

## GENERAL PROVISIONS

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<b>01</b>	SITE PLAN
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The Site may only be devoted to a residential community containing a maximum of 18 for sale single family attached dwelling units and a maximum of 42 for rent or for sale multi-family dwelling units and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district.

- A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access point are subject to any minor modifications required by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT").
- B. Off-street vehicular parking for the Site shall meet the minimum and maximum requirements of the UR-2 zoning district. The parking spaces to be provided on the Site include the 2 car garage associated with each single family attached dwelling unit, such that the 2 parking spaces located within each garage are counted when determining the number of parking spaces provided on the Site.
- C. Bicycle parking will be provided on the Site as required by the Ordinance.
- D. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan. The internal sidewalks may meander to save existing trees.

A. The maximum height in stories of the building to be constructed on the Site that shall contain the multi-family dwelling units shall be 4 stories, including one level of partially underground parking.

B. The maximum height in stories of the single family attached dwelling units shall be 3 stories.

A. Landscaping will meet or exceed the requirements of the Ordinance.

B. Petitioner shall install a minimum 8 foot planting strip and a minimum 6 foot sidewalk along the Site's frontages on Park Road and Sharon Road as generally depicted on the Rezoning Plan.

C. Dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side. Alternatively, roll out trash and recycling containers may be utilized by the residents of this community.

A. Development of the Site shall be in compliance with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.

B. The location, size, and type of storm water management systems are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

C. Development of the Site shall comply with the City of Charlotte Tree Ordinance. Tree save areas are depicted on the Rezoning Plan.

All signs installed on the Site shall comply with the requirements of the Ordinance.

A. All freestanding lighting fixtures installed on the Site (excluding lower, decorative lighting that may be installed along the driveways, sidewalks and parking areas and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.

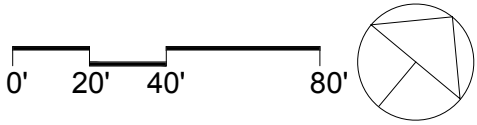
B. The maximum height of any freestanding lighting fixture installed on the Site shall be 20 feet.

C. Any lighting fixtures attached to the buildings to be constructed on the Site shall be decorative, capped and downwardly directed.

A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.

B. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



**Tax Parcel ID#:** 179-112-39  
179-112-40  
179-112-41

**Total Site Acreage:** 4.66 acres

**Existing Zoning:** R-3

**Existing Uses:** Single Family

**Proposed Zoning:** UR-2 (CD)

**Proposed Uses:** Multi-Family Residential and  
Single Family Attached Residential

**Setback Requirements:** 14' Setback

**Sideyard Requirements:** 5' Sideyard

**Rearyard Requirements:** 10' Rearyard

**Buffer Requirements:** 10' Class C Buffer

**Development Totals:**

- Multi-Family Units: 42 Units
- Single Family Detached Dwellings: 18 Units
- Residential Density: 12.8 Units/Acre

**Maximum Building Height:** 3 Stories Maximum (Townhouses)  
4 Stories Maximum (Multi-Family)  
(Including 1 level of parking  
below units)

**Tree Save Areas:** (15%) min.

**Parking:** 60 Spaces Minimum/ 120 Spaces Maximum  
(Including enclosed garages of Townhomes)

PETITION # XXX  
FOR PUBLIC HEARING

# SITE PLAN

# RZ-1

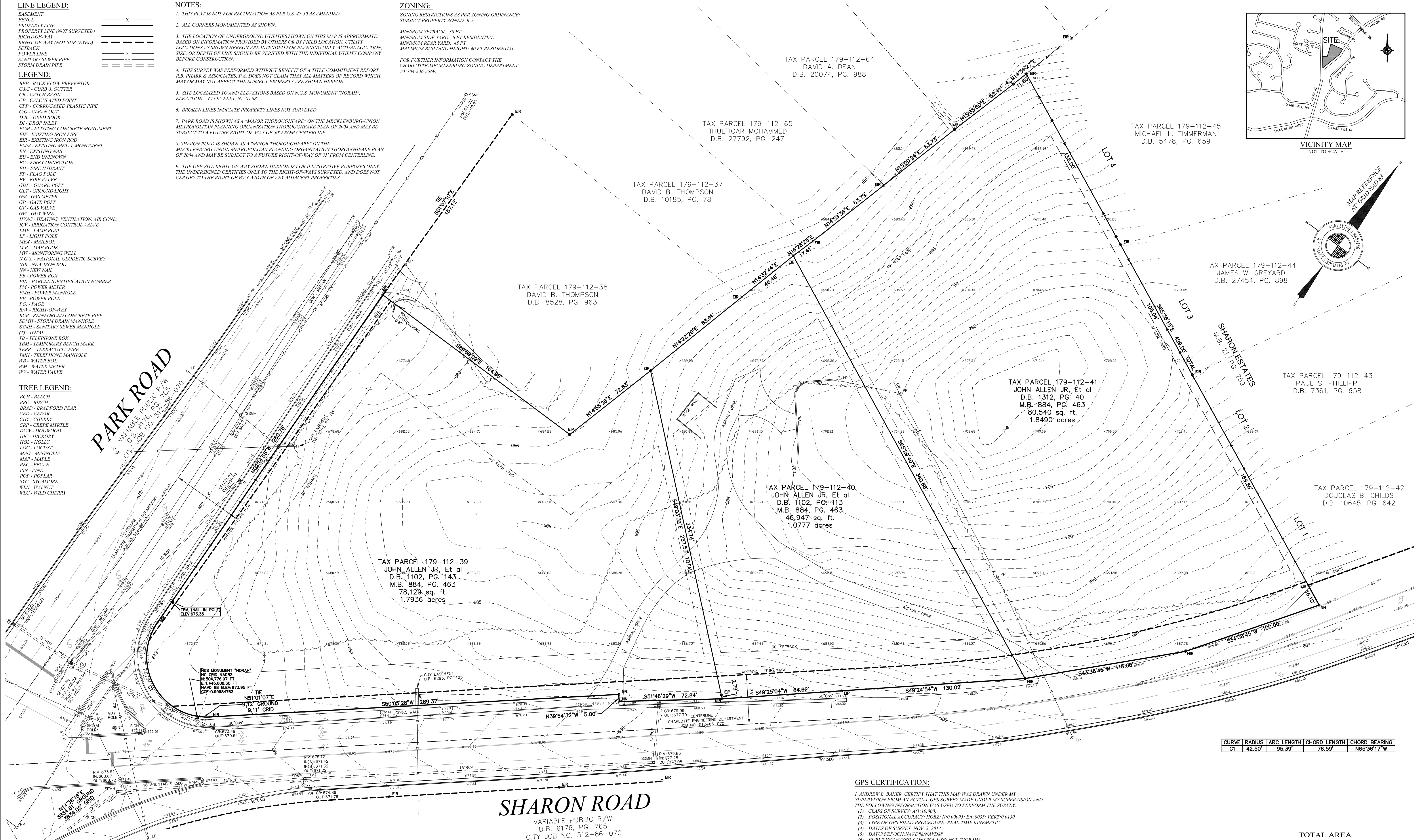


- LINE LEGEND:**
- EASEMENT  
FENCE  
PROPERTY LINE  
PROPERTY LINE (NOT SURVEYED)  
RIGHT-OF-WAY  
RIGHT-OF-WAY (NOT SURVEYED)  
SETBACK  
POWER LINE  
SANITARY SEWER PIPE  
STORM DRAIN PIPE
- LEGEND:**
- BFP - BACK FLOW PREVENTOR  
C&G - CURB & GUTTER  
CB - CATCH BASIN  
CP - CALCULATED POINT  
CPP - CORRUGATED PLASTIC PIPE  
CO - CLEAN OUT  
D.B. - DEAD BOOK  
DI - DROP INLET  
ECM - EXISTING CONCRETE MONUMENT  
EIP - EXISTING IRON PIPE  
EIR - EXISTING IRON ROD  
EMM - EXISTING METAL MONUMENT  
EN - EXISTING NAIL  
EU - END UNKNOWN  
FC - FIRE CONNECTION  
FH - FIRE HYDRANT  
FP - FLAG POLE  
FV - FIRE VALVE  
GDP - GUARD POST  
GLT - GROUND LIGHT  
GM - GAS METER  
GP - GATE POST  
GV - GAS VALVE  
GW - GUY WIRE  
HVAC - HEATING, VENTILATION, AIR COND.  
ICV - IRRIGATION CONTROL VALVE  
LMP - LAMP POST  
LP - LIGHT POLE  
MBX - MAILBOX  
M.B. - MAP BOOK  
MW - MONITORING WELL  
N.G.S. - NATIONAL GEODETIC SURVEY  
NIR - NEW IRON ROD  
NN - NEW NAIL  
PB - POWER BOX  
PIN - PARCEL IDENTIFICATION NUMBER  
PM - POWER METER  
PMH - POWER MANHOLE  
PP - POWER POLE  
PG - PAGE  
R.W. - RIGHT-OF-WAY  
RCP - REINFORCED CONCRETE PIPE  
SDMH - STORM DRAIN MANHOLE  
SSMH - SANITARY SEWER MANHOLE  
T - TOTAL  
TB - TELEPHONE BOX  
TBM - TEMPORARY BENCH MARK  
TERP - TERRACOTTA PIPE  
TMF - TELEPHONE MANHOLE  
WB - WATER BOX  
WM - WATER METER  
WV - WATER VALVE

- TREE LEGEND:**
- BCH - BEECH  
BRC - BIRCH  
BRAD - BRADFORD PEAR  
CED - CEDAR  
CHI - CHERRY  
CRP - CREPE MYRTLE  
DGM - DOGWOOD  
HIC - HICKORY  
HOL - HOLLY  
LOC - LOCUST  
MAG - MAGNOLIA  
MAP - MAPLE  
PEC - PECAN  
PIN - PINE  
POP - POPLAR  
SYC - SYCAMORE  
WLN - WALNUT  
WLC - WILD CHERRY

- NOTES:**
1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
  2. ALL CORNERS MONUMENTED AS SHOWN.
  3. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
  4. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
  5. SITE LOCALIZED TO AND ELEVATIONS BASED ON N.G.S. MONUMENT "NORAH", ELEVATION = 673.95 FEET, NAVD 88.
  6. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
  7. PARK ROAD IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.
  8. SHARON ROAD IS SHOWN AS A "MINOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 33' FROM CENTERLINE.
  9. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

- ZONING:**
- ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: R-3
- MINIMUM SETBACK: 30 FT  
MINIMUM SIDE YARD: 6 FT RESIDENTIAL  
MINIMUM REAR YARD: 45 FT  
MAXIMUM BUILDING HEIGHT: 40 FT RESIDENTIAL
- FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3569.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	42.50'	95.39'	76.59'	N65°36'17\"W

**GPS CERTIFICATION:**

I, ANDREW B. BAKER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: A1 (10,000)
- (2) POSITIONAL ACCURACY: HORIZ: N:0.00095; E:0.00135; VERT:0.0130
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
- (4) DATES OF SURVEY: NOV. 3, 2014
- (5) DATUM/EPOCH/NAID/NOV/D08
- (6) PUBLISHED/FIXED-CONTROL USE: NGS "NORAH"
- (7) GEOID MODEL: GEOID03(CONUS)
- (8) COMBINED GRID FACTOR(S): 0.99984763
- (9) UNITS: US FEET

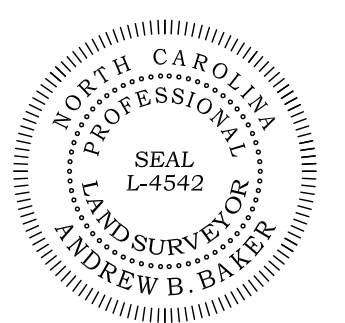
**FLOOD CERTIFICATION**

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 15, 2014.

MAP NUMBER: 3710454000K, ZONE X

THIS IS TO CERTIFY THAT ON THE 31 DAY OF OCTOBER 20 14, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. BOARD RULE 1600 (2) NCAC 50 AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 5 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED: Andrew B. Baker



**TOTAL AREA**  
205,616 sq. ft.  
4.7203 acres

REVISIONS			SURVEY PREPARED FOR:		
11/20/14 - REMOVE TREES.			MISSION PROPERTIES, LLC		
			6900 SHARON RD. CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.		
			MAP REFERENCE: 884-463 DEED REFERENCE: 1102-143; 1102-113; & 1312-40 TAX PARCEL NO: 179-112-39; 179-112-40; & 179-112-41		
			R.B. PHARR & ASSOCIATES, P.A.		
			SURVEYING & MAPPING LICENSE NO. L-247 420 HAWTHORNE LANE CHARLOTTE, NC 28204 TEL. (704) 376-2186		
CREW:	DRAWN:	REVISED:	SCALE:	DATE:	FILE NO. W-4672
TR	CEB		1"=30'	OCT. 31, 2014	JOB NO. 82174

- UTILITIES:**
- POWER  
DUKE POWER ENERGY  
1-800-777-9898
- TELEPHONE  
BELL SOUTH TELECOMMUNICATIONS  
1-888-757-6500
- WATER & SEWER  
CHAR-MECK. UTILITY DEPT. (CMUD)  
(704) 336-3564 WATER  
(704) 357-6064 SEWER
- GAS  
PIEDMONT NATURAL GAS CO.  
1-800-752-7504
- CABLE TELEVISION  
TIME WARNER CABLE  
1-800-892-2253

