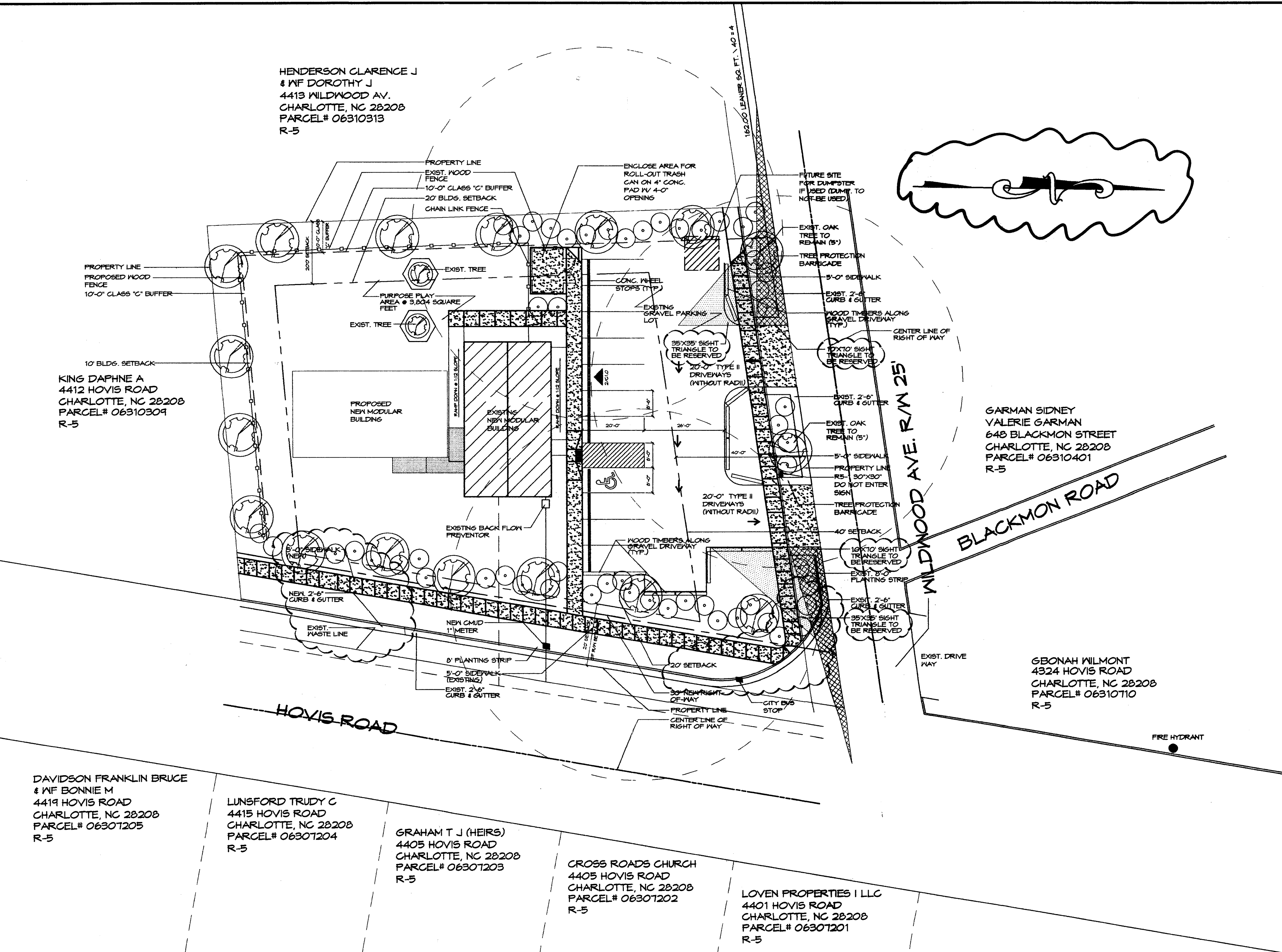
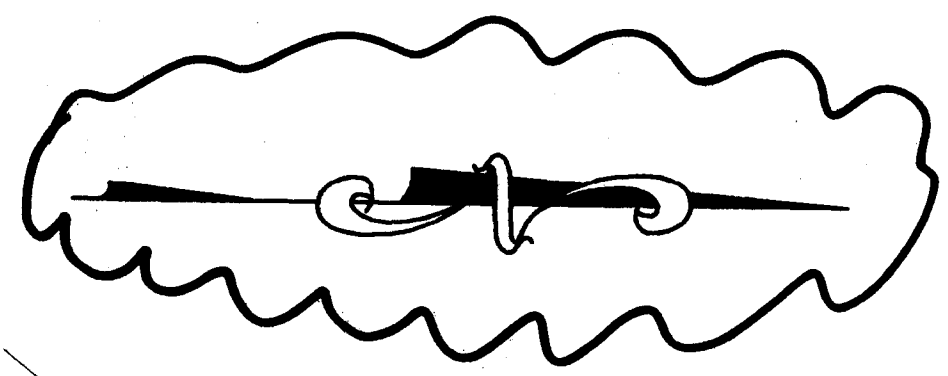
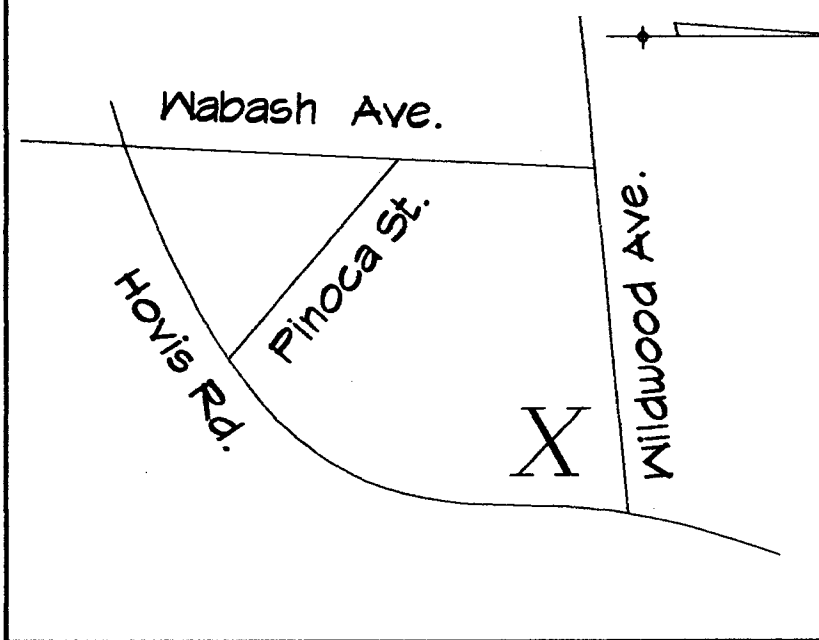


PARCEL-ID# 06310310  
PARCEL-ID# 06310311



1 SITE PLAN SCALE: 1"=20'-0"

**NOTES:**  
MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER, 8' TALL, IF SINGLE STEM; MINIMUM 8" TALL AND 3 STEMS MAXIMUM IF MULTI-STEM. MULCH IS REQUIRED; STACKING GUTTING IS OPTIONAL.  
ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACK FILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.  
REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/ PLANTING MIX OR UNCOMPACTED AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/ PLANTING MIX STANDARDS FOR TREES.  
ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES - PLANT 15'-30" OFF SEWER & STORM DRAINAGE LINES; 10'-15" OFF GAS WATER, PHONE, AND UNDERGROUND ELECTRICAL LINES.  
IMPERVIOUS AREA = 8,850 SQ / 10,000 LANDSCAPE AREA = 11,000  
TOTAL SITE AREA = 25,000  
INTERNAL TREE REQUIREMENTS: IMPERVIOUS AREA/ 10,000 SQUARE FEET = 1 TREE  
LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.  
PLEASE CALL 336-6764 FOR FINAL INSPECTION OF TREES AND/ OR TREE PLANTING AREAS. 7 TO 10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.

| SITE DATA PARCEL-ID#          |                 |
|-------------------------------|-----------------|
| EXISTING ZONING               | R5 & RD MF (CD) |
| PROPOSED ZONING               | INST (CD)       |
| PROPOSED USE                  | DAYCARE CENTER  |
| UNINTENDED USE                | DAYCARE CENTER  |
| TOTAL NUMBER OF CHILDREN      | 61              |
| TOTAL NUMBER OF EMPLOYEES     | 8               |
| PARKING REQUIRED              | 11              |
| PARKING PROVIDED              | 11              |
| SITE ACREAGE                  | .4              |
| TYP. PARKING SPACE            | 8.5' X 14.5'    |
| TYP. H/V PARKING SPACE        | 16' X 14.5'     |
| PLAY AREA REQUIRED            | 2,068 SQ. FT.   |
| PLAY AREA PROVIDED            | 3,804 SQ. FT.   |
| TOTAL SQUARE FOOTAGE PROPOSED | 1,820 +/-       |
| BUILDING HEIGHT               | 15'-0" HIGH     |

**AREA TO BE REZONED**  
VINYL COATED PROPOSED 5' HIGH CHAIN LINK FENCE  
PROPOSED WOOD FENCE  
CENTER LINE OF R/W LINE  
BLDG SET BACK LINE  
PLANTING STRIP  
A FIRE HYDRANT IS LOCATED WITHIN 750' OF THE MOST REMOTE PORT OF A BUILDING AS TRUCK TRAVELS (NEAREST FIRE HYDRANT IS APPROX. 300' AWAY FROM THE PROPERTY.)

- CONDITIONAL NOTES:**
- DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN BY THE STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCES.
  - BUFFER AREAS WILL BE DEVELOPED IN ACCORDANCE WITH SECTION 12.302 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  - SCREENINGS WILL CONFORM WITH THE APPLICABLE STANDARDS SET FORTH IN SECTION 12.302 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  - PARKING SHALL MEET THE STANDARDS OF TABLE 12.302 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  - THE ONLY USE WHICH SHALL BE ALLOWED SHALL BE A DAYCARE CENTER OR A SINGLE FAMILY HOME.
  - SIGNS WILL COMPLY WITH THE ZONING ORDINANCE.
  - MAXIMUM BUILDING HEIGHT SHALL BE 15 FEET.
  - BUFFERS SHOWN WILL NOT BE REDUCED IN WIDTH FROM THAT SHOWN.
  - THE DRIVEWAY CONNECTION WILL BE SUBJECT TO REVIEW AND APPROVAL BY THE CDDOT AND THE NCDOT.
  - THE SITE WILL COMPLY WITH SECTION 12.502 (CHILD CARE CENTER) OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  - ALL PROPOSED TREES, FENCES AND SIGNS WILL NOT INTERFERE WITH SIGHT DISTANCE AT THE ENTRANCE OF THE SITE. ANY FENCE REQUIRING A CERTIFICATE WILL BE OBTAINED FROM THE CDDOT.
  - EXISTING TREES IN BUFFER ARE TO REMAIN.
  - ADDITIONAL RIGHT OF WAY ALONG HOVIS RD WILL BE CONVEYED AND TIE TO THE ISSUANCE OF A BUILDING PERMIT 39'-0" FEET FROM CENTER LINE OF ROAD PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
  - A STANDARD 2'-6" CURB AND GUTTER, ASSOCIATED STORM DRAINAGE AND 5' SIDEWALK AND 8' FEET PLANTING STRIP ALONG HOVIS ROAD WILL BE PROVIDED ALSO REQUIRED ALONG WILDMOOD 4'-0" WALK 8'-0" PLANTING STRIP.
  - IF ADJACENT PROPERTY ZONING CHANGES, THE BUFFER REQUIRED FOR THIS PROPERTY MAY BE REDUCED TO MEET THE PROPER REQUIREMENT FOR THAT ZONING CRITERIA.
  - THE MINIMUM TREE SIZE AT THE PLANTING STRIP IF SINGLE STEM IS TO BE 8'-0" FOOT.
- GENERAL NOTE:**
- THE PROPOSED DEVELOPMENT WILL CREATE APPROXIMATELY 8,850 SF OF IMPERVIOUS SURFACE AREA, WHICH IS LESS THAN THE MINIMUM 20,000 SF OF IMPERVIOUS SURFACE FOR STORM WATER DETENTIONS REQUIRED. THEREFORE, NO STORM DETENTION FACILITIES ARE PROPOSED.
  - THE PROPOSED BUILDING SHALL BE USED AS DAY CARE AND IT WILL BE ARCHITECTURALLY COMPATIBLE WITH RESIDENTIAL ROOFING.
  - PLAY SPACE CANNOT BE LOCATED WITHIN BUFFER OR SETBACKS/YARDS.
  - BLACK VINYL COATED CHAIN LINK FENCE MUST BE LOCATED OUTSIDE OF BUFFER SCREENED FROM PUBLIC STREET.
  - CONTRACTOR TO PROVIDE WOOD TIMBERS ALONG THE PERIMETER OF THE PARKING LOT EXCEPT AT THE ENTRANCE AND EXIT.
  - THE SIDEWALK WAY MEANDER AND THE PLANTING WIDTH MAY VARY TO SAVE TREES 6" IN CALIPER AND LARGER.
  - THERE WILL NOT BE A DUMPSTER USED. THE OWNER WILL USE ROLL-OUT CITY GARBAGE CANS.
  - CONTRACTOR TO SLOPE SIDE WALK ABOVE GRADE OVER EXISTING TREE ROOT SYSTEM.
  - THE EXISTING PARKING AND MANEUVERING WITHIN THE 40-FOOT SETBACK IS GRANDFATHERED IN.
- TYPE OF TREES TO BE USED**  
1. EASTERN RED CEDAR  
2. ELM TREE  
3. SUGAR MAPLE TREE
- 25% OF THE TREE SHALL BE EVERGREEN TREE
- SHRUBS TO USED ON SITE MUST BE AT LEAST 2 TO 2 1/2 FEET TALL WITH A MINIMUM SPREAD OF 2 FEET WHEN PLANTED AND NO FURTHER APART THAN 5 FEET O.C.
- TYPE OF SHRUBS TO BE USED**  
1. DWARF BURFORD HOLLY

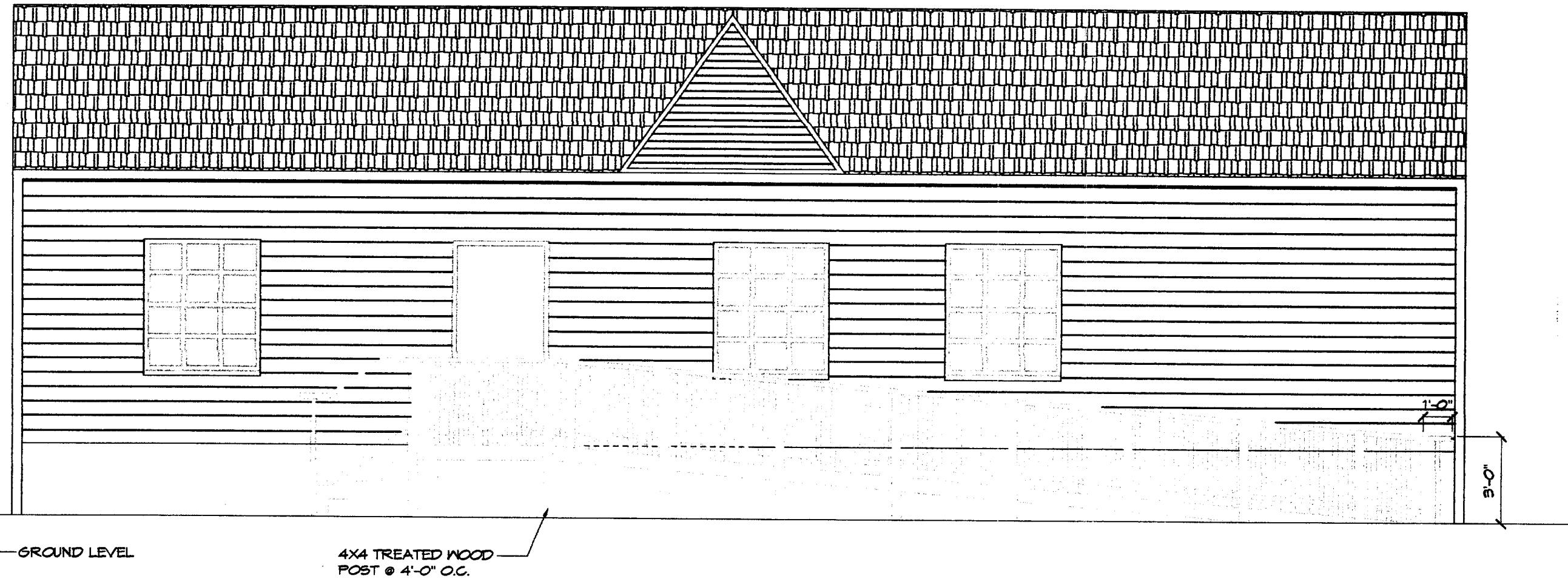
2 GENERAL NOTES & LEGEND SCALE: 1"=20'-0"

TAWANTA JOHNSON  
CHILD CARE CENTER  
4400 HOVIS ROAD  
CHARLOTTE, NORTH CAROLINA

|            |          |
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| Submittal: | --       |
| SCALE:     | AS NOTED |
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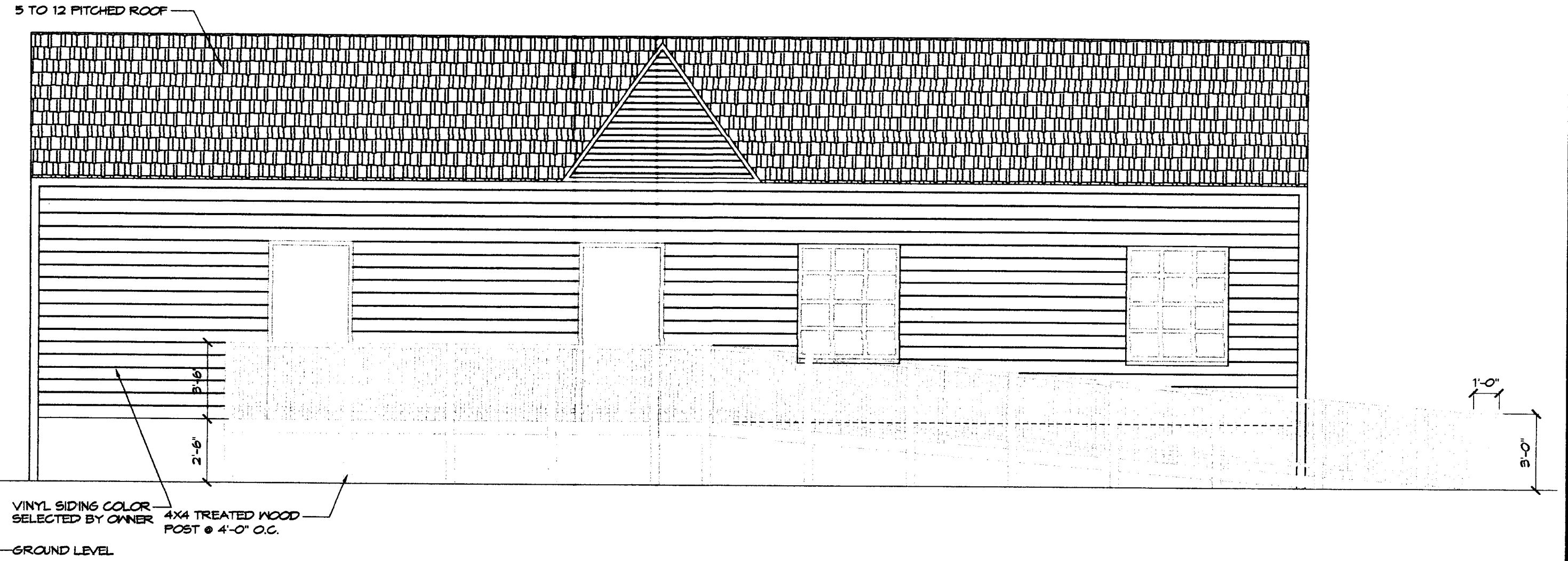
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FOR PUBLIC HEARING  
PETITION # 2007-147



1 FRONT ELEVATION OF RAMP

SCALE: 1/4"=1'-0"



2 BACK ELEVATION OF RAMP

SCALE: 1/4"=1'-0"

TAWANTA JOHNSON  
CHILD CARE CENTER  
4400 HOVIS ROAD  
CHARLOTTE, NORTH CAROLINA

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