

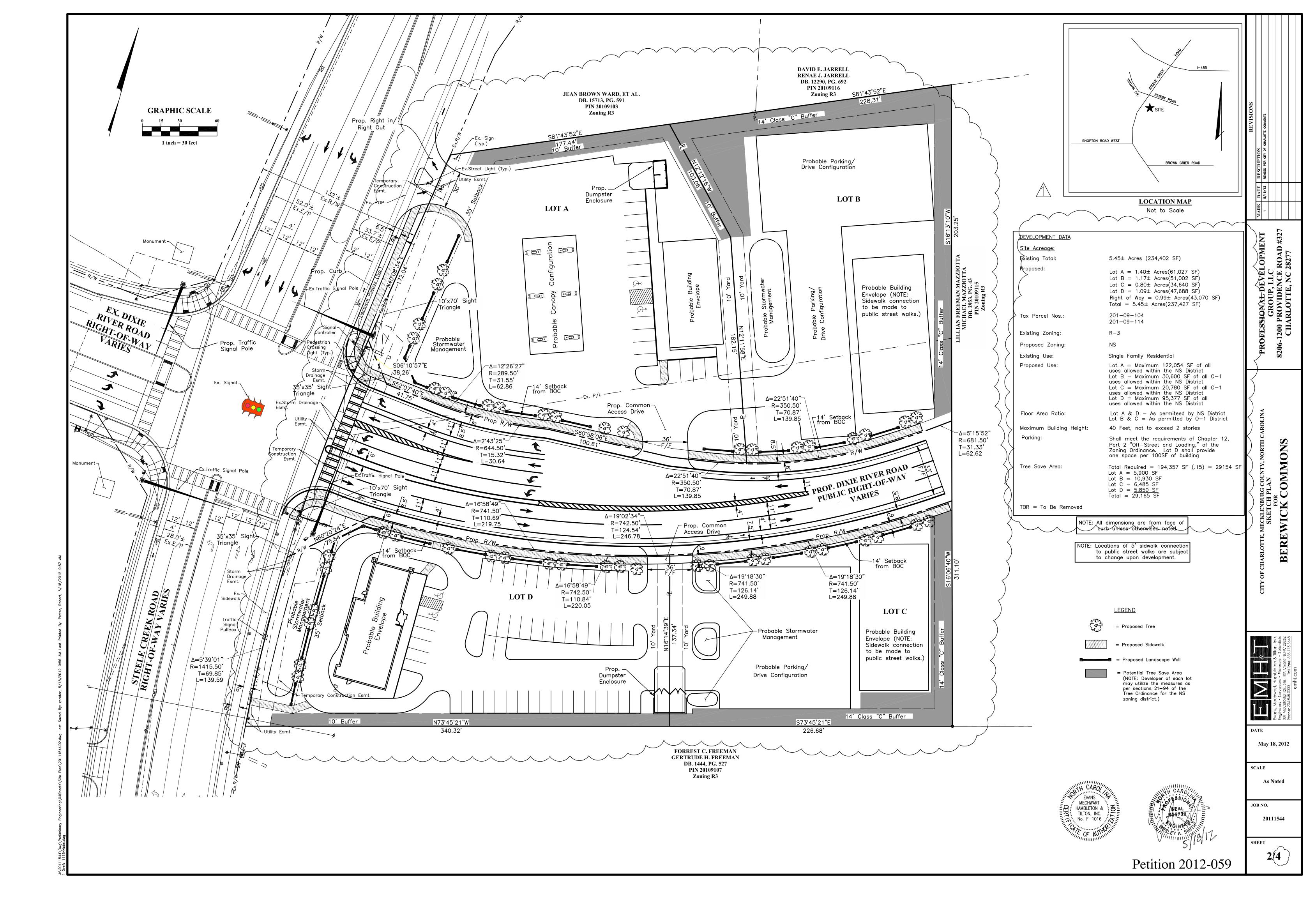
IARLOTTE, MECKLENBURG COUNTY, NORT EXISTING SITE CONDITIONS
FOR FOR BEREWICK COMMON

May 18, 2012

1" = 30'

20111544

1/4



PERMITTED USES

Lots A and D shall be allowed all uses within the NS Zoning

Lots B and C shall be allowed all 0-1 uses allowed within the NS Zoning District.

TRANSPORTATION

The total number of ingress/egress points to the site from existing and proposed thoroughfares that abut the site shall be limited to the number shown on the Sketch Plan. The exact locations may vary from those depicted based upon final design and location requirements as regulated by CDOT and NCDOT.

The Petitioner will construct and/or plat the New Dixie River Road to the eastern property line, abutting tax parcel 201-091-15, prior to the issuance of final certificate of occupancy for any of the uses allowed. The Right of Way shall be conveyed in fee simple fashion.

The Petitioner is responsible for all costs associated with the signal modifications related to the development at the intersection of Steele Creek Road and the future fourth leg of the intersection.

This is limited to modifications required for this development. Development along future portions of New Dixie River Road (not shown as part of this plan) that require signal modifications at this intersection will be the responsibility of the future development.

The roadway configuration shown for New Dixie River Road is the ultimate build—out upon development of the parcels to the east. The Petitioner is not responsible for the construction of the ultimate build—out. The Petitioners construction responsibilities shall consist of the west bound through lane, 1 west bound left turn lane and 1 east bound through lane.

The proposed driveway connections to Steele Creek Road will require driveway permits to be submitted to CDOT and NCDOT for review and approval. The exact driveway locations and type/width of the driveways will be determined by CDOT during the driveway permit process. The locations of the driveways shown on the site plan are subject to change in order to align with driveways on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.

All proposed commercial driveway connections to a future public street will require a driveway permit to be submitted to CDOT for review and approval.

Any fence or wall constructed along or adjacent to any sidewalk or street right of way requires a certificate issued by CDOT.

A Right of Way Encroachment Agreement is required for the installation of any non standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right of way by a private individual, group, business or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non—standard item(s). Contact CDOT for additional information concerning costs, submittal and liability insurance coverage requirements.

The improvements to Steele Creek Road adjacent to Lot A shall be the responsibility of said Lot and shall be completed prior to the issuance of the certificate of occupancy for Lot

ARCHITECTURAL STANDARDS.

Each building facade exclusive of windows, doors and roofs will be constructed with a minimum of 50% brick, brick veneer, stone or simulated stone. Stucco or efis accents will be also allowed. No vinyl siding shall be used on this site except that vinyl may be used on soffits, windows, rails of fences, patios and stairs. Buildings shall provide residential characteristics.

Lots A and D shall not be required to provide pitched roofs and shall follow the general guidelines of the elevations submitted with this rezoning petition. Modifications may be made upon staff approval.

Lots B and C may be subject to providing pitched roofs, but is not necessarily required. An architectural elevation shall be submitted for Administrative Approval prior to submission for Mecklenburg County Building Permit.

The brick utilized for the buildings and landscape wall shall be similar in color throughout the development.

All dumpster and recycling areas will be enclosed by a solid wall with one side being a decorative wooden gate. The solid wall will utilize building materials similar to or identical to the building materials used on the adjoining principle use building.

STREETSCAPE AND LANDSCAPING

A 35 foot minimum setback measured from the existing right—of—way will be established along Steele Creek Road.

A 14' foot setback measured from the back of curb along New Dixie River Road shall be provided. An eight foot planting and six foot sidewalk will be installed within the setback. A minimum five foot wide planting strip behind the sidewalk will be provided and improved with plantings and a low wall.

A sidewalk network will be provided within the site so that each building and use will be connected via a five (5) foot sidewalk to the public sidewalks along the abutting streets.

It shall be be the responsibility of each individual Lot to install the sidewalk and decorative wall prior to certificate of occupancy for said Lot.

Lots A and D shall provide a minimum 10 foot wide buffer with 6 trees and 20 shrubs per 100 linear feet in accordance with Section 12.302(9) of the Zoning Ordinance where these lots abut residential zoning and along the proposed rear angled property line of Lot A labeled "N12*-12'-16"W - 103.08'". In addition a 6 to 8 foot high wall/fence at least 8 feet from the property line with the plantings facing the abutting properties shall be within the 10 foot buffer.

Lots B and C shall provide a 14 foot Class "C" Buffer where the lots abut a residential zoning district.

The Buffers listed above may be removed if the zoning of the abutting property becomes a similar or more intensive zoning.

All landscaping and screening requirements shall meet the standards set forth by the City of Charlotte Zoning Ordinance.

The overall development shall provide 15 percent Tree Save Area. The locations and areas depicted shall not be considered final.

ENVIRONMENTAL FEATURES

The areas depicted in the "Development Data" represent each Lots portion of Tree Save Area to be provided. If the individual Lot decides not to provide the allotted Tree Save Area measures as per Section 21—94 of the Tree Ordinance for the NS Zoning District may be taken.

Development on the site shall comply with the City of Charlotte Post Construction Controls Ordinanc(PCCO).

FIRE PROTECTION

Fire protection shall meet the requirements set forth by the City of Charlotte Fire Department.

SIGNAGE

Wall signs will be allowed as prescribed by the Ordinances for the NS Zoning District, as applicable.

<u>LIGHTING</u>

All freestanding lighting and all exterior lighting on buildings will be fully shielded and full cut—off type fixtures downwardly directed. No "wall—pak" type lighting will be used but attached decorative lighting fixtures such as sconces may be allowed. The maximum height of any freestanding lighting shall not exceed 25 feet on lots.

<u>PARKING</u>

Parking may be provided by way of surface or structured parking facilities within the parking envelopes generally depicted on the Plan. Parking shall meet the requirement set forth by the city of Charlotte Zoning Ordinance.

SOLID WASTE MANAGEMENT PLAN.

The Petitioner shall submit to the Mecklenburg County Solid Waste Department a Solid Waster Management Plan prior to initiating demolition and/or construction activities. The Solid Waste Management Plan will include, at a minimum, the procedures that will be used to recycle all clean wood, metal, and concrete generated during demolition and construction activities. Additionally, the Solid Waste Management Plan will specify that all land clearing and inert debris shall be taken to a properly permitted facility. The plan shall also include a requirement that a monthly reporting of all tonnage disposed and recycled will be made to the Mecklenburg County Solid Waste Program. The report shall include the identification and location of all facilities receiving disposed or recycled materials.

REVISIONS
THON
CITY OF CHARLOTTE COMMENTS

LLC VCE ROAD #327

NC 28277

PROFESSIONAL DEVELOPM GROUP, LLC 8206-1200 PROVIDENCE ROAI CHARLOTTE, NC 28277

LOTTE, MECKLENBURG COUNTY, NORTH CAE
REZONING NOTES
FOR
ERE WICK COMMONS

CITY OF CHARLOTTE, MECKLENBUF
REZONING
FOR
BEREWICK



MAY 18, 2012

As Noted

JOB NO.

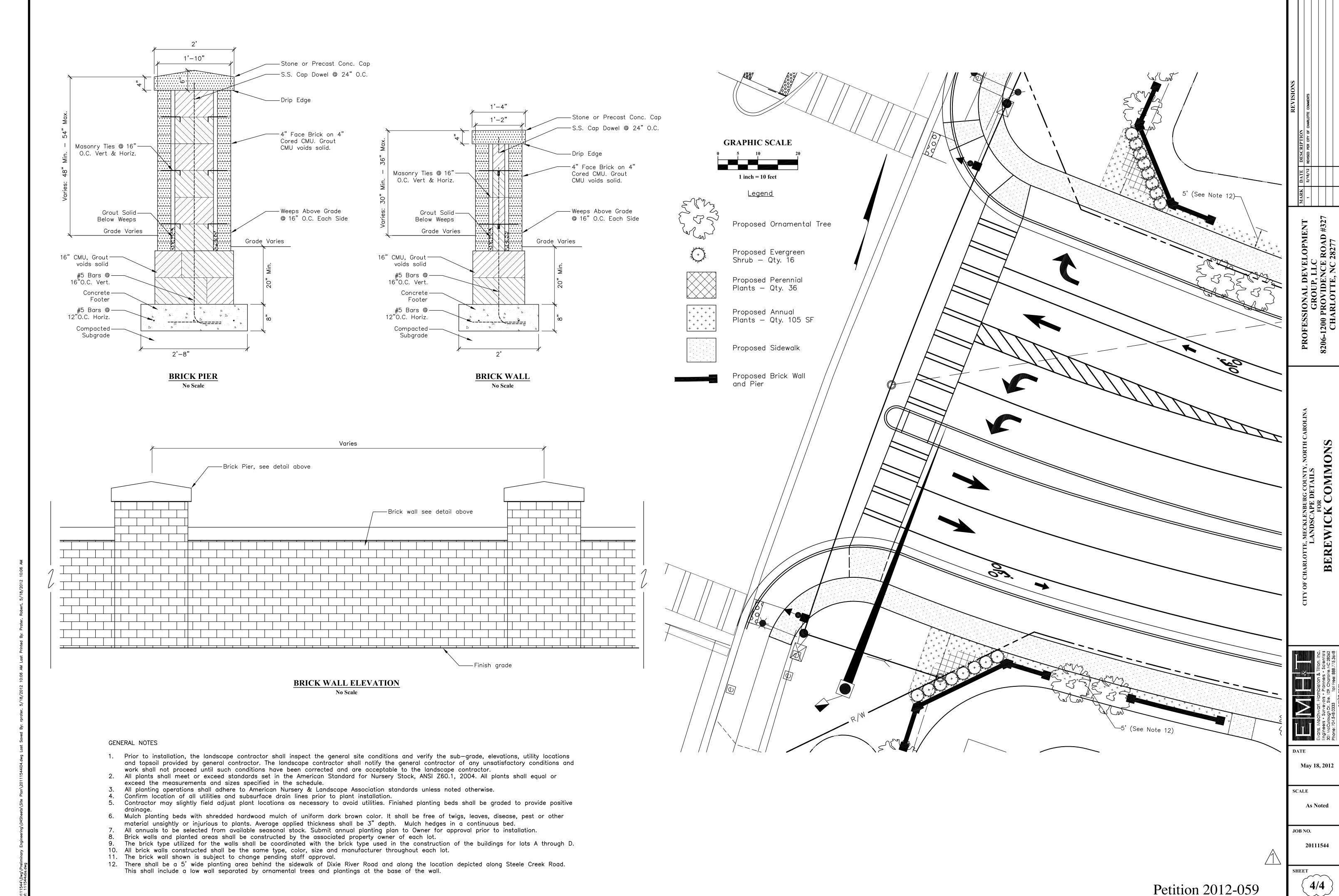
SCALE

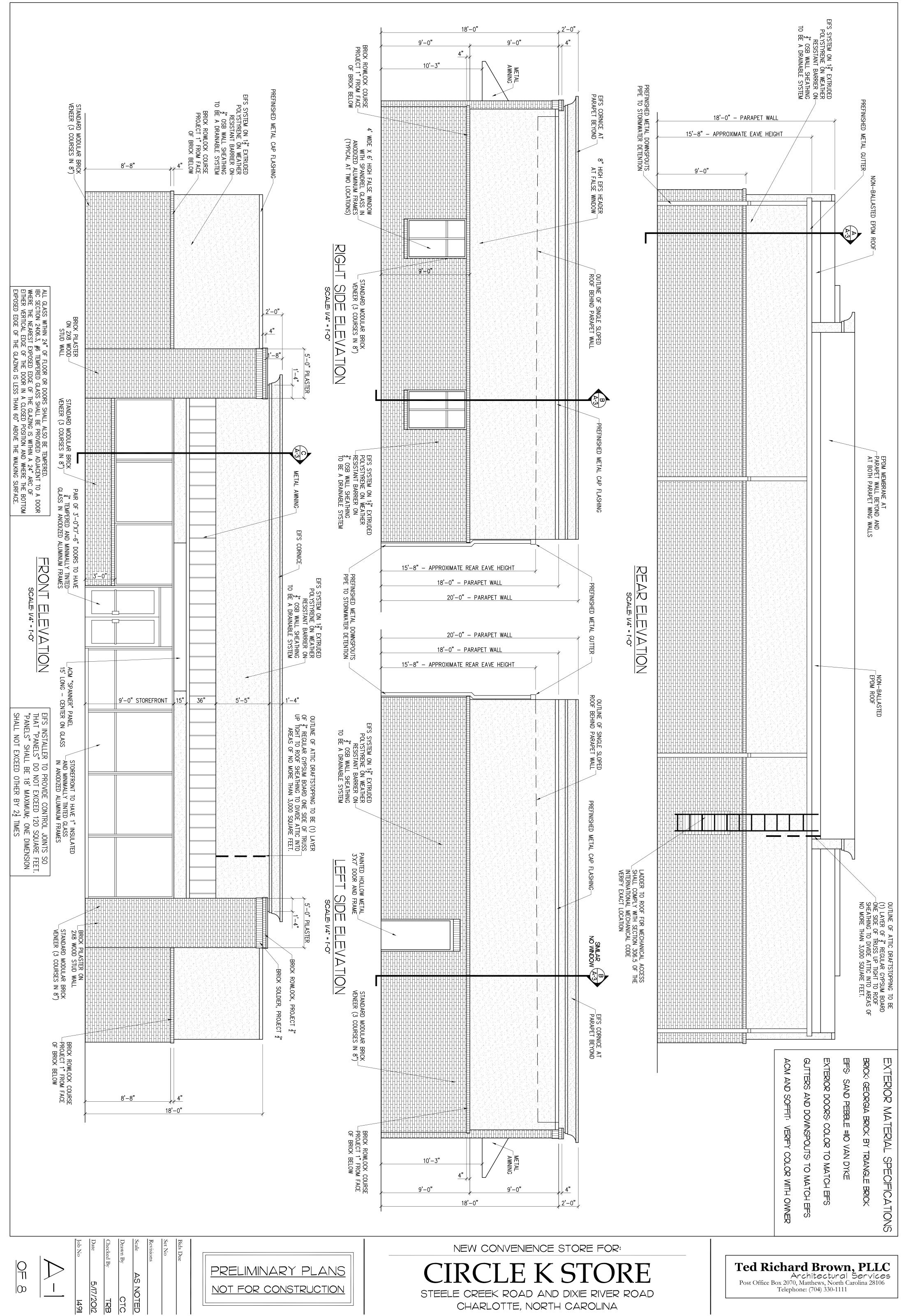
20111544 SHEET

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Petition 2012-059

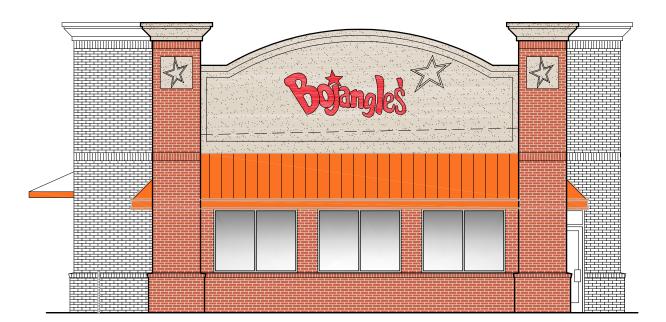
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FRONT ELEVATION

SCALE: 1/8" = 1'-0"



BOJANGLES' RESTAURANT

DATE: 05.16.12

PROJECT #: _--DRAWN BY: WCH

CADD FILE NAME: PROMO\all BRICK\BO-8 PROMO\XELEVS

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LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



BOJANGLES' RESTAURANT

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