

SURVEY DISCLAIMER
TOPOGRAPHIC SURVEY FOR RYLAND A. WINSTON, ISSUED MARCH 16, 2010. PROVIDED BY R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING, 430 HAWTHORNE LANE, CHARLOTTE, NC 2704 378-2186. JOB # 76039

DB. 18457, PG. 101 &
DB. 18539, PG. 549
PIN:171-24C-98

LEGEND	
SYMBOL	DETAIL
	PROPOSED SIDEWALK CLOS #10.22
	PROPOSED ACCESSIBLE RAMP CLOS #10.32A
	PROPOSED ACCESSIBLE SPACE -/-
	PROPOSED ACCESSIBLE VAN SPACE -/-
	PROPOSED ACCESSIBLE SIGN CLOS #20.10A, B, C
	PROPOSED STOP SIGN -/-
	HEAVY DUTY CONCRETE -/-
	HEAVY DUTY BITUMINOUS CONCRETE -/-
	LIGHT DUTY BITUMINOUS CONCRETE -/-
	PROPOSED 1'-6" CURB & GUTTER CLOS #10.17A
	PROPOSED 2'-6" CURB & GUTTER CLOS #10.17A
	PROPOSED LIGHTING -/-

- STAKING AND MATERIALS PLAN NOTES**
1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 2. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
 3. CONTRACTOR SHALL ESTABLISH AND VERIFY POINT OF BEGINNING (P.O.B.) AND STAKE SITE.
 4. AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION, NOTIFY COLLEENEST & STONE, P.A. IMMEDIATELY OF ANY DISCREPANCIES.
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 7. ALL RADII SHALL BE 4'-8" (B.O.C.) UNLESS OTHERWISE NOTED.
 8. STOP SIGNS SHALL BE R1-1 30"x30".
 9. SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.











DEVELOPMENT STANDARDS

1. **General Provisions:**
- a. These Development Standards form a part of the rezoning plan associated with this B-2(CD) petition to accommodate redevelopment on approximately 1.82 acres located at southwest corner of the intersection of Park Road and Tyvola Road as more particularly shown on the rezoning plan (the 08kg0) Development of the Site will be governed by the attached plans and these Development Standards (together with the plans referred to as the 08g qpp0) Rez08 as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the 00T1p0p0p0) Unless the Rezoning Plan (including these Development Standards) establish more stringent standards, the regulations established under the Ordinance for the General Business District (B-2) Zoning Classification shall govern development on the Site
- b. The layout of the development; the exact alignments of points of access; the configuration and placements of parking areas; and the depictions of such other site elements on the Rezoning Plan are graphic representations of the proposed development. Consequently, except as otherwise expressly specified on the Rezoning Plan they may, therefore, be subject to alterations or modifications, during the design/development/ construction phases, as long as the buildings and parking improvements are located within the Building/Parking Envelope set forth on the Rezoning Plan and subject to compliance with the accompanying Development Standards and Section 6.207 of the Ordinance. For the purposes of Section 6.207 of the Ordinance, accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site; and it is understood that one (1) primary building may be located on the Site in connection with the proposed car wash use. Parking layouts for surface parking may be modified to accommodate changes during the design/development/construction phases to the extent permitted by the Ordinance and subject to the requirements and conditions of the Development Standards.
2. **Permitted Uses & Development Limitations:**
- a. The Site may be developed with the following: car wash facility.
- b. Any car wash facility developed on the Site will be limited to the following hours of operation: 7:00 am to 8:00 pm and the primary vacuuming and cleaning operations will be located within the building. In addition the proposed vacuuming equipment will be outfitted with a muffling device at the discharge point to lessen the noise. Some minor touch up vacuuming will be allowed outside behind the proposed building.
3. **Transportation:**
- a. Subject to approval of the City Department of Transportation the Petitioner will construct a south bound left turn lane on Park Road into Closeburn Road as generally depicted on the Rezoning Plan.
- b. Subject to approval of the City Department of Transportation the Petitioner will construct an east bound directional cross-over in the median of Tyvola Road to the existing driveway for the SouthPark Corners condominiums as generally depicted on sheet RZ2.0.
- c. Subject to the above-referenced approval, the proposed left turn lane in Park Road and directional cross-over in Tyvola Road will be installed prior to the issuance of a final certificate of occupancy for the proposed building.
- d. Subject to the approval of the City Department of Transportation, the Petitioner will install a no u-turn sign on Park Road at its intersection with Tyvola Road.
- e. Access to the Site will be from two right-in right-out driveways, one along Tyvola Road and one Park Road as generally depicted on the Rezoning Plan.
- f. The alignment of the internal vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation.

4. **Architectural Standards:**

- a. The attached elevation associated with the building to be located on the Site as part of a car wash facility use on the Site is included to reflect the architectural style and quality of the building that will be constructed in connection with such (the actual building so constructed in connection with such use may vary slightly from this illustration as long the general architectural concept and intent shown is maintained). The proposed building materials will be a combination of brick, stone, simulated stone, pre-cast stone, stucco, synthetic stucco and glass.
- b. The proposed building constructed on the Site will be designed and constructed with a 08 tggp Tqg00 The proposed 08 tggp Tqg00 will be designed so that plants installed on the 08 tggp Tqg00 form a pattern/design that enhances the appearance of the building's roof. This will be accomplished by the use of plants of different colors, textures and heights. Such 08 tggp Tqg00 will be a modular green roof system that will utilize a mix of sedum plants. The proposed 08 tggp Tqg00 is conceptually shown on the Rezoning Plan (certain portions of the building will have pitched roofs that will not be constructed as a 08 tggp Tqg00) The 08 tggp Tqg00 will be maintained by the building owner and must be installed prior to the issuance of a final certificate of occupancy for the building.
- c. All sides of the building(s) to be constructed on the Site will be built using four-sided architecture.
- d. Meter banks will be located behind the building and will be screened.
- e. Roof top HVAC and related mechanical equipment will not be allowed. HVAC and related equipment will be located behind the building and will be screened.

5. **Streetscape and Landscaping:**

- a. The Petitioner will establish a 30 foot landscape setback along Park Road and a 20 foot landscape setback along Tyvola Road. These landscaped setbacks will be measured from the existing right-of-way lines and accordingly may be reduced to the extent the right-of-way lines are expanded. No buildings, parking or maneuvering or storm water detention/water quality structures may be located within these landscape setbacks. Driveways will be allowed to cross the landscape setbacks as nearly perpendicular to the street right-of-way as reasonably possible.

- b. No Parking, driveways or maneuvering for parking or driveways will be allowed between the proposed building and the right-of-way for Park Road and Tyvola Road in connection with a car wash facility use on the Site, provided that such parking and maneuvering may be allowed to the side and rear of the building.
- c. The proposed building will be located at the corner of Park Road and Tyvola Road as generally depicted on the Rezoning Plan.
- d. The Petitioner will construct at the corner of Park Road and Tyvola Road behind the required setback a water feature and associated landscaping as generally illustrated on the building elevations/renderings and on Sheet RZ1.0 the Rezoning Petition. This water feature and associated landscaping will be installed prior to the issuance of a final certificate of occupancy for the building.
- e. The Petitioner will improve the 30 foot landscape setback along Park Road and the 20 setback along Tyvola Road with a series of layers of evergreen and deciduous trees and shrubs as generally depicted on the Rezoning Plan. These proposed trees and shrubs will be arranged in such a way as to screen as much as practicable outdoor activity associated with a car wash facility on the Site. A detailed planting plan indicating the varieties and sizes of the proposed landscaping within the proposed setbacks is shown on sheet RZ3.0 of the rezoning petition.
- f. The Petitioner will also install along Park Road and along a portion of Tyvola Road a six (6) foot solid masonry wall. This wall will be installed along the interior side of the setbacks indicated along Park Road and Tyvola Road as generally depicted on the Rezoning Plan.
- g. The Petitioner will provide an eight (8) foot planting strip and a new six (6) foot sidewalk along Park Road. Due to the existing topography, the existing sidewalk will remain along Tyvola Road.
- h. Street Trees will be provided in the eight (8) foot planting strip provided along Park Road.
- i. The Petitioner will work with the City of Charlotte to improve the quality and appearance of the existing landscaping located in the City right-of-way in northeast quadrant of the intersection of Tyvola Road and Park Road. If permitted by the City the Petitioner will plant and maintain additional landscape materials in this quadrant of the intersection that will complement the landscaping and appearance of the landscaping located in the other quadrants of the intersection.
- j. Sidewalks connections to Park Road and Tyvola Road will be provided as required by the Zoning regulations. The exact location of these connections will be determined during the building permit process.
- k. Side and rear yards will be provided as required by the Zoning regulations.

6. **Environmental Features:**

- a. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.
- b. Storm water detention/water quality structures will not be located in the landscape setbacks provided along Tyvola Road and Park Road. These structures will be located as generally depicted on the Rezoning Plan. The Petitioner will locate the required storm water detention areas underground. The Petitioner reserves the right to locate a portion or all required water quality structures underground.
- c. The location, size and type of storm water management systems depicted on the rezoning site plan is subject to review and approval as part of the full development plan submittal and is not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- d. The Site will comply with Charlotte Tree Ordinance.
- e. The Petitioner will establish a tree save area along the western property boundary adjacent to the existing electrical sub-station and sewer treatment plant as generally depicted on the Rezoning Plan. This tree save area will be a minimum of 25 feet wide for the majority of the length of the southwestern property boundary but will be increased to greater than 25 feet at the western corner of the Site as generally depicted on the Rezoning Plan. Trees in this area may be pruned. Dead limbs and debris may be removed.
- f. The tree save area will not include the area along the western property boundary used to provide required water quality structures as generally depicted on the Rezoning Plan.
- g. No grading, buildings, parking or maneuvering for parking will be allowed within the tree save area. Utility lines may cross the tree save area but will do so at not less than a 75 degree angle.
- h. In the portions of the tree save area where material gaps in the existing trees exist, additional trees will be planted so the tree save area will meet the requirements of a Class A Buffer (nine (9) trees per 100 linear feet), as generally depicted on the Rezoning Plan.

7. **Signage:**

- a. A ground mounted detached sign, as specified below, will be allowed along Park Road. The ground mounted detached sign may be located within the landscape setback provided along Park as generally depicted on the Rezoning Plan. The location of the proposed sign may be adjusted to accommodate the final building design and location, driveway location and configuration or adjustment to other site elements as needed.
- b. The proposed ground mounted detached signs will not exceed seven (7) feet in height or contain more than 48 square feet of sign face area. The sign will have a base constructed of the same building materials that are used on the proposed building. A drawing of the proposed detached sign has been made a part of the Rezoning Petition as Sheet RZ- 4.5.
- c. The proposed wall signs have been illustrated on the attached building elevations.
- d. The proposed wall signs may be internally illuminated the detached sign will utilize back lit letters.

8. **Lighting:**

- a. All new lighting shall be full cut-off type lighting fixtures including lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.
- b. Detached lighting on the Site will be limited to 20 feet in height. The specific locations of the proposed lighting has been indicated on Sheet RZ1.0.
- c. No "wall pak" lighting will be allowed, however architectural lighting on building facades, such as sconces, will be permitted.
15. **Other:**
- a. Screening requirements of the Ordinance will be met.
- b. All mechanical equipment for the building on the Site will be located behind the building or behind the proposed screen wall.
- c. Dumpster areas and recycling areas on the Site will be enclosed by a solid wall with one side being a decorative gate. The wall used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the building on the Site. If one or more sides of a dumpster area adjoin a side or rear wall of a building then the side or rear wall may be substituted for a side. The possible location for the dumpster and recycling areas are shown on Sheet RZ1.0.
- d. Above ground backflow preventers on the Site will be screened from public view at grade and will be located outside of the required setbacks.

16. **Amendments to the Rezoning Plan:**

- a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.

17. **Binding Effect of the Rezoning Application:**

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

REZONING SUMMARY

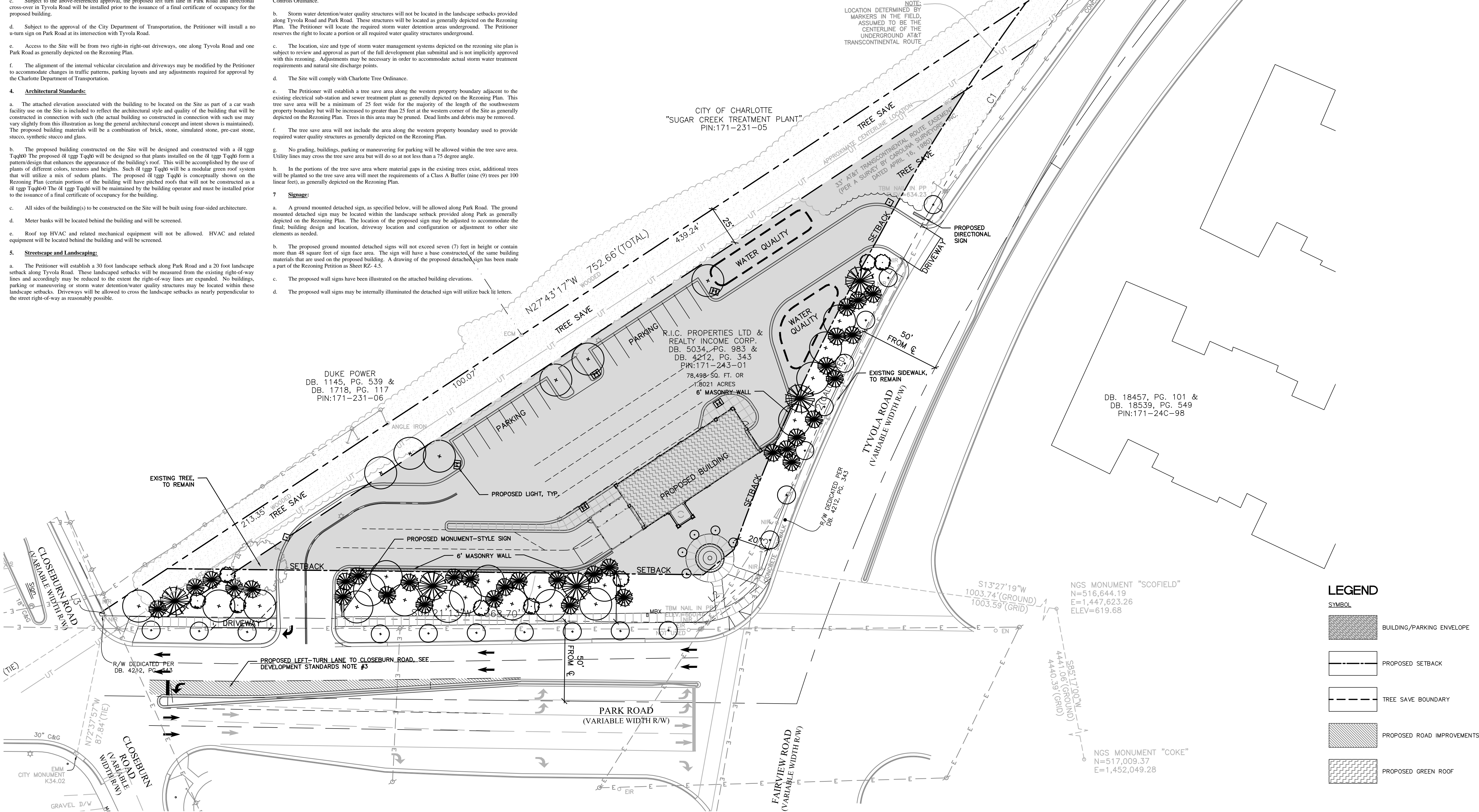
REZONING SITE AREA: 182 ACRES
TAX PARCEL #: 171-243-01
EXISTING ZONING: R-22MF
PROPOSED ZONING: B-2 (CD)
EXISTING USES: VACANT BUILDING
PROPOSED USES: CAR WASH FACILITY, INSTITUTIONAL USES OR OFFICES USES (AS SET FORTH IN MORE DETAIL IN DEVELOPMENT STANDARDS).
MAX. BUILDING HEIGHT: 28'
PARKING: PER THE ZONING REGULATIONS

PETITIONER: AUTOBELL CAR WASH, INC.
1521 EAST THIRD STREET
CHARLOTTE, NC 28204

OWNERS: BRLR NC, LLC
1111 METROPOLITAN AVENUE
SUITE 700
CHARLOTTE, NC 28204

ADJACENT PROPERTY OWNERS

1. DUKE POWER COMPANY
422 SOUTH CHURCH STREET
CHARLOTTE, NC
PID#: 172308
2. CITY OF CHARLOTTE
SUGAR CREEK WASTEWATER TREATMENT
5801 CLOSEBURN ROAD
CHARLOTTE, NC
PID#: 172305
3. SOUTHGATE CONDOMINIUMS
5485 CLOSEBURN ROAD
CHARLOTTE, NC
PID#: 1724397
ACR088 PARK ROAD
4. SOUTH-PARK CORNERS
3940 MARCELLINA DRIVE
CHARLOTTE, NC
PID#: 1724C98
ACR088 TYVOLA ROAD



LEGEND

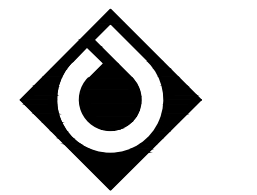
- SYMBOL
- BUILDING/PARKING ENVELOPE
 - PROPOSED SETBACK
 - TREE SAVE BOUNDARY
 - PROPOSED ROAD IMPROVEMENTS
 - PROPOSED GREEN ROOF

SCALE: 1"= 30'

RZ1.0

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200 South Tryon Street, Suite 1400
Charlotte, North Carolina 28202
p+ 704.376.1555 f+ 704.376.7851
url+ www.colejeneststone.com

AUTOBELL CAR WASH, INC.

Charlotte
North Carolina 28204

AUTOBELL PARK ROAD REZONING

Charlotte
North Carolina 28204

PETITION # 2011 - 035

CROSS SECTIONS

Project No.

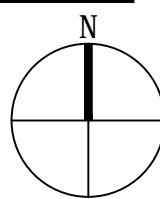
4062

Issued

03/28/11

Revised

06/06/11 SITE PLAN REVISIONS
06/20/11 PLAN RESUBMITTAL

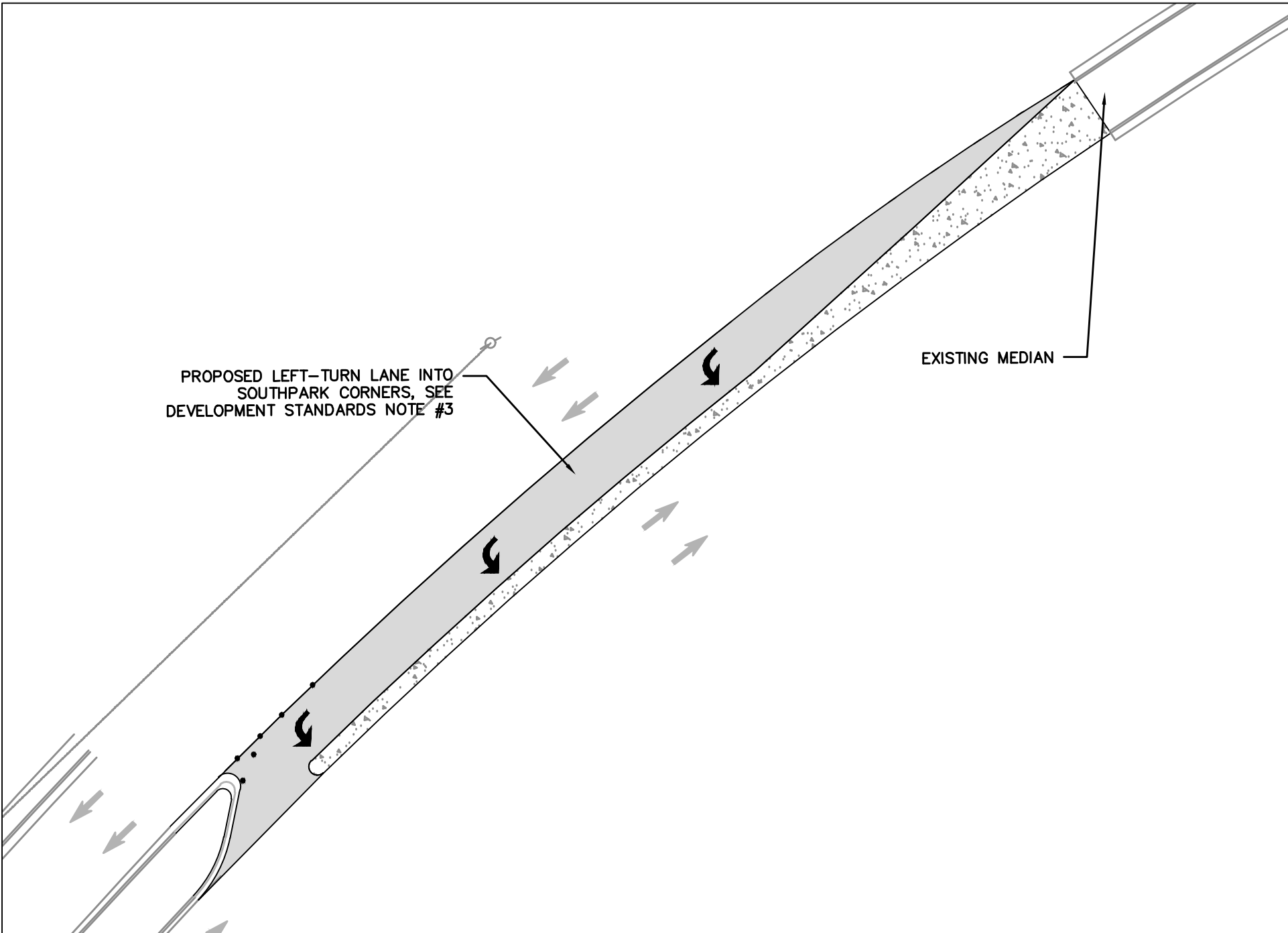


RZ2.0

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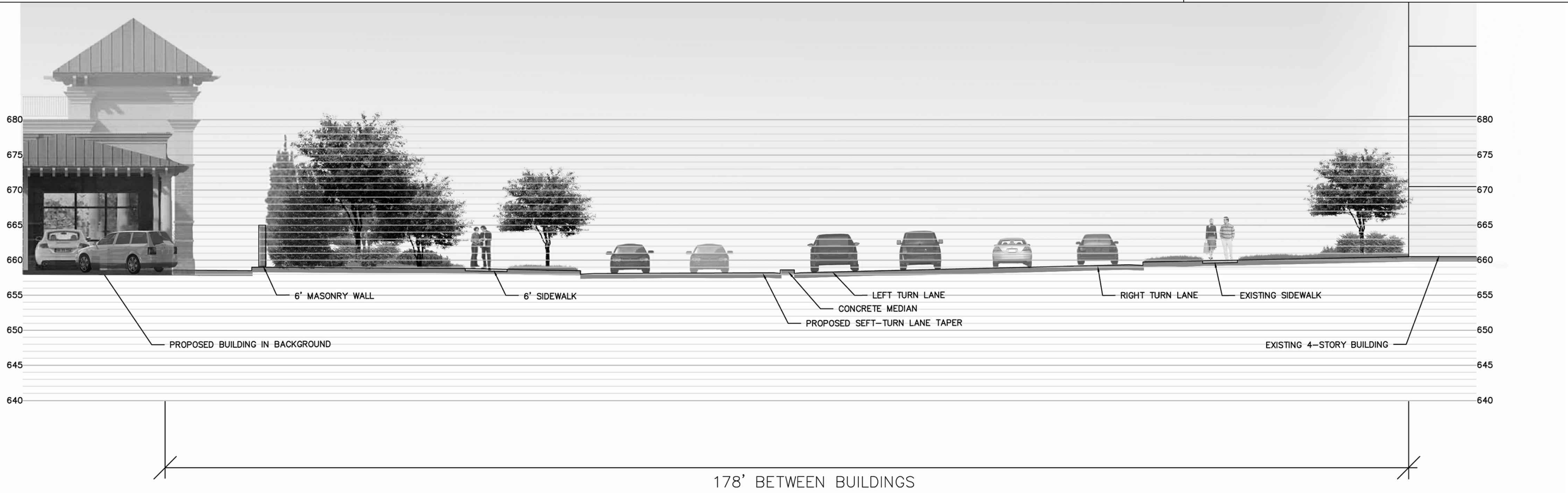
PETITION # 2011 - 035



TYVOLA ROAD TURN LANE IMPROVEMENTS (SOUTHPARK CORNERS)

SCALE: 1"=30'

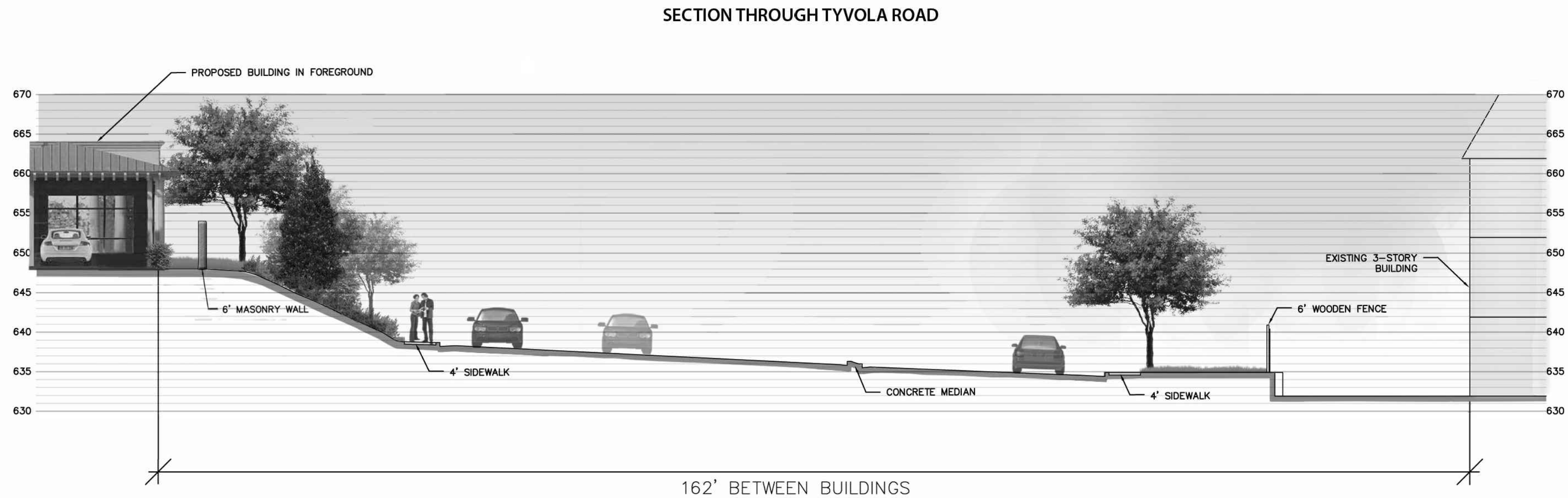
3



PARK ROAD CROSS SECTION

SCALE: 1"=10'

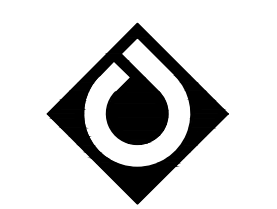
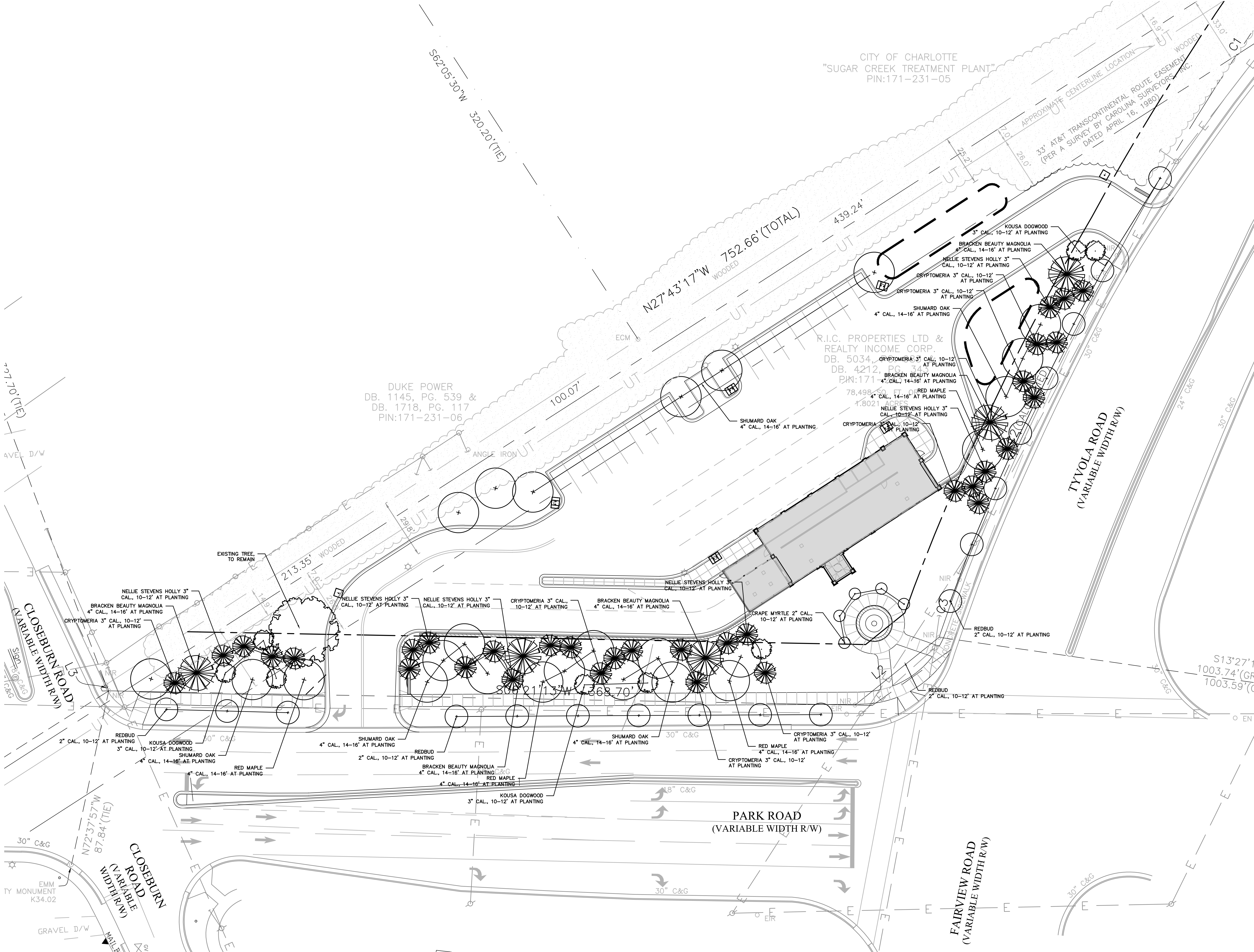
2



TYVOLA ROAD CROSS SECTION

SCALE: 1"=10'

1



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200 South Tryon Street, Suite 1400
Charlotte, North Carolina 28202
p+ 704 376 1555 f+ 704 376 7851
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AUTOBELL CAR WASH, INC.

Charlotte
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AUTOBELL PARK ROAD REZONING

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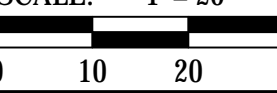
PRELIMINARY PLANTING PLAN

Project No.
4062

Issued
06/06/11

Revised
06/20/11 PLAN RESUBMITTAL

SCALE: 1"= 20'

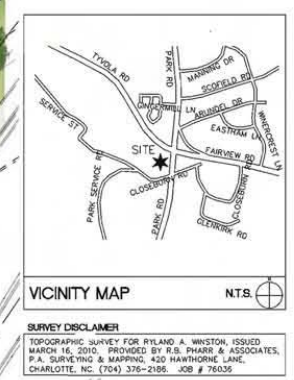


RZ3.0

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PETITION # 2011 -035



LEGEND	
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