 400 square feet of private open space.

G. Environmental Features

1. Development of the Site shall comply with the City of Charlotte Tree Ordinance.

2. Development of the Site shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.

3. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

4. Development within the SWIM/PCSO Buffer shall be coordinated with and approved by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City ordinance.

H. Lighting

1. All freestanding lighting fixtures installed on the Site (excluding lower, decorative lighting that may be installed along the internal private drives, internal private alleys and sidewalks and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.

2. The maximum height of any freestanding lighting fixture installed on the Site, including its base, shall not exceed 16 feet.

3. Any lighting fixtures attached to the buildings to be constructed on the Site shall be decorative, capped and downwardly directed.

I. Binding Effect of the Rezoning Documents and Definitions

1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.

2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

3. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.

REVISIONS:

08.13.18

PER CITY COMMENTS

DESIGNED BY: ST

DRAWN BY: JY

CHECKED BY: ST

SCALE: AS SHOWN

PROJECT #1017051

SHEET #

RZ-5

KINGSTON ON WEST

REZONING PETITION No. 2017-168

CHARLOTTE, NC

DEVELOPMENT STANDARDS

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