

C.L. Helt, Architect Inc.

1136 Greenwood Cliff
Charlotte, NC 28204

Ph. 704-342-1686
Fx. 704-343-0054
E-MAIL CHETHELT @ AOL.COM

ARCHITECT'S PROJECT # 98267

Project :
PARK SELWYN PHASE II
2003 E. WOODLAWN RD
CHARLOTTE, N.C.

Sheet Description :
SITE PLAN FOR
PARK SELWYN, LLC
REZONING PETITION
NO. 2014-000

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CHESTER LEROY HELT, ARCHITECT

Drawn By :
Gambill

Checked By :
Craig

Revisions :

1

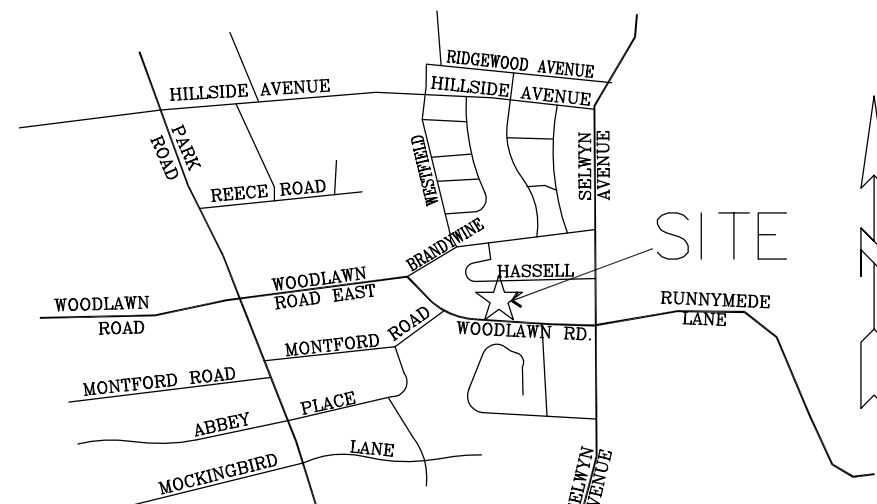
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Seal

Date :
06-10-14

Sheet No.
SP-1
of : .



5 VICINITY PLAN
SP-1 NOT TO SCALE
Petition No. 99-34
2003 WOODLAWN ROAD

SITE DATA/SUMMARY:

OWNERS: JOHN MAXWELL & MARCELLO HALPERN
222 N. SHARON AMITY ROAD
CHARLOTTE, NC 28211

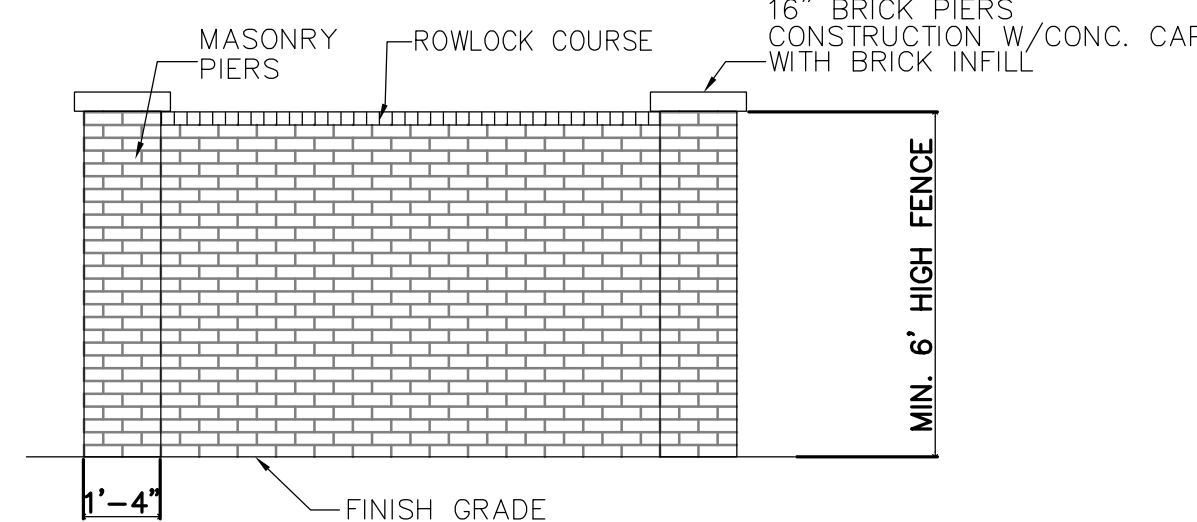
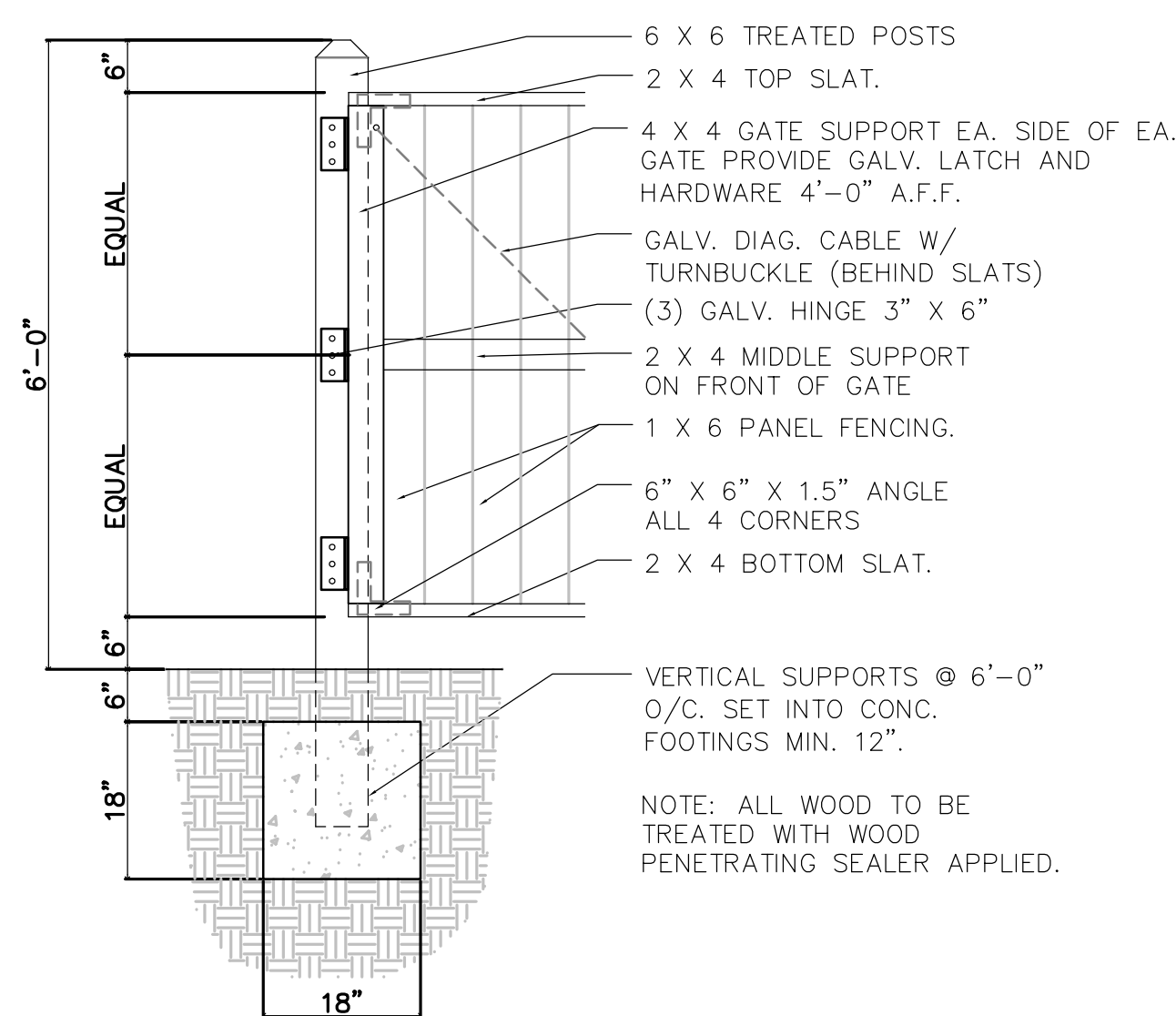
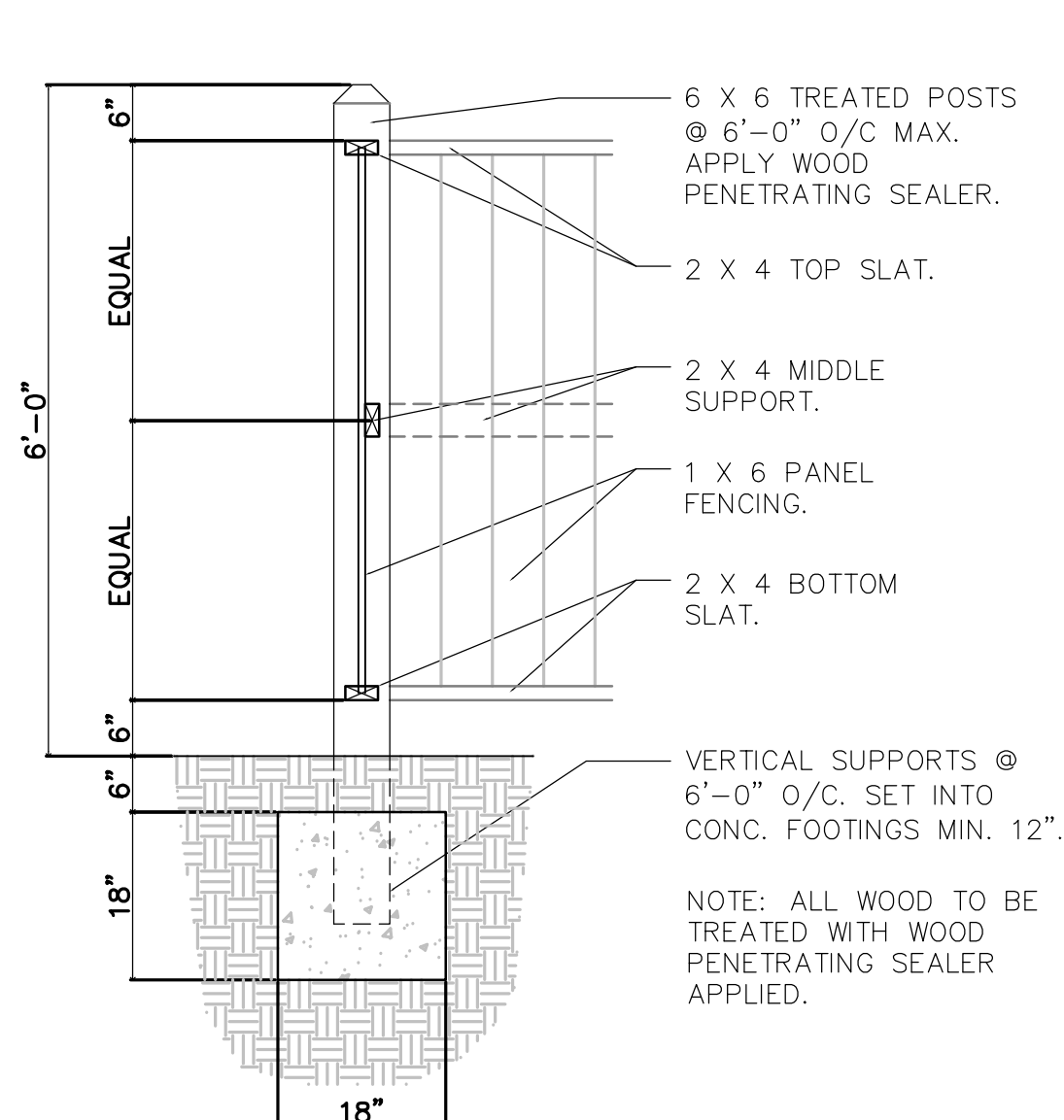
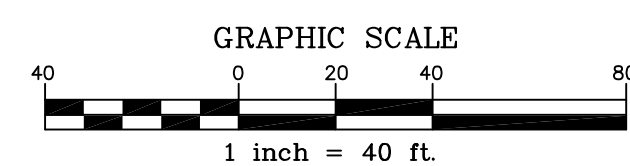
SITE ADDRESS: PARK SELWYN APARTMENTS
2000 EAST WOODLAWN ROAD
CHARLOTTE, NC

PARK SELWYN, LLC
DEVELOPMENT STANDARDS
06/19/14
REZONING PETITION NO. 2014-000

ACREAGE: ±1.20 ACRES
TAX PARCEL #: #175-151-37
EXISTING ZONING: UR-2 (CD)
PROPOSED ZONING: UR-2 (CD) SPA (REZONING PETITION # 2014-000)
EXISTING USES: 16 MULTI-FAMILY RESIDENTIAL DWELLING UNITS
PROPOSED USES: TO ADD EIGHT (8) MULTI-FAMILY RESIDENTIAL DWELLING UNITS
TO THE SITE; A TOTAL OF 24 MULTI-FAMILY RESIDENTIAL UNITS
TOGETHER WITH ACCESSORY USES AS ALLOWED IN THE UR-2
ZONING DISTRICT WILL BE ALLOWED ON THE SITE.
MAXIMUM NO. OF DWELLINGS: 8 units
PARKING REQUIRED: A MINIMUM OF 1.5 PARKING SPACES PER UNIT, WITH 10% ALLOWED
PARKING PROVIDED: 10 spaces phase 2, 31 spaces phase 1, 41 total spaces
29 @ 9 FT. X 18 FT, 1 HC @ 13 FT. X 18 FT.
MINIMUM SETBACK: 5 FEET
MINIMUM REAR YARD: 10 FEET
MINIMUM SIDE YARD: 10 FEET
MINIMUM LOT WIDTH: 20 FEET
MAXIMUM FLOOR AREA RATIO: 1.0
MAXIMUM EAVE HEIGHT: (REAR) 23'-5" FEET
MAXIMUM HEIGHT (TOP OF ROOF): NOT TO EXCEED THREE (3) STORIES, BUILDING HEIGHT WILL
BE MEASURED AS DEFINED BY THE ORDINANCE.
SCREENING FOR PARKING: AS REQUIRED
PLANTING STRIP: MIN. 5 FEET WIDE
SCREENING HEIGHT: 2'-6" H (Evergreens) min. 5' O.C.
6 Ft. Ht. abutting Residential Area

GENERAL NOTES:

1. THE PROPOSED SITE PLAN REPRESENTS A FIRM CONCEPT WITH REGARD TO THE ARRANGEMENT OF THE BUILDING, PARKING AND CIRCULATION LAYOUT. MINOR AND INCIDENTAL CHANGES ARE PERMITTED AS A MATTER OF RIGHT WHICH WOULD NOT ALTER THE BASIC RELATIONSHIP TO ADJUTING LAND. SUCH CHANGES WOULD BE BASED UPON FINAL DESIGN AND CONSTRUCTION DRAWINGS, SITE AND TOPOGRAPHIC CONSTRAINTS, TREE PRESERVATION EFFORTS, ETC.
2. THE PROPOSED DEVELOPMENT WILL ADD ONE BUILDING WITH A MAXIMUM OF EIGHT DWELLINGS TO AN APPROVED MULTIFAMILY DEVELOPMENT. INCIDENTAL ACCESSORY STRUCTURES NORMALLY ASSOCIATED WITH SUCH DEVELOPMENT ARE ALSO PERMITTED.
3. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE ZONING ORDINANCE REGULATIONS PERTAINING TO, BUT NOT LIMITED TO SUCH THINGS AS: OFF-STREET PARKING, SIGNAGE, YARD DIMENSIONS, TREE ORDINANCE, SCREENING, ETC.
4. SCREENING IN THE FORM OF A SIX-FOOT HIGH SCREENING WALL CONSTRUCTED OF BRICK SHALL BE PROVIDED ALONG THE REAR PROPERTY LINE AS SHOWN ON THE PLAN.
5. VEHICULAR INGRESS AND EGRESS SHALL BE PROVIDED FROM WOODLAWN ROAD BY WAY OF ONE DRIVEWAY CURB CUT. THE DRIVEWAY MAY SHIFT SLIGHTLY IF REQUIRED BY CHARLOTTE DEPARTMENT OF TRANSPORTATION REGULATIONS OR OTHER DESIGN NEEDS.
6. THE PROPOSED BUILDING EXTERIOR FINISH SHALL BE A COMBINATION OF BRICK AND SIDING MATERIALS. THE OVERALL ARCHITECTURAL DESIGN OF THE BUILDING WILL MATCH THE EXISTING BUILDINGS IN BOTH SCALE AND STYLE. (ALSO REFER TO ARCHITECTURAL ELEVATIONS)
7. THE LOWER PORTION OF THE SITE SHALL REMAIN AS UNDISTURBED OPEN SPACE EXCEPT FOR UTILITY CONNECTIONS AND/OR REQUIRED IMPROVEMENTS (SEE ALSO NOTE 18).
8. ANY TRASH DUMPSTER LOCATED ON THE SITE SHALL BE LOCATED WITHIN AN ENCLOSURE WITH GATES. IT IS INTENDED THAT THE PROPOSED BUILDING WILL USE THE EXISTING DUMPSTER. THE MAXIMUM HEIGHT OF PARKING AREA LIGHTING SHALL BE TEN FEET. ALL OUTDOOR LIGHTING SHALL BE DESIGNED IN A FASHION TO DIRECT THE LIGHT AWAY FROM, OR SHIELD THE LIGHT FROM RESIDENTIAL AREAS.
9. THE PETITIONER SHALL INSTALL RESIDENTIAL TYPE BUILDING SPRINKLERS.
10. LARGE MATURING TREES PLANTED AT 30'-0" O.C. THAT WILL BE APPLIED TO THE REQUIREMENTS OF THE TREE ORDINANCE WILL BE PLACED IN THE REAR YARD.
11. PER C.D.O.T. APPROVAL 3/18/02 SITE IS AMENDED TO SHOW 5 FT. POSSIBLE FUTURE CURB LINE WITH A 14 FT. SETBACK
12. THE PORTION OF THE REGULATED FLOODPLAIN ASSOCIATED WITH THE SITE SHALL REMAIN UNDISTURBED EXCEPT FOR ANY NECESSARY / REQUIRED UTILITY CONNECTION(S).
13. THE BUILDING WILL BE SETBACK FROM THE REAR PROPERTY LINE APPROXIMATELY TWENTY FEET TO MATCH THE EXISTING BUILDINGS. IN NO CASE WILL THE BUILDING BE WITHIN THE REQUIRED TEN FOOT MINIMUM rear setback.
14. THE REAR BUILDING ELEVATION FACING THE REAR OF THE HASSELL PLACE RESIDENTS ADJOINING THE SITE SHALL CONSIST OF AN ALL MASONRY VENEER, WHICH MAY BE ACCENTED BY SIDING ON THE PERPENDICULAR AREAS NOT FACING THE HASSELL PLACE RESIDENTS.
15. THE SITE DISCHARGES INTO A REGULATED FLOODPLAIN OF LITTLE SUGAR CREEK AND THUS NO STORMWATER RETENTION IS REQUIRED OR PROVIDED.
16. THE ATTACHED ARCHITECTURAL ELEVATIONS ARE INTENDED TO DEPICT THE GENERAL ARCHITECTURAL STYLE OF THE BUILDINGS. MINOR CHANGES AND ALTERATIONS OF DETAIL WHICH DO NOT CHANGE THE OVERALL ARCHITECTURAL THEME/STYLE ARE PERMITTED BASED UPON FINAL DESIGN/CONSTRUCTION DRAWINGS. THE BUILDINGS MAY EMPLOY COMPLIMENTARY DIFFERENCES IN COLOR PERTAINING TO BRICK, ROOF SHINGLES AND TRIM ACCENTS.
17. AS INDICATED ON THE SITE PLAN, THE LOWER PORTION OF THE SITE SHALL BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT AS PASSIVE PUBLIC OPEN SPACE. THE AREA MAY BE IMPROVED BY THE ADDITION OF WALKING TRAILS, PICNIC TABLES, AND/OR OTHER SIMILAR FIXTURES. THE DEDICATION WILL OCCUR PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.
18. THE WALL WILL BE BUILT AND COMPLETED IMMEDIATELY FOLLOWING THE GRADING AND SITEWORK FOR THE PROJECT AND PRIOR TO ANY ADDITIONAL CONSTRUCTION OR DEVELOPMENT BY PARK SELWYN, LLC, ON THE SITE.
19. THE HOURS OF CONSTRUCTION WILL CONFORM TO APPLICABLE STATE AND LOCAL LAWS RESTRICTING CONSTRUCTION HOURS. ADDITIONALLY, NO EXTERIOR WORK OF ANY KIND WILL TAKE PLACE ON SUNDAYS. THERE WILL BE NO RESTRICTIONS ON TILING, PAINTING, OR SIMILAR INTERIOR WORK.



4 SCREEN FENCE W/ MASONRY PIERS
SP-1 NOT TO SCALE

3 WOOD GATE DETAIL
SP-1 NOT TO SCALE

2 WOOD FENCE DETAIL
SP-1 NOT TO SCALE

