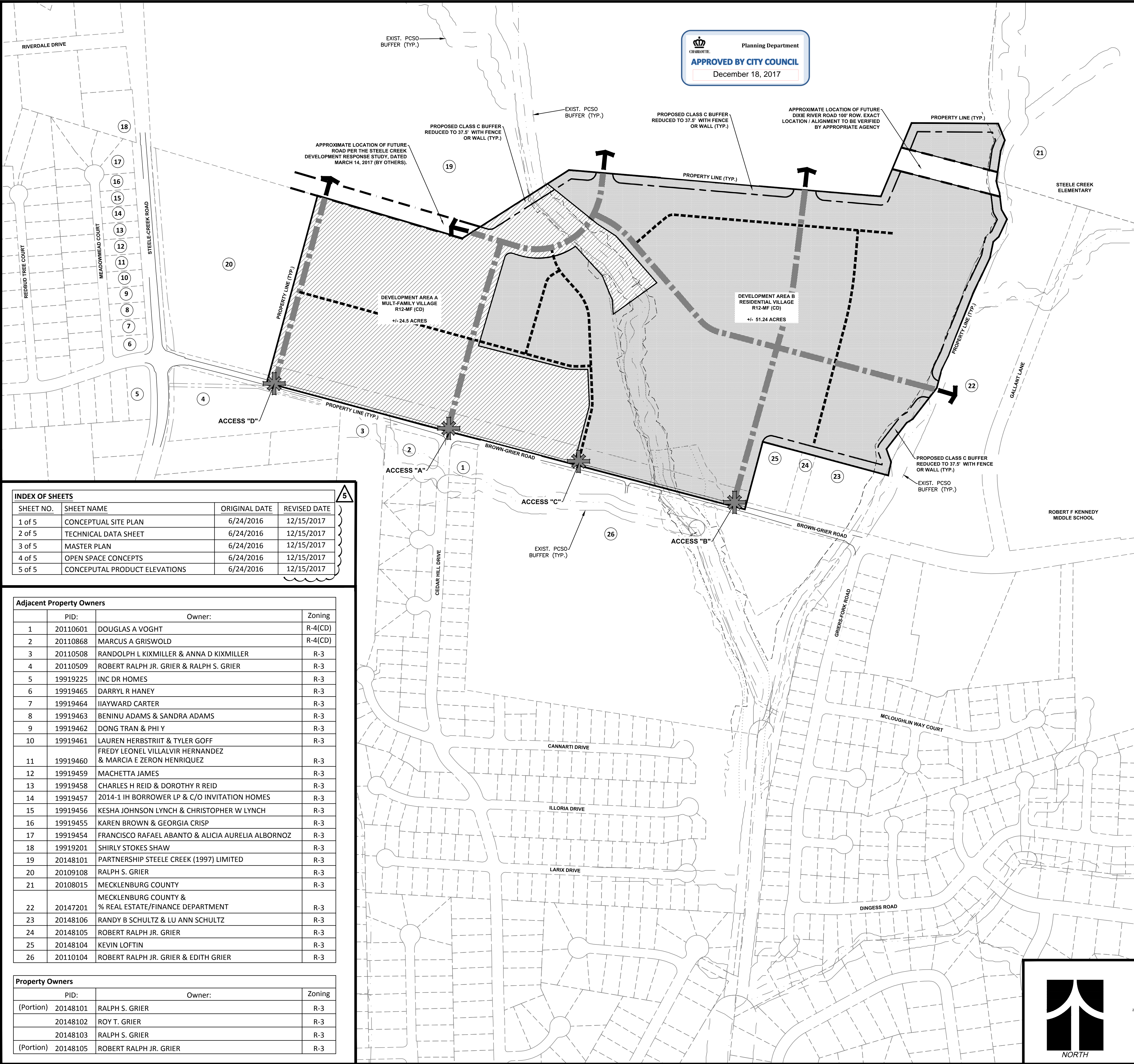


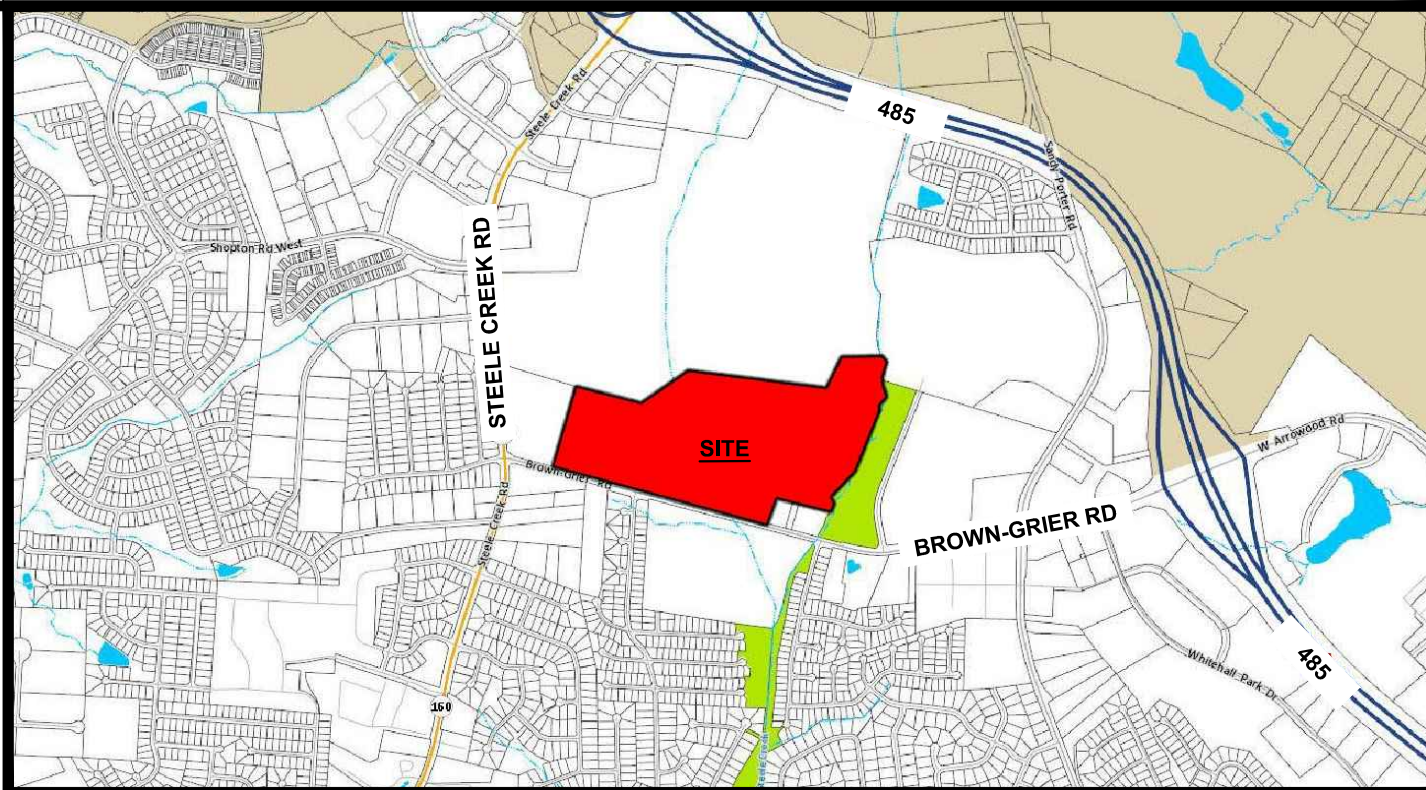
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INDEX OF SHEETS			
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 of 5	CONCEPTUAL SITE PLAN	6/24/2016	12/15/2017
2 of 5	TECHNICAL DATA SHEET	6/24/2016	12/15/2017
3 of 5	MASTER PLAN	6/24/2016	12/15/2017
4 of 5	OPEN SPACE CONCEPTS	6/24/2016	12/15/2017
5 of 5	CONCEPTUAL PRODUCT ELEVATIONS	6/24/2016	12/15/2017

Adjacent Property Owners			
	PID:	Owner:	Zoning
1	20110601	DOUGLAS A VOGHT	R-4(CD)
2	20110868	MARCUS A GRISWOLD	R-4(CD)
3	20110508	RANDOLPH L KIXMILLER & ANNA D KIXMILLER	R-3
4	20110509	ROBERT RALPH JR. GRIER & RALPH S. GRIER	R-3
5	19919225	INC DR HOMES	R-3
6	19919465	DARRYL R HANEY	R-3
7	19919464	JAYWARD CARTER	R-3
8	19919463	BENINU ADAMS & SANDRA ADAMS	R-3
9	19919462	DONG TRAN & PHI Y	R-3
10	19919461	LAUREN HERBSTTRIT & TYLER GOFF	R-3
11	19919460	FREDY LEONEL VILLALVIR HERNANDEZ & MARCIA E ZERON HENRIQUEZ	R-3
12	19919459	MACHETTA JAMES	R-3
13	19919458	CHARLES H REID & DOROTHY R REID	R-3
14	19919457	2014-1 IH BORROWER LP & C/O INVITATION HOMES	R-3
15	19919456	KESHA JOHNSON LYNCH & CHRISTOPHER W LYNCH	R-3
16	19919455	KAREN BROWN & GEORGIA CRISP	R-3
17	19919454	FRANCISCO RAFAEL ABANTO & ALICIA AURELIA ALBORNOZ	R-3
18	19919201	SHIRLY STOKES SHAW	R-3
19	20148101	PARTNERSHIP STEELE CREEK (1997) LIMITED	R-3
20	20109108	RALPH S. GRIER	R-3
21	20108015	MECKLENBURG COUNTY	R-3
22	20147201	MECKLENBURG COUNTY & % REAL ESTATE/FINANCE DEPARTMENT	R-3
23	20148106	RANDY B SCHULTZ & LU ANN SCHULTZ	R-3
24	20148105	ROBERT RALPH JR. GRIER	R-3
25	20148104	KEVIN LOFTIN	R-3
26	20110104	ROBERT RALPH JR. GRIER & EDITH GRIER	R-3

Property Owners			
	PID:	Owner:	Zoning
(Portion)	20148101	RALPH S. GRIER	R-3
	20148102	ROY T. GRIER	R-3
	20148103	RALPH S. GRIER	R-3
(Portion)	20148105	ROBERT RALPH JR. GRIER	R-3



Vicinity Map

Not to Scale

Site Data	
Tax Parcels:	20148101 (Portion), 20148102, 20148103 & 20148105 (Portion)
Total Site Acreage:	+/- 76.77 Acres
Future ROW	+/- 1.03 Acre
Remaining Site Acreage	+/- 75.74 Acres*
Location:	City of Charlotte, NC
Existing Zoning:	R-3
Proposed Zoning:	R12-MF(CD) with 5 year vested rights
Existing Use:	Single-Family Residential / Vacant Land
Proposed Use:	Multi-Family dwellings, "for sale" single family attached dwellings
Permitted # of Units:	Up to 597 Units
Development Area A	Up to 292 Apartments
Development Area B	Up to 305 Townhomes
	Note: Minimum of 66% of townhomes to be alley-loaded
Density*:	Up to 7.88 DU/AC
Maximum Building Height:	See Development Standards
Parking:	On-Street Parking Provided: Min. 175 Spaces
	Off Street Parking Provided: Min. 35 Spaces
Tree Save*:	Required: +/- 11.36 Acres (15%)
	Provided: +/- 11.36 Acres (15%) Minimum
Natural Area*:	Required: +/- 7.67 Acres (10%)
	Provided: +/- 7.67 Acres (10%) Minimum
General Notes	
1. Base information obtained from preliminary site survey prepared by ESP Associates dated January 28, 2016	
2. See Sheet 2 of 5 - Technical Data Sheet for Conditional Rezoning Notes	

Legend	
	Development Area A - Multi-Family Village Building & Parking Envelope
	Development Area B - Residential Village Building & Parking Envelope
	Class C Buffer (Reduced to 37.5' with Fence/Wall)
	Local Residential Wide - 71' Public ROW
	Private Street (30' Clear Zone)
	Proposed Stub Location
	Proposed Access Location

GRAPHIC SCALE

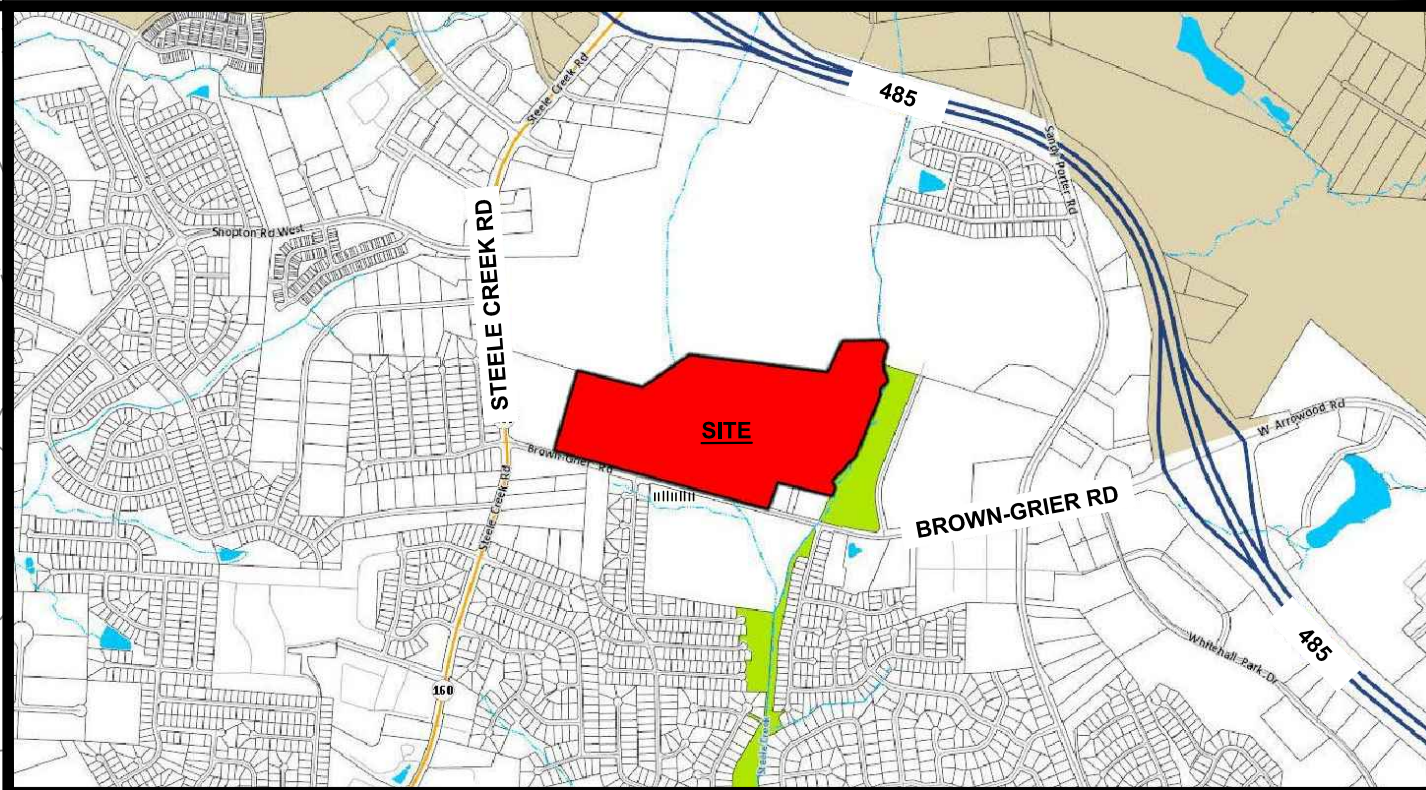
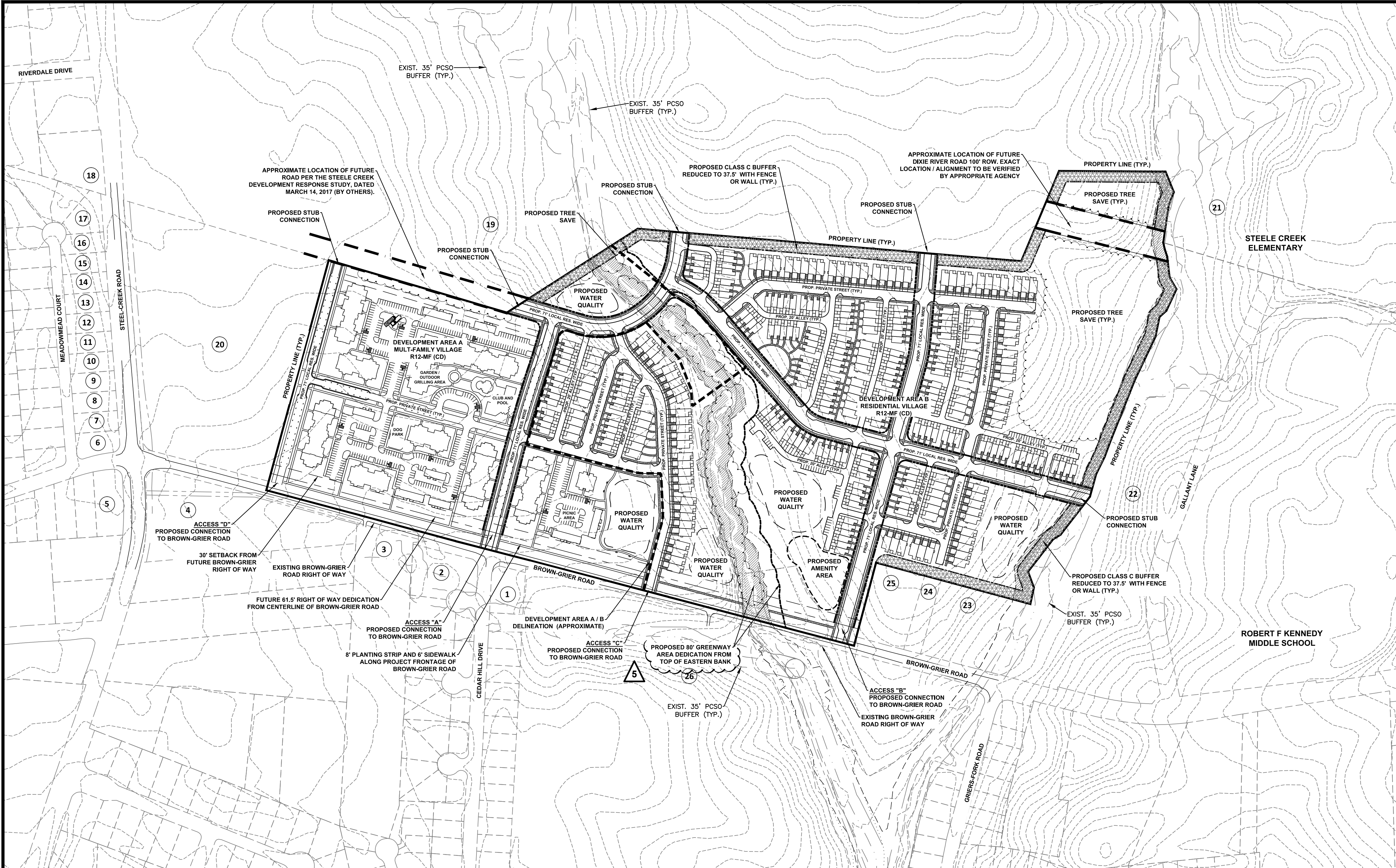
(IN FEET)

1 INCH = 200 FT.

ESP Associates, P.A.
P.O. Box 939
Charlotte, NC 28241
9475 Lakemont Blvd
Fort Mill, SC 29708
704-583-4949 (NC)
803-802-2440 (SC)
www.espassociates.com

ESP

Conditional District Rezoning - R12-MF(CD) Conceptual Site Plan - Petition # 2016 - 120 (Sheet 1 of 5)		City of Charlotte	
Grier Property		Pulte Home Company LLC	
PROJECT INFORMATION			
PROJECT MANAGER:	MM		
DESIGNED BY:	AB		
DRAWN BY:	ZW		
PROJECT NUMBER:	DO05.100		
ORIGINAL DATE:	06/24/2016		
SHEET:	1 of 5		



Vicinity Map
Not to Scale



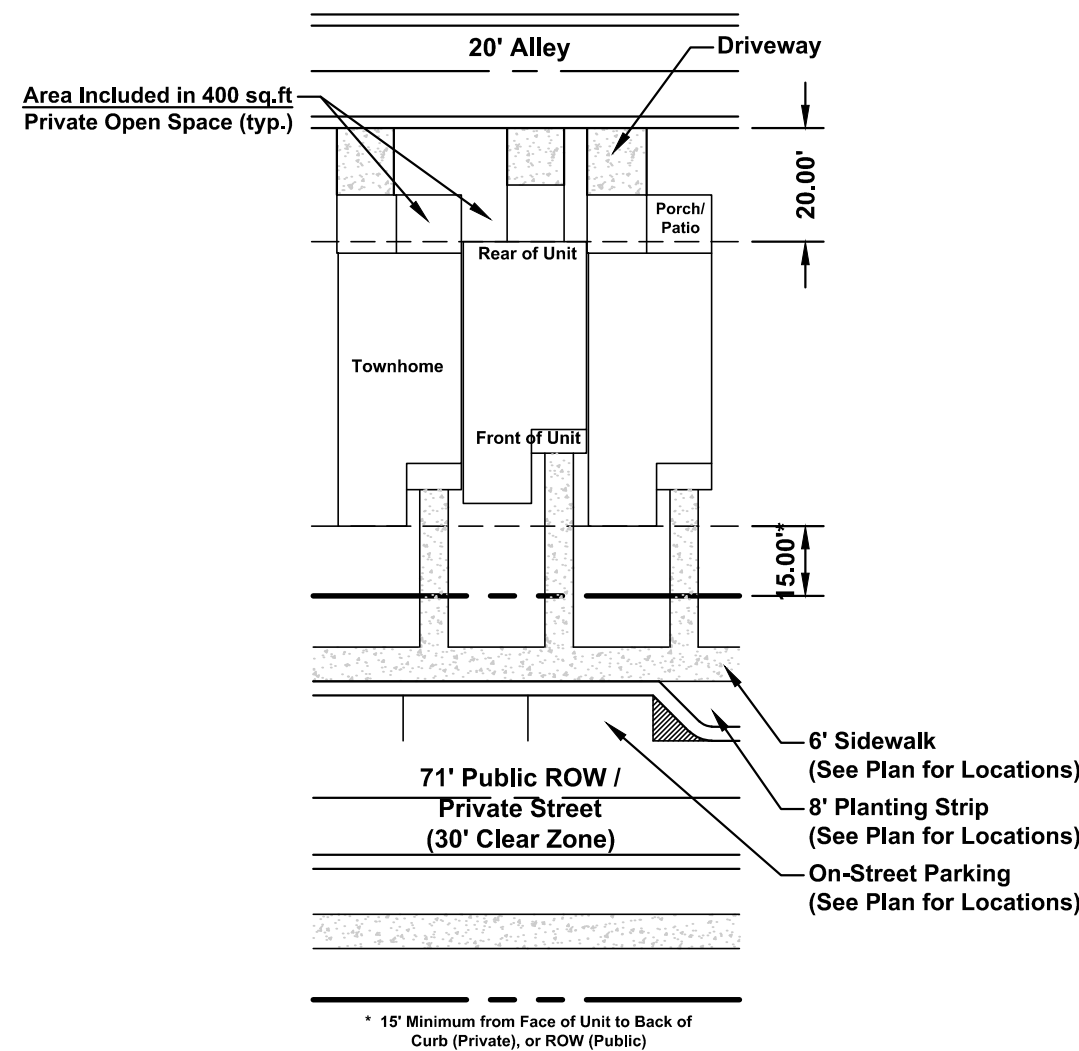
Site Data

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Tree Save*:	Required: +/- 11.36 Acres (15%) Provided: +/- 11.36 Acres (15%) Minimum
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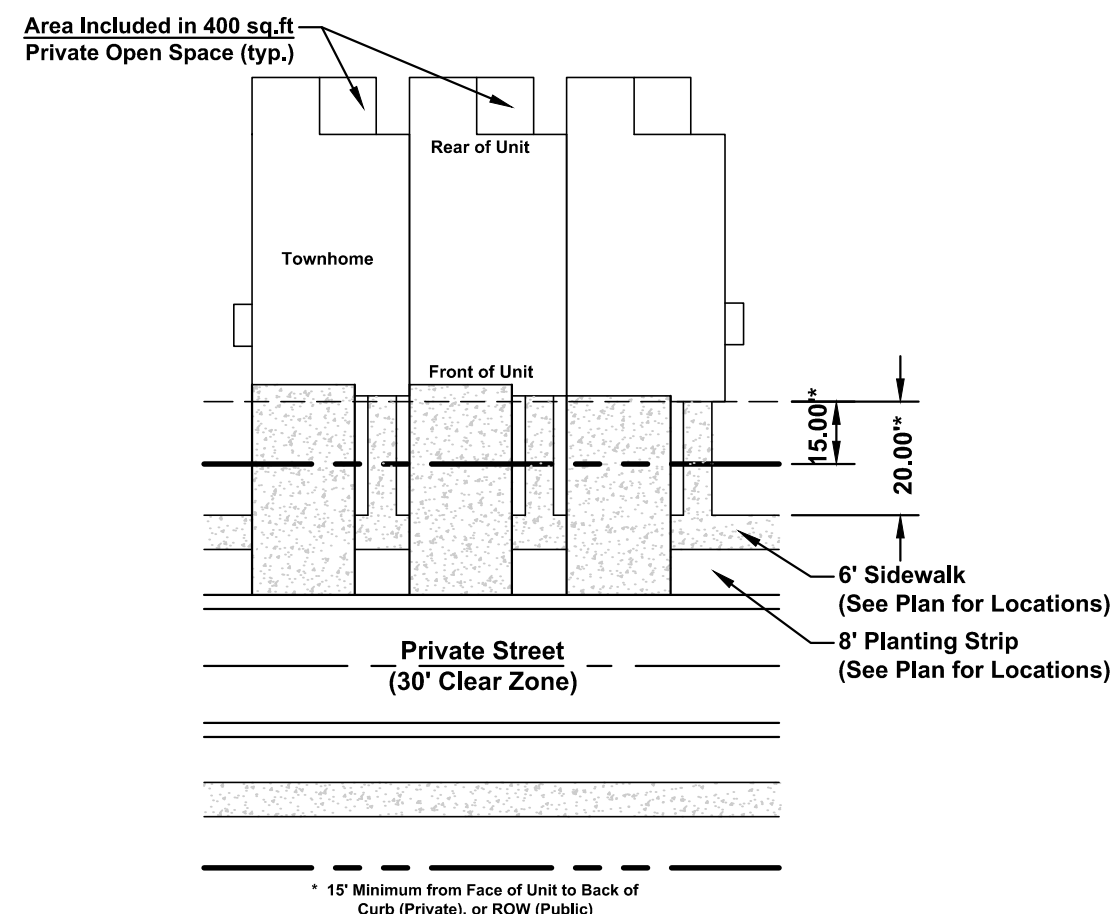
General Notes

- Base information obtained from preliminary site survey prepared by ESP Associates dated January 28, 2016
- See Sheet 2 of 5 - Technical Data Sheet for Conditional Rezoning Notes

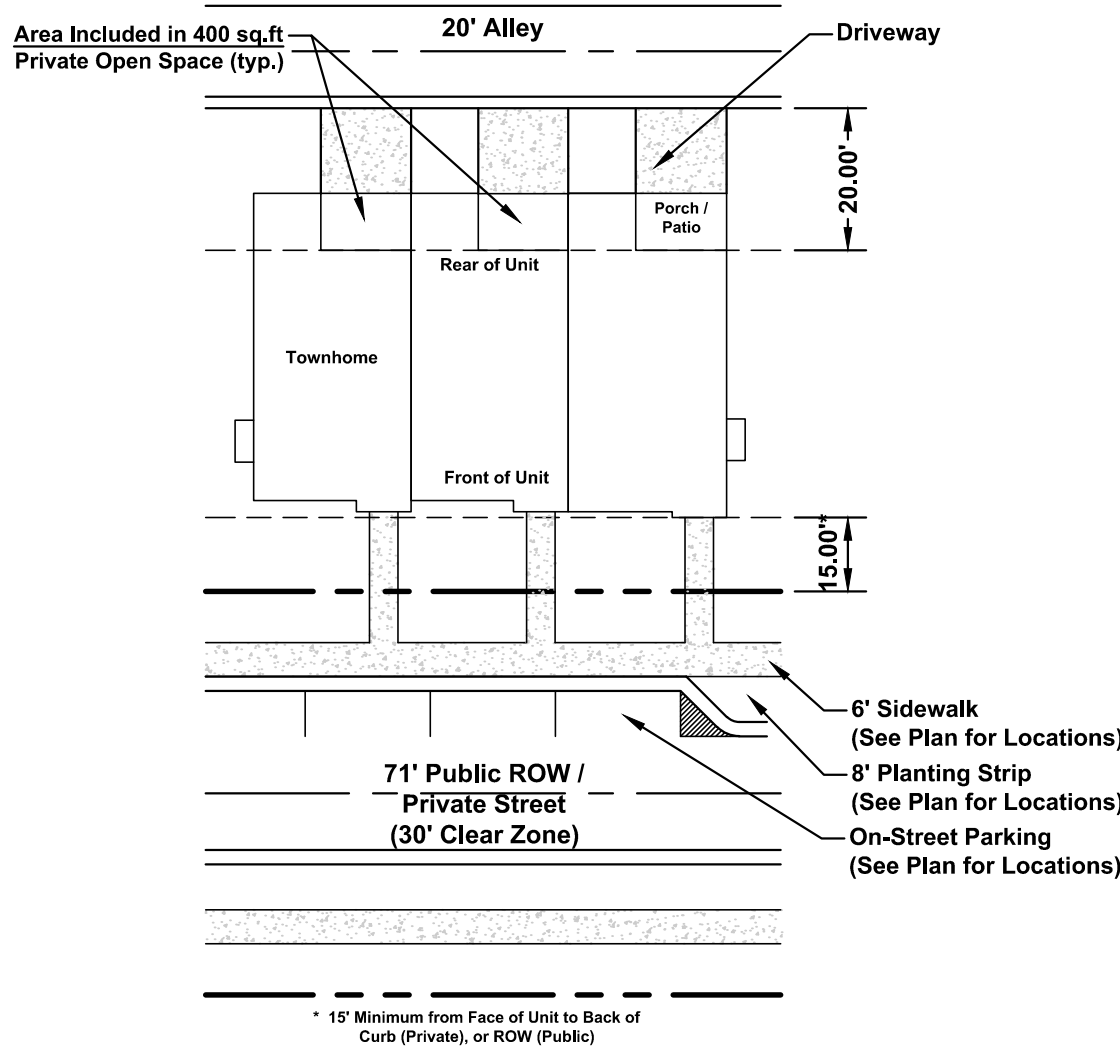
Typical Unit Details
Not to Scale



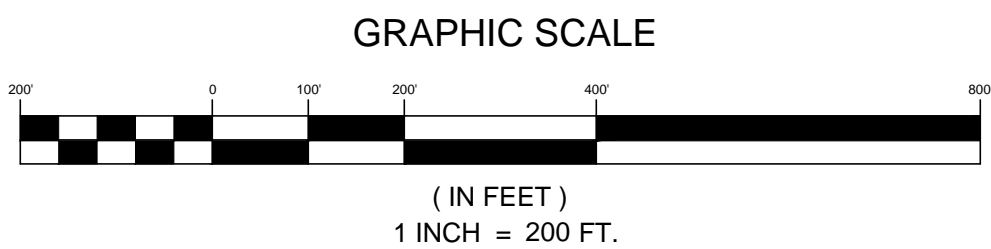
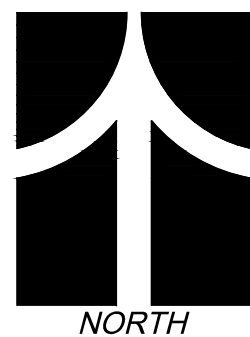
22' Townhomes- Alley Load



28' Townhomes- Front Load



28' Townhomes- Alley Load



Conditional District Rezoning - R12-MF(CD)
Master Plan - Petition # 2016 - 120 (Sheet 3 of 5)

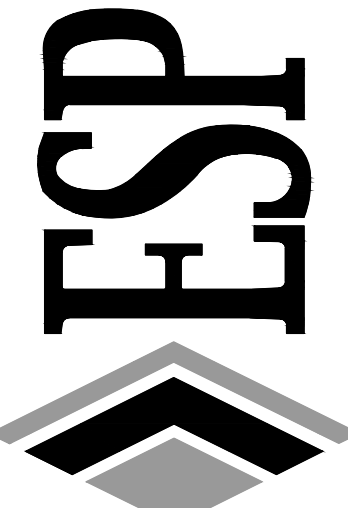
Grier Property

Pulte Home Company LLC

City of Charlotte

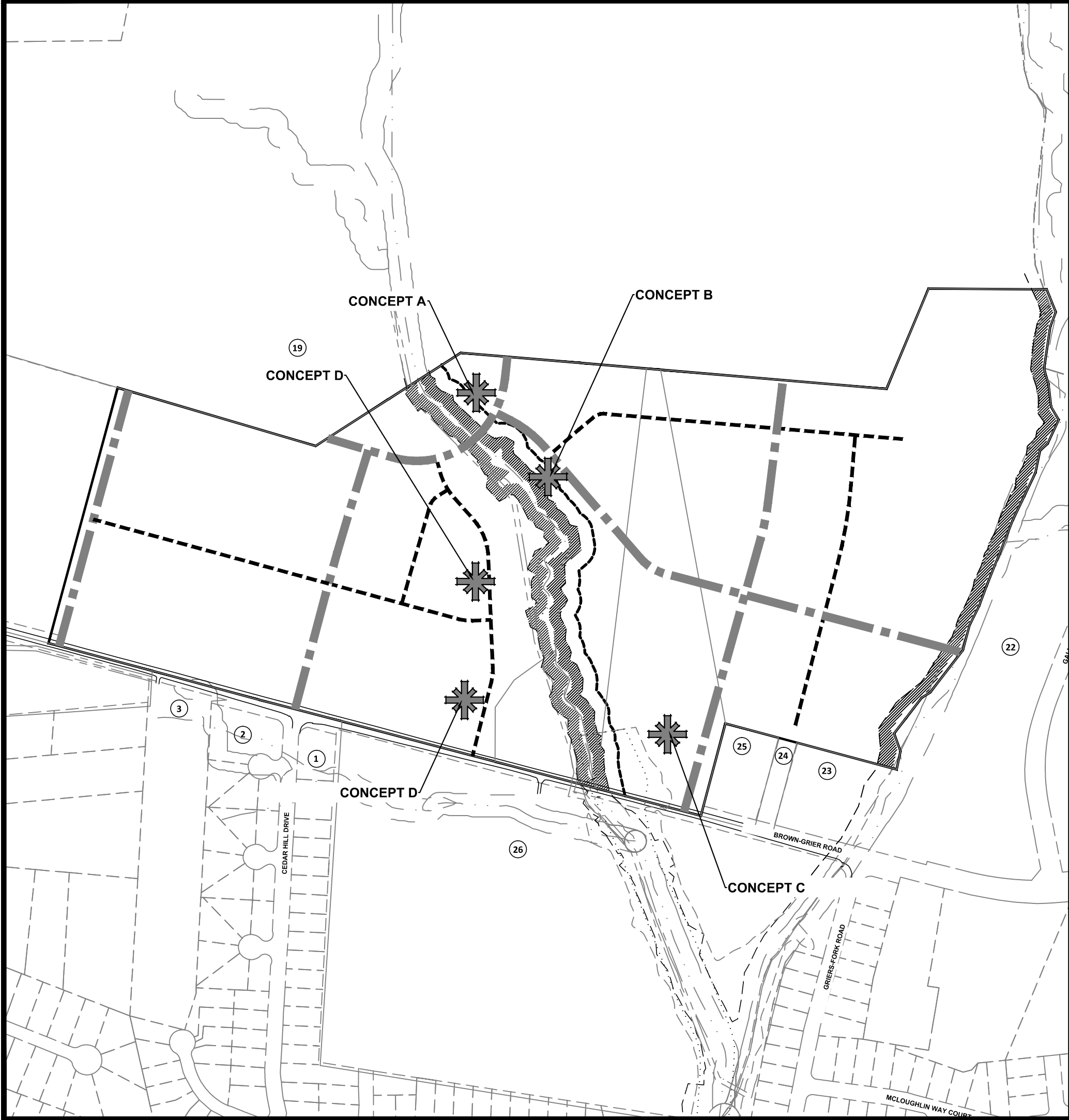
PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	ZW
PROJECT NUMBER:	DO06.100
ORIGINAL DATE:	06/24/17
SHEET:	3 of 5

ESP Associates, P.A.
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www.espassociates.com

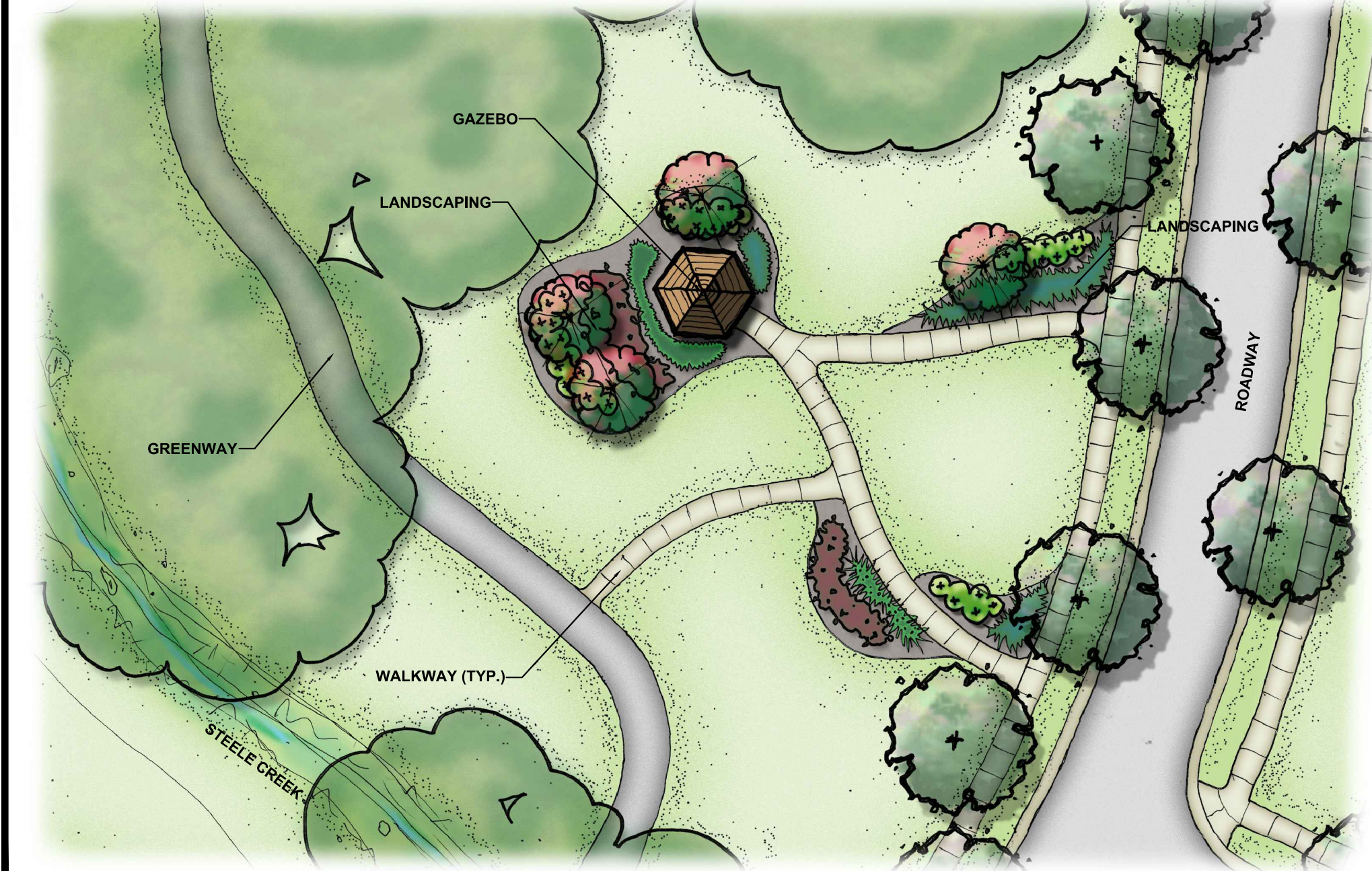


U:\2016 Projects (D)\0006 - Grier Property (P)\01\Submittal\05\Sheets\005 - Grier Property (P)\01 - Open Space Concepts Planning Sheet 4 of 4 - abonda

Open Space Concepts & Location Map
Not to Scale



CONCEPT A
Pocket Park Concept



CONCEPT B
Pedestrian Plaza Concept



CONCEPT C
Amenity Concept



Open Space Concepts
Not To Scale



CONCEPT D
Linear Park Concept



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www.espaceassociates.com

Conditional District Rezoning - R12-MF (CD)
Open Space Concepts - Petition # 2016 - 120 (Sheet 4 of 5)

Grier Property

Pulte Home Company LLC

City of Charlotte

PROJECT INFORMATION

PROJECT MANAGER:

MM

DESIGNED BY:

AB

DRAWN BY:

ZW

PROJECT NUMBER:

DO05.100

ORIGINAL DATE:

06/24/17

SHEET:

4 of 5

U:\2016 Projects (D)\0005 - Grier Property (P)\14\Submittal\Working Drawings\2017-12-8_CD Reasoning - 8th Submittal\DWG\Sheets\0005 - Grier Property (P)\14 - Conceptual Product Elevations.dwg, Sheet 4 of 4, abords



CONCEPTUAL ELEVATION
28' ALLEY LOADED TOWNHOMES



CONCEPTUAL ELEVATION
28' FRONT LOADED TOWNHOMES



CONCEPTUAL ELEVATION
22' ALLEY LOADED TOWNHOMES

ESP

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803-802-2440 (SC)
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BY

ZW

ZW

ADH

ZW

ZW

NO.

DATE

REVISION

REVISED PER STAFF COMMENTS

3

08/10/2017

REVISED PER STAFF COMMENTS

2

08/18/2017

REVISED PER STAFF COMMENTS

3

10/23/2017

REVISED PER STAFF COMMENTS

4

11/27/2017

REVISED PER STAFF COMMENTS

5

12/15/2017

REVISED PER STAFF COMMENTS

Conditional District Rezoning - R12-MF(CD)
Conceptual Product Elevations - Petition # 2016 - 120 (Sheet 5 of 5)

Pulte Home Company LLC

Grier Property

City of Charlotte

PROJECT INFORMATION

PROJECT MANAGER:

MM

DESIGNED BY:

AB

DRAWN BY:

ZW

PROJECT NUMBER:

D005.100

ORIGINAL DATE:

06/24/17

SHEET:

5 of 5

811

Know what's below.
Call before you dig.

Conceptual Townhome Elevation and Images