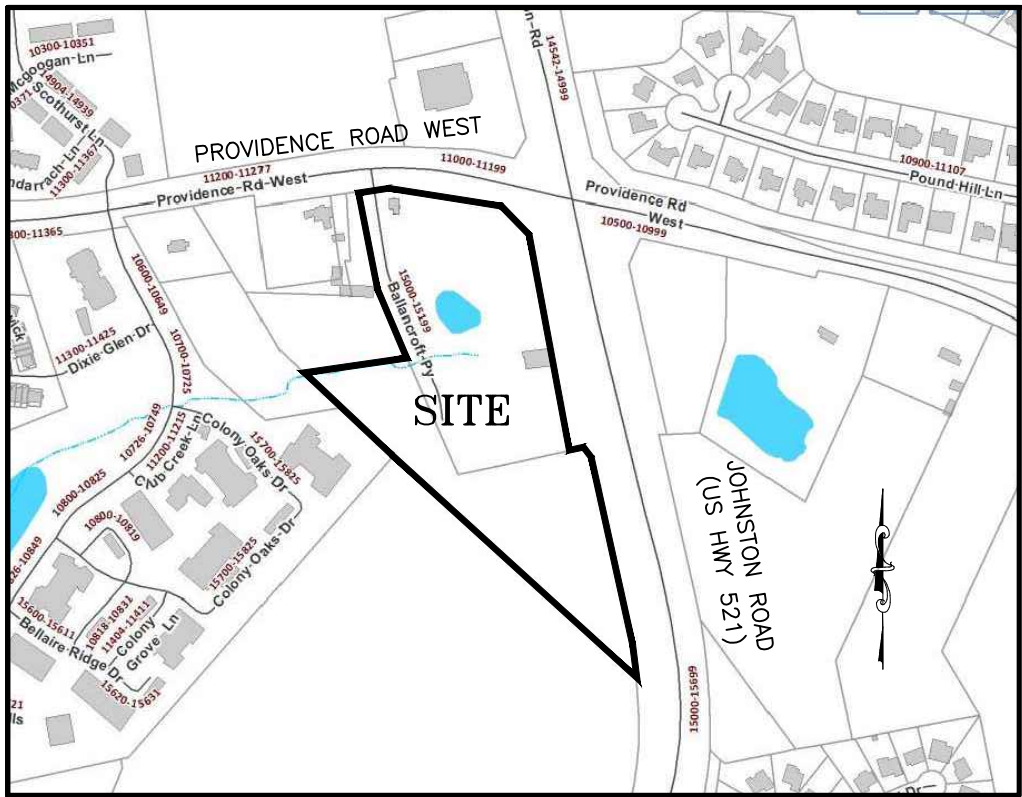
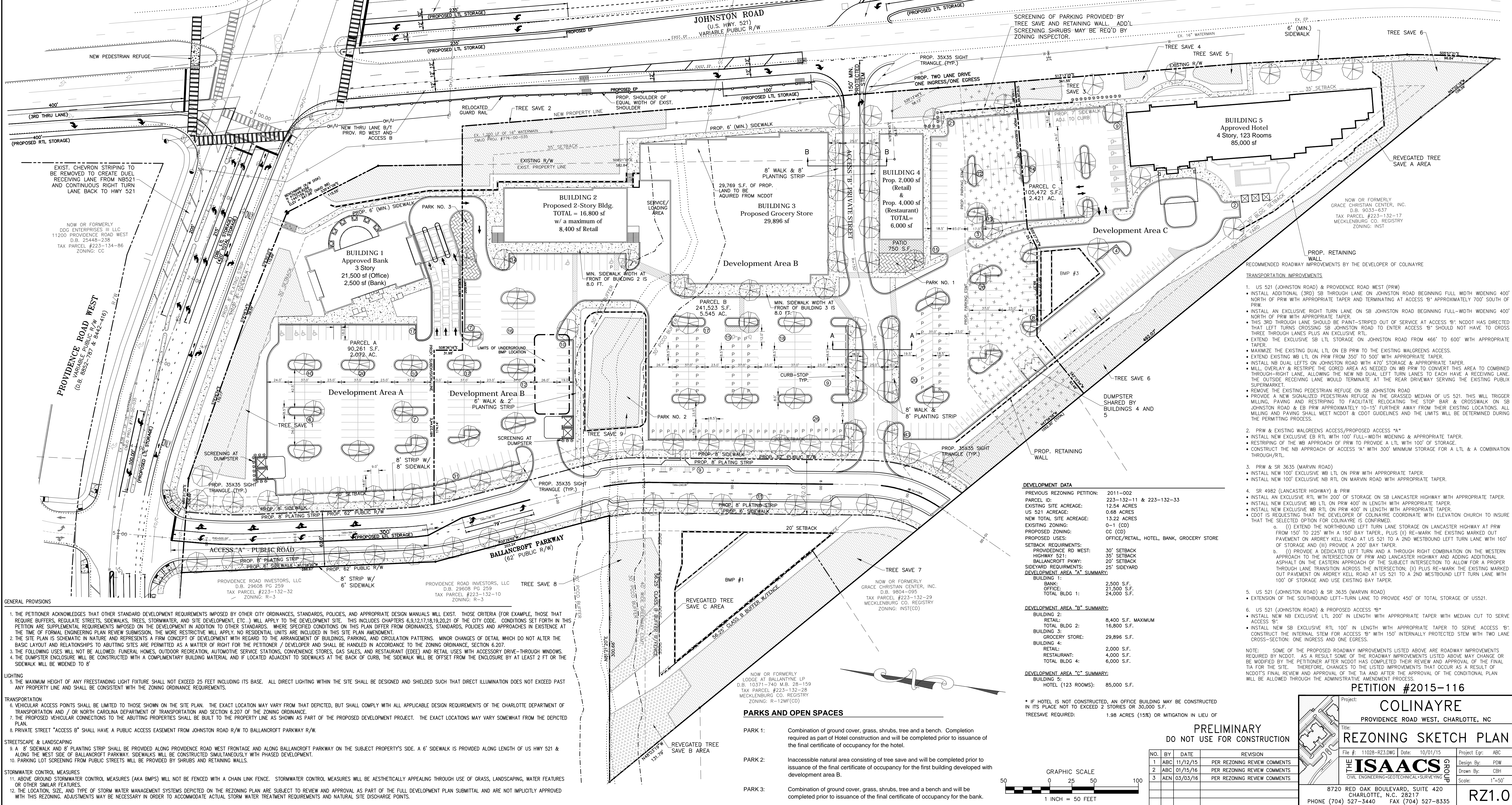


# COLINAYRE

## CHARLOTTE, NORTH CAROLINA



VICINITY MAP







a. SPECIALTY PAVERS, STAINED AND PATTERNOED CONCRETE/PAVING OR OTHER SIMILAR MEANS WILL BE USED TO CALL ATTENTION TO AMENITY AREAS, GATHERING SPACES, AND PLAZAS.

b. THE SCALE AND MASSING OF BUILDINGS LONGER THAN 150' ALONG A STREET FLEET SHALL BE MINIMIZED BY UTILIZING A COMBINATION OF THE FOLLOWING OPTIONS: (i) VARIOED ROOF LINES THROUGH THE USE OF SLOPES, MODULATED BUILDING HEIGHTS, GABLES, DORMERS OR INNOVATIVE ARCHITECTURAL SOLUTIONS; (ii) UTILIZE BUILDING CORNERS TO PROVIDE VISUAL INTEREST AT THE PEDESTRIAN LEVEL AS WELL AS TO DIFFERENTIATE ROOF LINES OR HIGHLIGHT GROUND FLOOR USES; (iii) UTILIZE HORIZONTAL AND VERTICAL VARIATIONS IN WALL PLANES; AND/OR (iv) PROVIDE ARCHITECTURAL PROTRUSION TO ACCENTUATE ENCLOSED BALCONIES

c. EXPANSES OF BLANK OR UNARTICULATED WALLS GREATER THAN 20 FEET IN LENGTH SHALL BE TREATED WITH A MINIMUM OF THREE OPTIONS BELOW:

- i. PROVIDE A HIGHER LEVEL OF TRANSPARENCY ON THE GROUND FLOOR, SUCH AS EXAGGERATED OR LARGER WINDOWS INDICATIVE OF LIVING AREAS OR RETAIL SPACES;
- ii. UTILIZE HORIZONTAL AND VERTICAL VARIATIONS IN WALL PLANES;
- iii. PROVIDE BUILDING EXTENSION FOR ENCLOSED BALCONIES;
- iv. UTILIZE CORNERS TO PROVIDE VISUAL INTEREST AT THE PEDESTRIAN LEVEL AS WELL AS TO DIFFERENTIATE ROOF LINES OR HIGHLIGHT GROUND FLOOR USES;
- v. PROVIDE AMENITY LANDSCAPING, SUCH AS A SITTING AREA WITH AN ARBOR; AND/OR
- vi. ANY OTHER ARCHITECTURAL IMPROVEMENTS AS ALLOWED BY THE ORDINANCE TO IMPROVE THE VISUAL AESTHETICS OF BLANK OR UNARTICULATED WALL.

d. BUILDING ENTRANCES SHALL BE AT OR SLIGHTLY ABOVE GRADE AND SHALL BE HIGHLY VISIBLE AND ARCHITECTURALLY TREATED AS PROMINENT PEDESTRIAN ENTRANCE THROUGH A COMBINATION OF AT LEAST FIVE (5) OF THE FOLLOWING FEATURES: (i) DECORATIVE PEDESTRIAN LIGHTING/SCONCES; (ii) ARCHITECTURAL DETAILS CARRIED THROUGH TO UPPER STORIES; (iii) COVERED PORCHES, CANOPIES, AWNINGS OR SUNSHADES; (iv) TRANSOM WINDOWS OR RAISED PLANTERS THAT CAN BE UTILIZED AS SEAT WALLS; (v) COMMON OUTDOOR SEATING ENHANCED WITH SPECIALTY DETAILS, PAVING, OR DOUBLE DOORS; (vi) DOUBLE DOORS; (vii) STOPS OR TRANSOM AND/OR (x) CONTRASTING PAVEMENT FROM PRIMARY SIDEWALK.

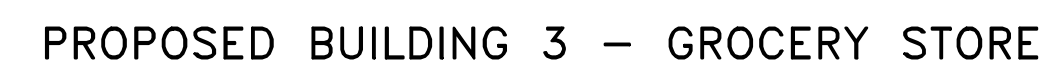
e. WHERE A BUILDING IS SERVED BY COMMON ENTRANCES (NOT INDIVIDUAL UNIT ENTRANCES) AND CANNOT ACHIEVE THE INTERVAL SPACING, COMMON USABLE OPEN SPACES, AMENITY AREAS OR COURTYARDS CAN BE UTILIZED TO BREAK UP THE WALL PLANE.

f. THE GROUND FLOOR SHALL ARCHITECTURALLY DIFFERENTIATE ACTIVE GROUND FLOOR USES SUCH AS COMMON AREAS, LOUNGES, AMENITY AREAS OR LEASING OFFICES FROM THE RESIDENTIAL USES OR UPPER STORIES.

g. BALCONIES WILL BE DESIGN SO THAT THEIR SIZE AND LOCATION MAXIMIZE THEIR INTENDED USE FOR OPEN SPACE. THE BALCONIES MAY ENCROACH INTO THE TRANSITION ZONE ABOVE THE FIRST STORY OF THE BUILDING.

h. ALL FACADES SHALL INCORPORATE WINDOWS, ARCHES, BALCONIES OR OTHER ARCHITECTURAL DETAILS ALONG WITH VARYING BUILD MATERIALS, OR ROOF LINES OR BUILDING OFFSETS.

i. DOORWAYS MUST BE RECESSED INTO THE FACADE OF THE BUILDINGS TO PROVIDE A MINIMUM EIGHT-FOOT CLEARANCE ALONG SIDEWALKS.



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