

By Michael Cataldo at 11:39 am, May 18, 2012

**DAVID E. JARRELL
RENAE J. JARRELL
DB. 12290, PG. 692
PIN 20109116
Zoning R3**

**PARTNERSHIP STEELE CREEK
LIMITED
DB. 9064, PG. 72
PIN 19924113
Zoning CC**

Curve Data

$\Delta = 3^{\circ}04'55''$
 $R = 1415.50'$
 $T = 76.13'$
 $ChD = N38^{\circ}33'56''E$
 $L = 76.14'$

Curve Data

$\Delta = 2^\circ 40' 15''$
 $R = 1415.50'$
 $T = 65.98'$
 $\text{ChD} = \text{N}35^\circ 41' 11'' \text{E}$
 $L = 65.99'$

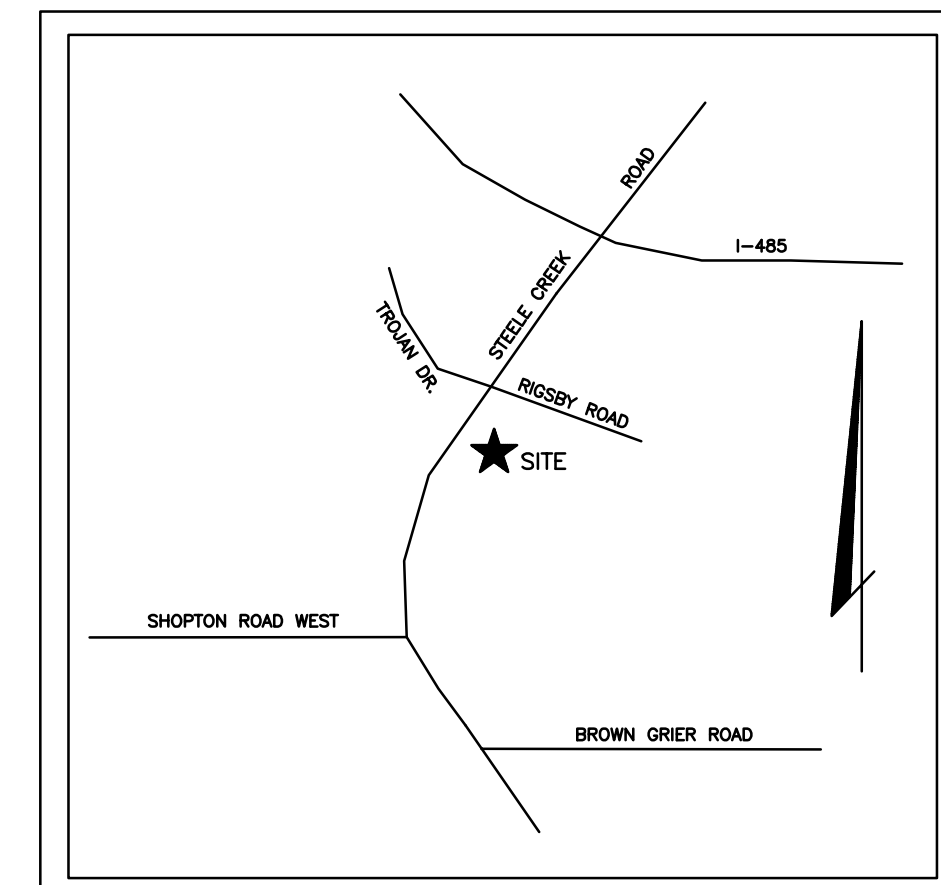
DEBORAH DOWLING
DB. 14054, PG. 931
3.29 AC.±
PIN 20109104
Zoning R3

Curve Data

$\Delta = 5^{\circ}39'01''$
 $R = 1415.50'$
 $T = 139.54'$
 $\text{ChD} = \text{N}30^{\circ}09'06''\text{E}$
 $L = 139.59'$

N 73°45'21" W - 567.01'

FORREST C. FREEMAN
GERTRUDE H. FREEMAN
DB. 1444, PG. 527
PIN 20109107
Zoning R3



LOCATION MAP
Not to Scale

DEVELOPMENT DATA

Site Acreage:
Existing Total: 5.45± Acres (234,402 SF)

Lot A = 1.40± Acres(61,027 SF)
Lot B = 1.17± Acres(51,002 SF)
Lot C = 0.80± Acres(34,640 SF)
Lot D = 1.09± Acres(47,688 SF)
Right of Way = 0.99± Acres(43,070 SF)
Total = 5.45± Acres(237,427 SF)

Tax Parcel Nos.: 201--09--104
201--09--114

Existing Zoning: R-3

Proposed Zoning:

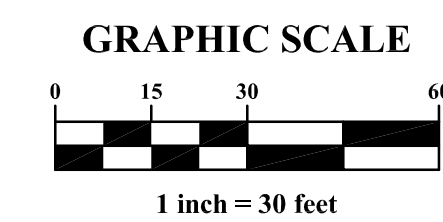
Existing Use: Single Family Residential
Proposed Use:
Lot A = Maximum 122,054 SF of all
uses allowed within the NS District
Lot B = Maximum 30,600 SF of all O-1
uses allowed within the NS District
Lot C = Maximum 20,780 SF of all O-1
uses allowed within the NS District
Lot D = Maximum 95,377 SF of all
uses allowed within the NS District

Floor Area Ratio: Lot A & D = As permitted by NS District
Lot B & C = As permitted by O-1 District

Maximum Building Height: 40 Feet, not to exceed 2 stories

Shall meet the requirements of Chapter 12,
Part 2 "Off-Street and Loading," of the
Zoning Ordinance. Lot D shall provide
one space per 100SF of building

Tree Save Area: Total Required = 194,357 SF (.15) = 29154 SF
Lot A = 5,900 SF
Lot B = 10,930 SF
Lot C = 6,485 SF
Lot D = 5,850 SF
Total = 29,165 SF



MARK	DATE	DESCRIPTION
1	5/18/12	REVISED PER CITY OF CHARLOTTE COMMENTS

**PROFESSIONAL DEVELOPMENT
GROUP, LLC**
8206-1200 PROVIDENCE ROAD #327
CHARLOTTE, NC 28277

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
EXISTING SITE CONDITIONS
FOR
BEREWICK COMMONS

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
301 McCullough Dr., Ste. 109, Charlotte, NC 28262
Phone: 704.548.0333 Toll Free: 888.775.3648

DATE
May 18, 2012

SCALE

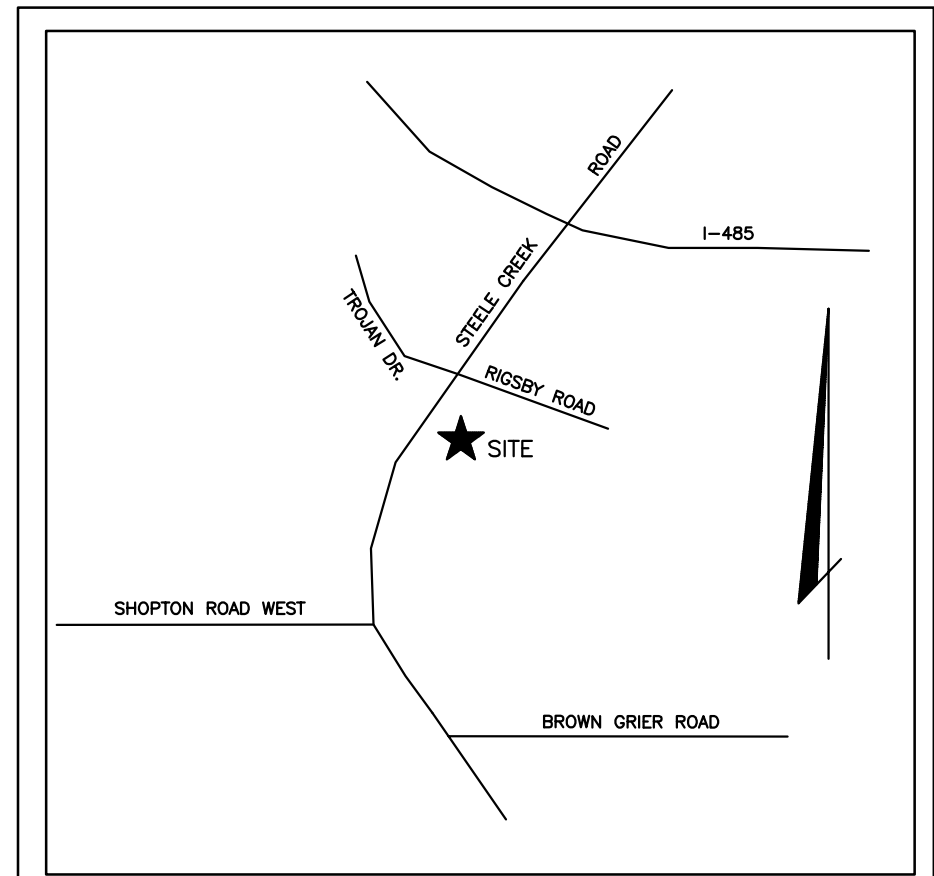
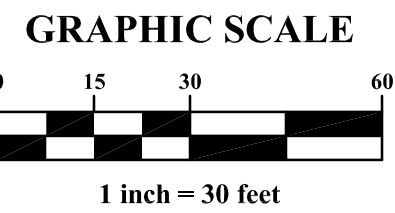
1" = 30'

JOB NO.
20111544

SHEET

14

Petition 2012-059



LOCATION MAP
Not to Scale

DEVELOPMENT DATA

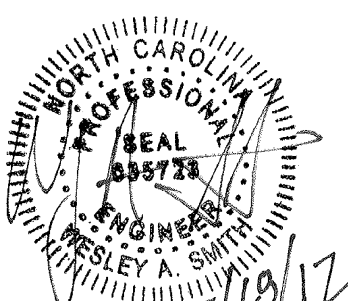
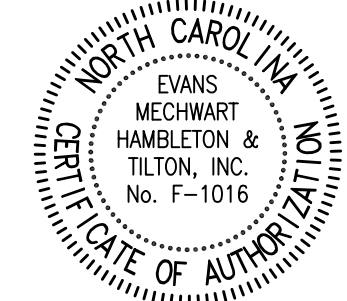
Site Acreage:	
Existing Total:	5.45± Acres (234,402 SF)
Proposed:	Lot A = 1.40± Acres(61,027 SF) Lot B = 1.17± Acres(51,002 SF) Lot C = 0.80± Acres(34,640 SF) Lot D = 1.09± Acres(47,688 SF) Right of Way = 0.99± Acres(43,070 SF) Total = 5.45± Acres(237,427 SF)
Tax Parcel Nos.:	201-09-104 201-09-114
Existing Zoning:	R-3
Proposed Zoning:	NS
Existing Use:	Single Family Residential
Proposed Use:	Lot A = Maximum 122,054 SF of all uses allowed within the NS District Lot B = Maximum 30,600 SF of all 0-1 uses allowed within the NS District Lot C = Maximum 20,780 SF of all 0-1 uses allowed within the NS District Lot D = Maximum 95,377 SF of all uses allowed within the NS District
Floor Area Ratio:	Lot A & D = As permitted by NS District Lot B & C = As permitted by 0-1 District
Maximum Building Height:	40 Feet, not to exceed 2 stories
Parking:	Shall meet the requirements of Chapter 12, Part 2 "Off-Street and Loading," of the Zoning Ordinance. Lot D shall provide one space per 100SF of building
Tree Save Area:	Total Required = 194,357 SF (.15) = 29154 SF Lot A = 5,900 SF Lot B = 10,930 SF Lot C = 6,485 SF Lot D = 5,850 SF Total = 29,165 SF
TBR = To Be Removed	

NOTE: All dimensions are from face of curb unless otherwise noted.

NOTE: Locations of 5' sidewalk connection to public street walks are subject to change upon development.

LEGEND

- = Proposed Tree
- = Proposed Sidewalk
- = Proposed Landscape Wall
- = Potential Tree Save Area (NOTE: Developer of each lot may utilize the measures as per sections 21-94 of the Tree Ordinance for the NS zoning district.)

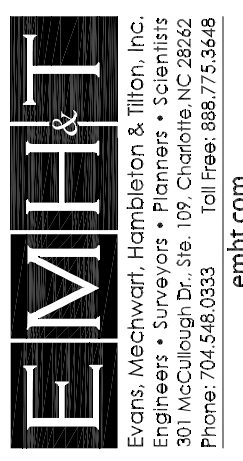


Petition 2012-059

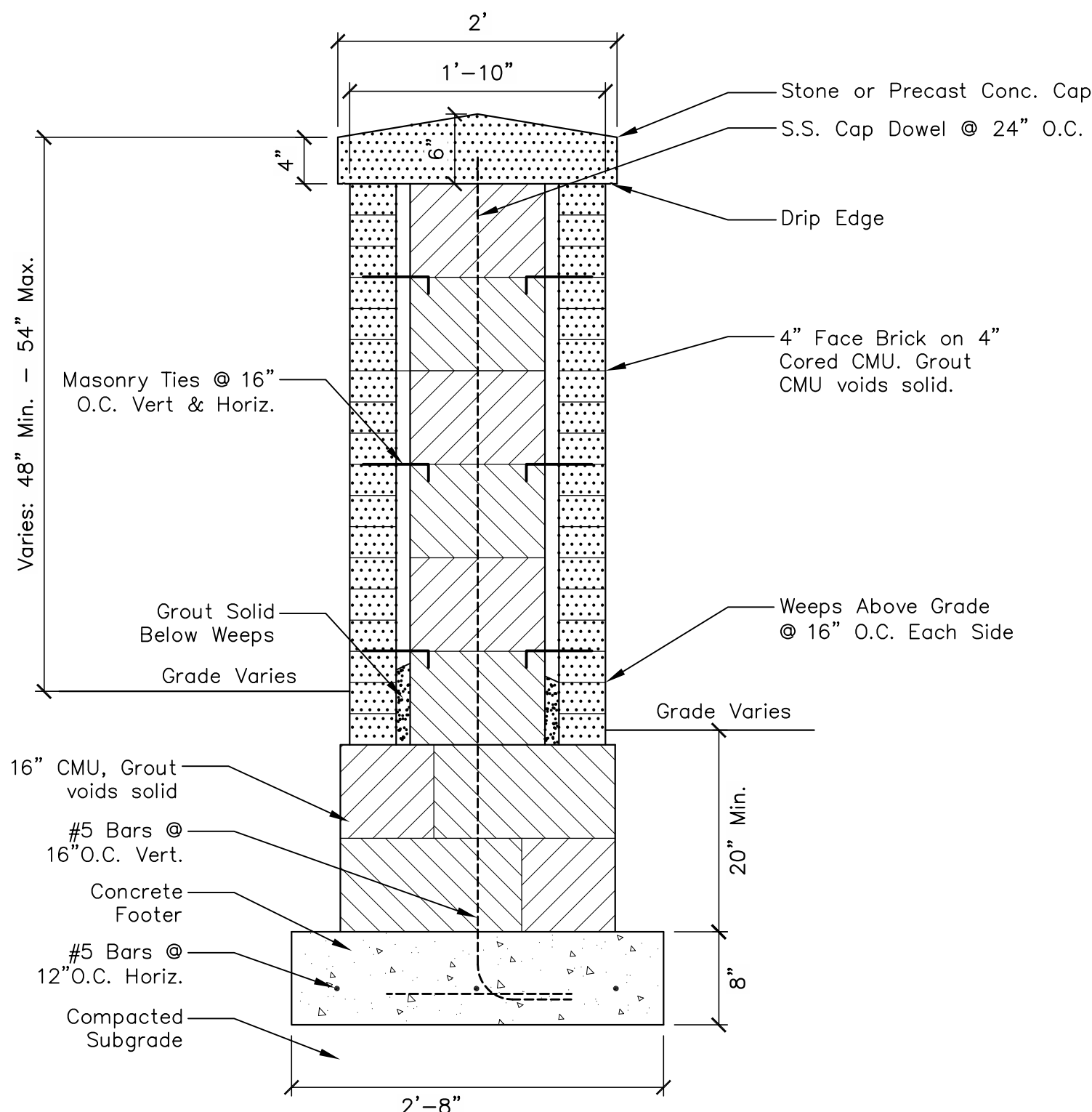
MARK	DATE	DESCRIPTION
1	5/18/12	REVISED PER CITY OF CHARLOTTE COMMENTS

PROFESSIONAL DEVELOPMENT GROUP, LLC
8206-1200 PROVIDENCE ROAD #327
CHARLOTTE, NC 28277

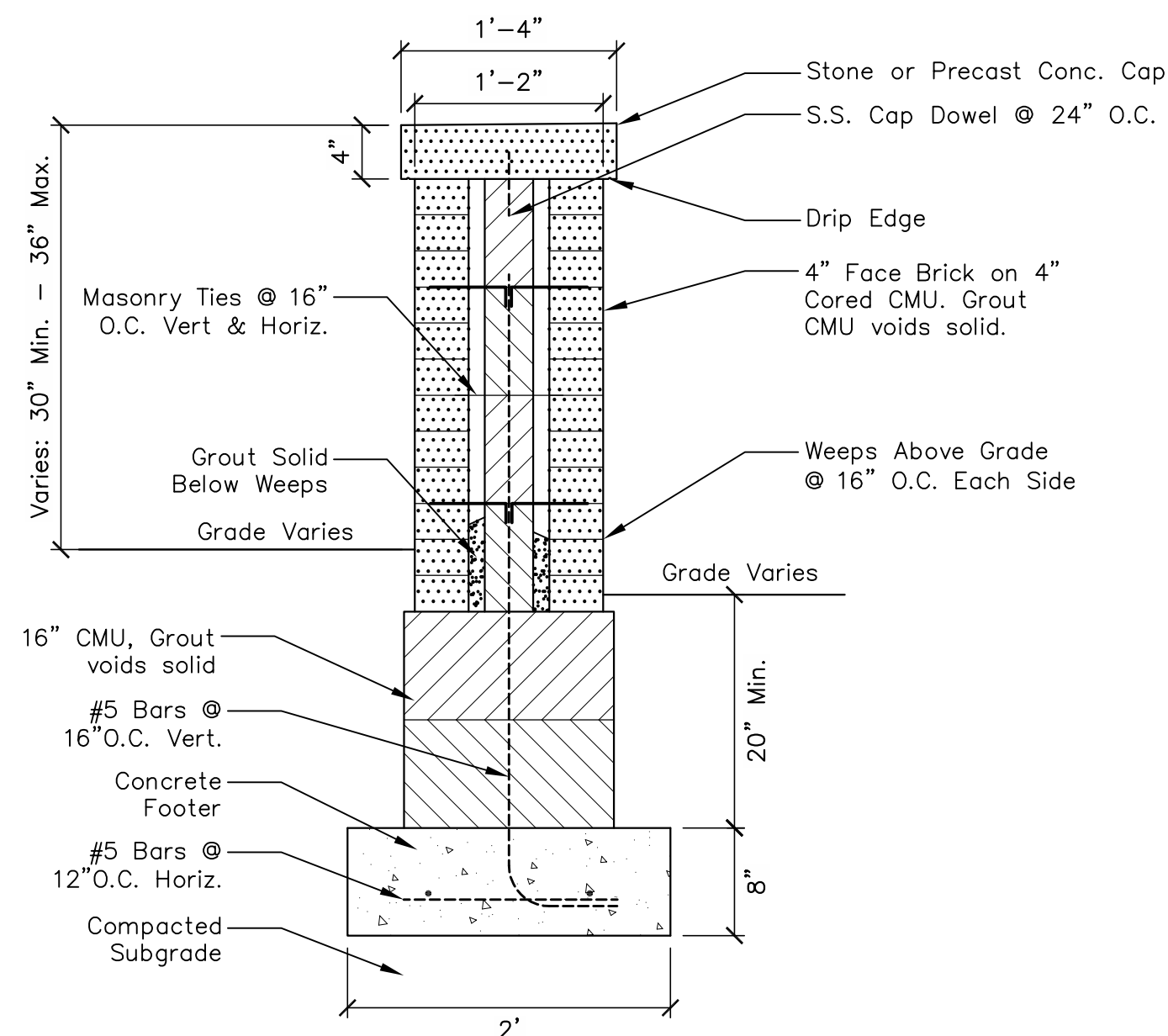
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
FOR
SKETCH PLAN
BEREWICK COMMONS



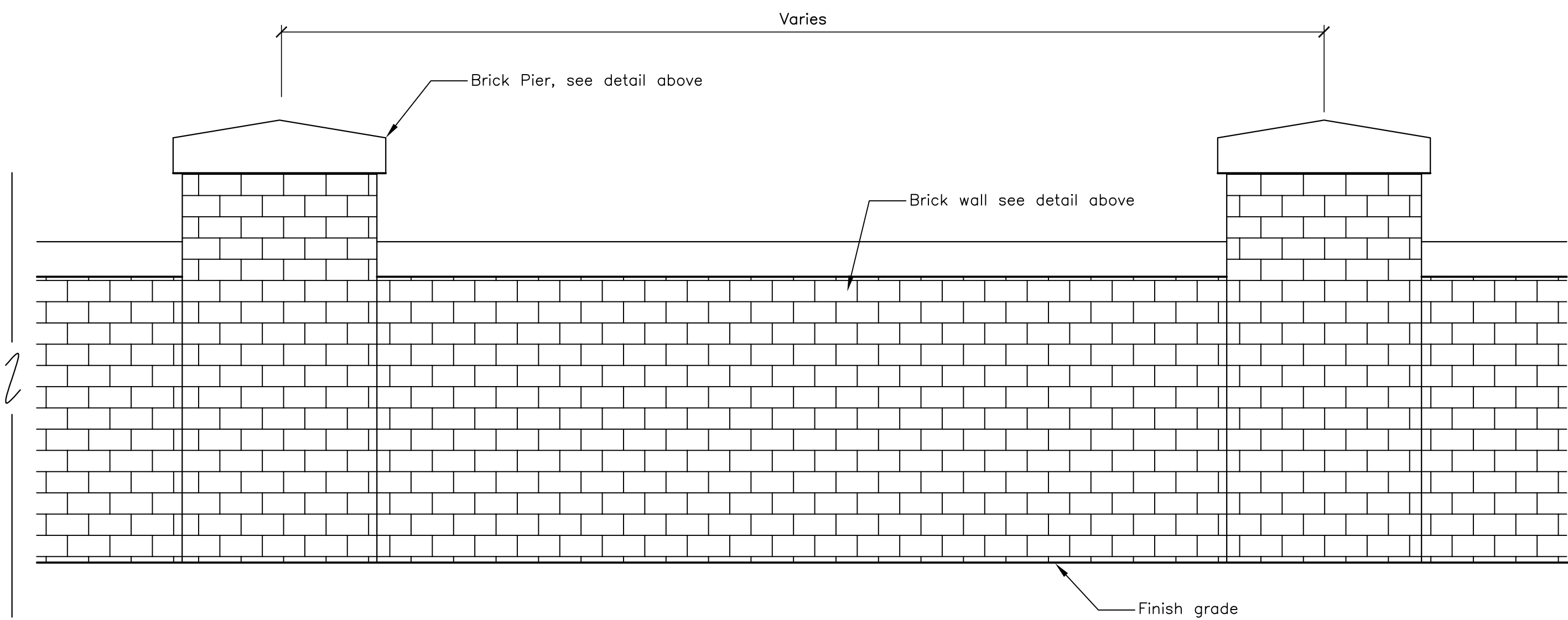
DATE	May 18, 2012
SCALE	As Noted
JOB NO.	20111544
SHEET	2/4



BRICK PIER
No Scale



BRICK WALL
No Scale

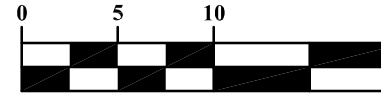


BRICK WALL ELEVATION
No Scale

GENERAL NOTES

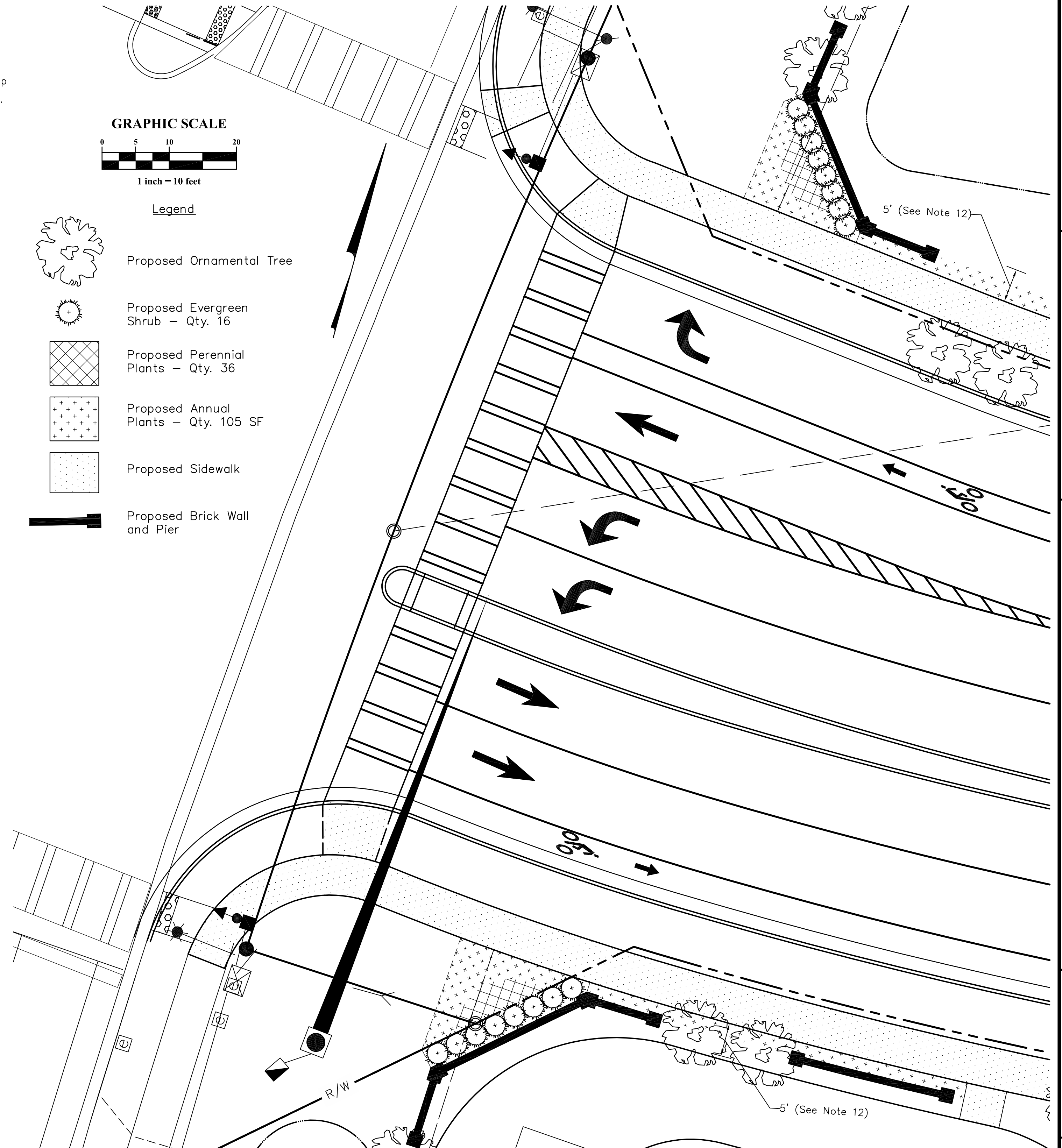
1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the sub-grade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, 2004. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. All planting operations shall adhere to American Nursery & Landscape Association standards unless noted otherwise.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
6. Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
7. All annuals to be selected from available seasonal stock. Submit annual planting plan to Owner for approval prior to installation.
8. Brick walls and planted areas shall be constructed by the associated property owner of each lot.
9. The brick type utilized for the walls shall be coordinated with the brick type used in the construction of the buildings for lots A through D.
10. All brick walls constructed shall be the same type, color, size and manufacturer throughout each lot.
11. The brick wall shown is subject to change pending staff approval.
12. There shall be a 5' wide planting area behind the sidewalk of Dixie River Road and along the location depicted along Steele Creek Road. This shall include a low wall separated by ornamental trees and plantings at the base of the wall.

GRAPHIC SCALE



Legend

- Proposed Ornamental Tree
- Proposed Evergreen Shrub - Qty. 16
- Proposed Perennial Plants - Qty. 36
- Proposed Annual Plants - Qty. 105 SF
- Proposed Sidewalk
- Proposed Brick Wall and Pier

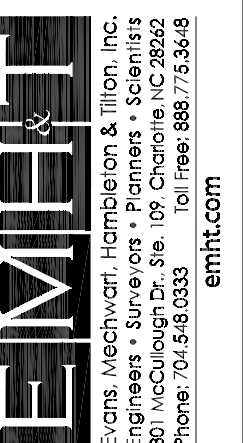


REVISIONS

MARK	DATE	DESCRIPTION
1	5/18/12	REVISED PER CITY OF CHARLOTTE COMMENTS

PROFESSIONAL DEVELOPMENT GROUP, LLC
8206-1200 PROVIDENCE ROAD #327
CHARLOTTE, NC 28277

CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
LANDSCAPE DETAILS
FOR
BEREWICK COMMONS



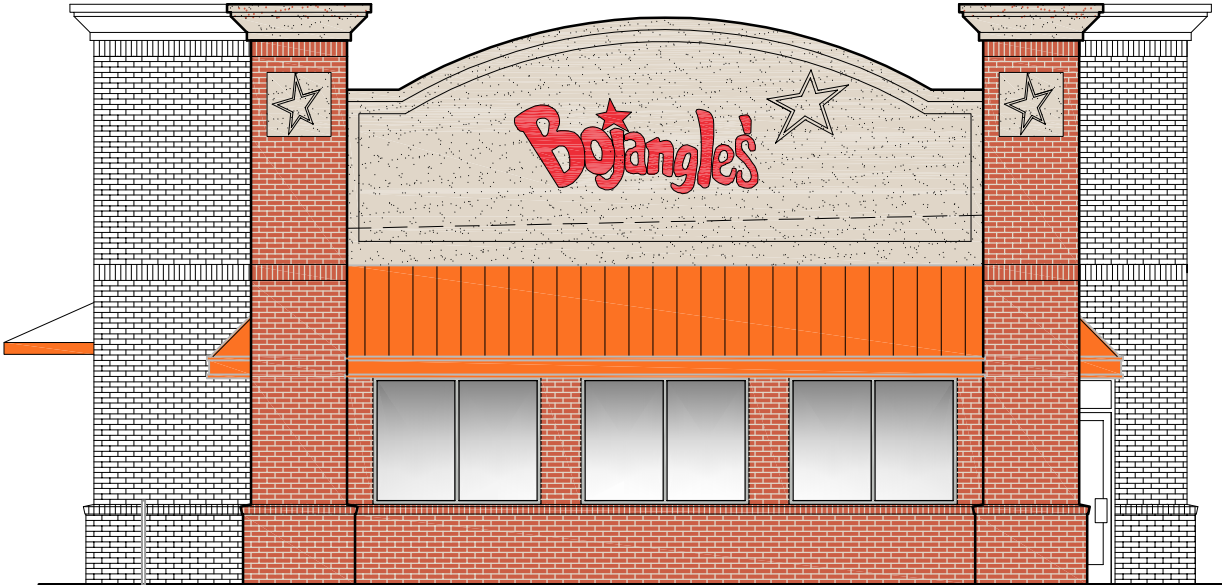
DATE
May 18, 2012

SCALE
As Noted

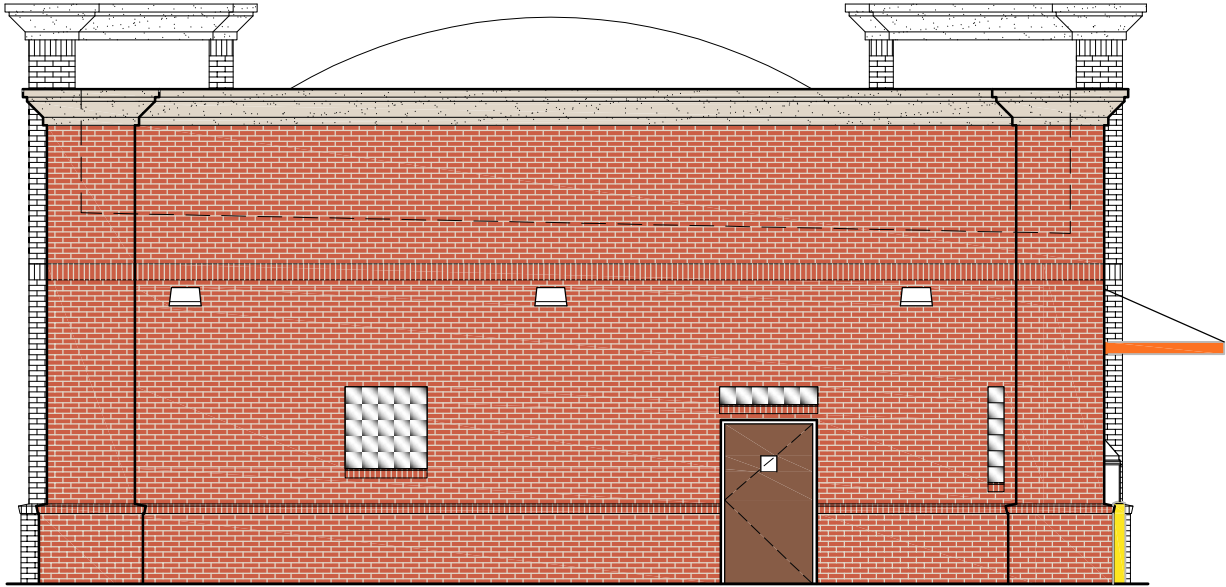
JOB NO.
20111544

SHEET
4/4

Petition 2012-059



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

BOJANGLES' RESTAURANT

DATE: 05.16.12
PROJECT #: --
DRAWN BY: WCH
CADD FILE NAME:
PROMO\ALL BRICK\BO-8 PROMO XELEV.S

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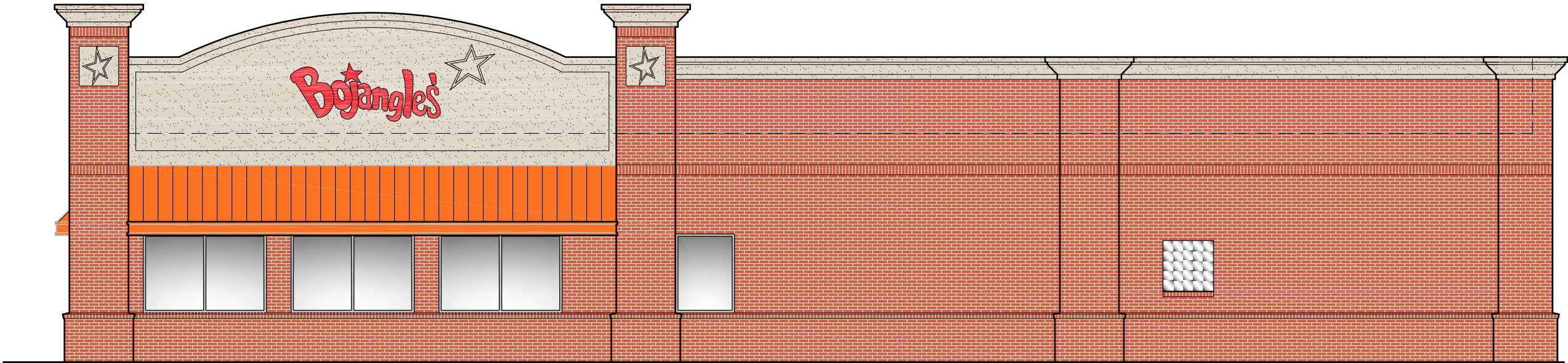
Sheet
E-1.0



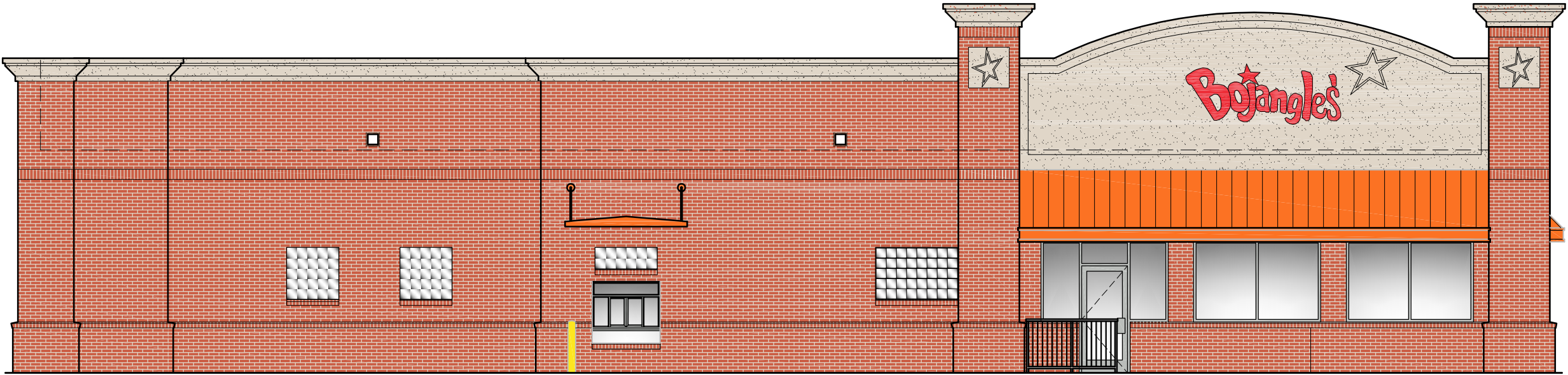
architecture • interior design

1300 South Mint Street, Suite 300, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

P:\CLIENT FILES\Bojangles'\BO-8.0\PROMO\ALL brick\BO-8 PROMO XELEV.S.dwg, Plotted By: bhughes, Plotted: May 16, 2012 - 1:42pm



2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



architecture • interior design

1300 South Mint Street, Suite 300, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

BOJANGLES' RESTAURANT

DATE: 05.16.12

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CADD FILE NAME:
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