

PARCEL INFORMATION

PARCEL: A. 02937198, B. 02905217
TOTAL AREA: 2.94 ACRES/132,858 SF
A: 1.31 AC, B: 1.63 AC
FUTURE ROW TO BE DEDICATED: 0.30 AC
EXISTING ZONING: A. R-12MF, B. B-1
EXISTING USE: VACANT
PROPOSED ZONING: NS
PROPOSED USE: RETAIL, UP TO 20,000 SF
PARKING: 1/600 SF = 33 REQUIRED
131 SPACES PROVIDED
BIKE PARKING: 2
LOADING SPACES: 110' X 50' SPACE

LEGEND

- ← FULL ACCESS POINT
- * PROJECT IDENTITY MONUMENT
- ★ TRASH FACILITIES
- ⬮ BIKE PARKING LOCATION

NOTES

- TOPOGRAPHIC, PARCEL AND ROW INFORMATION PROVIDED BY MECKLENBURG COUNTY GIS DATABASE.
- REFER TO PRELIMINARY PLAT CREATED BY JOHN R. MCADAMS FOR BOUNDARY AND EASEMENT INFORMATION.
- ALL PLAN INFORMATION SHOWN IS PRELIMINARY AND SUBJECT TO CHANGE.
- ADJACENT OWNER INFORMATION ACQUIRED 11-6-07 AND SUBJECT TO CHANGE.
- ARCHITECTURAL DESIGN BY CLEAR SIGHT ARCHITECTURE.

VICINITY MAP



ADJACENT OWNERS

- | | |
|---|--|
| 1. 02937198
GATEWAY HOMES, LLC
1103 CAROL COMMONS BLVD
CONCORD, NC 28025
EXISTING ZONING: R-12MF
EXISTING USE: VACANT | 2. 0514104
PROPERTIES CARPENTER INVESTMENT
745 CABARRUS AVE
CONCORD, NC 28025
EXISTING ZONING: B-1(CD)
EXISTING USE: COMMERCIAL |
| 3. 0514105
PAVILION AT TWENTY NINE LLC
PO BOX 5028
CONCORD, NC 28027
EXISTING ZONING: B-1(CD)
EXISTING USE: COMMERCIAL | 4. 0514106
PROPERTIES CARPENTER INVESTMENT
745 CABARRUS AVE
CONCORD, NC 28025
EXISTING ZONING: B-1(CD)
EXISTING USE: COMMERCIAL |
| 5. 05103208
ARK VENTURES INC
19401 OLD JETTON ROAD, ST. 101
CORNELIUS, NC 28031
EXISTING ZONING: CC
EXISTING USE: COMMERCIAL | 6. 02905216
CARRIE BELL MCCLELLAN
1413 NTRYON ST
CHARLOTTE, NC 28262
EXISTING ZONING: R-3
EXISTING USE: VACANT |
| 7. 02905215
CARRIE BELL MCCLELLAN
1413 NTRYON ST
CHARLOTTE, NC 28262
EXISTING ZONING: R-3
EXISTING USE: VACANT | 8. 02905214
HERLOCKER LESTER AND ASSOC., INC.
1716 E. 8TH ST.
CHARLOTTE, NC 28204
EXISTING ZONING: R-3
EXISTING USE: SINGLE-FAM |
| 9. 02905213
HERLOCKER LESTER AND ASSOC.
1716 E. 8TH ST.
CHARLOTTE, NC 28204
EXISTING ZONING: R-3
EXISTING USE: SINGLE-FAM | 10. 02905211
JAMES FLANDERS
3032 LASALLE ST
CHARLOTTE, NC 28216
EXISTING ZONING: R-3
EXISTING USE: SINGLE-FAM |
| 11. 02905212
JIMMIE E. BERTHA LEONARD
217 LINDSEY STREET
CONCORD, NC 28025
EXISTING ZONING: R-3
EXISTING USE: VACANT | 12. 02905232
STEPHEN A. COOPER
PO BOX 562012
CHARLOTTE, NC 28256
EXISTING ZONING: R-3
EXISTING USE: VACANT |
| 13. 02905210
DAVID COOPER
317 SYLVANIA AVE
CHARLOTTE, NC 28206
EXISTING ZONING: R-3
EXISTING USE: SINGLE-FAM | 14. 02905230
JOEL TALLEY
1810 SALOME CHURCH ROAD
CHARLOTTE, NC 28262
EXISTING ZONING: R-3
EXISTING USE: SINGLE-FAM |

2007-047

FOR PUBLIC HEARING
PETITION NO. 2007-XX



REVISIONS:

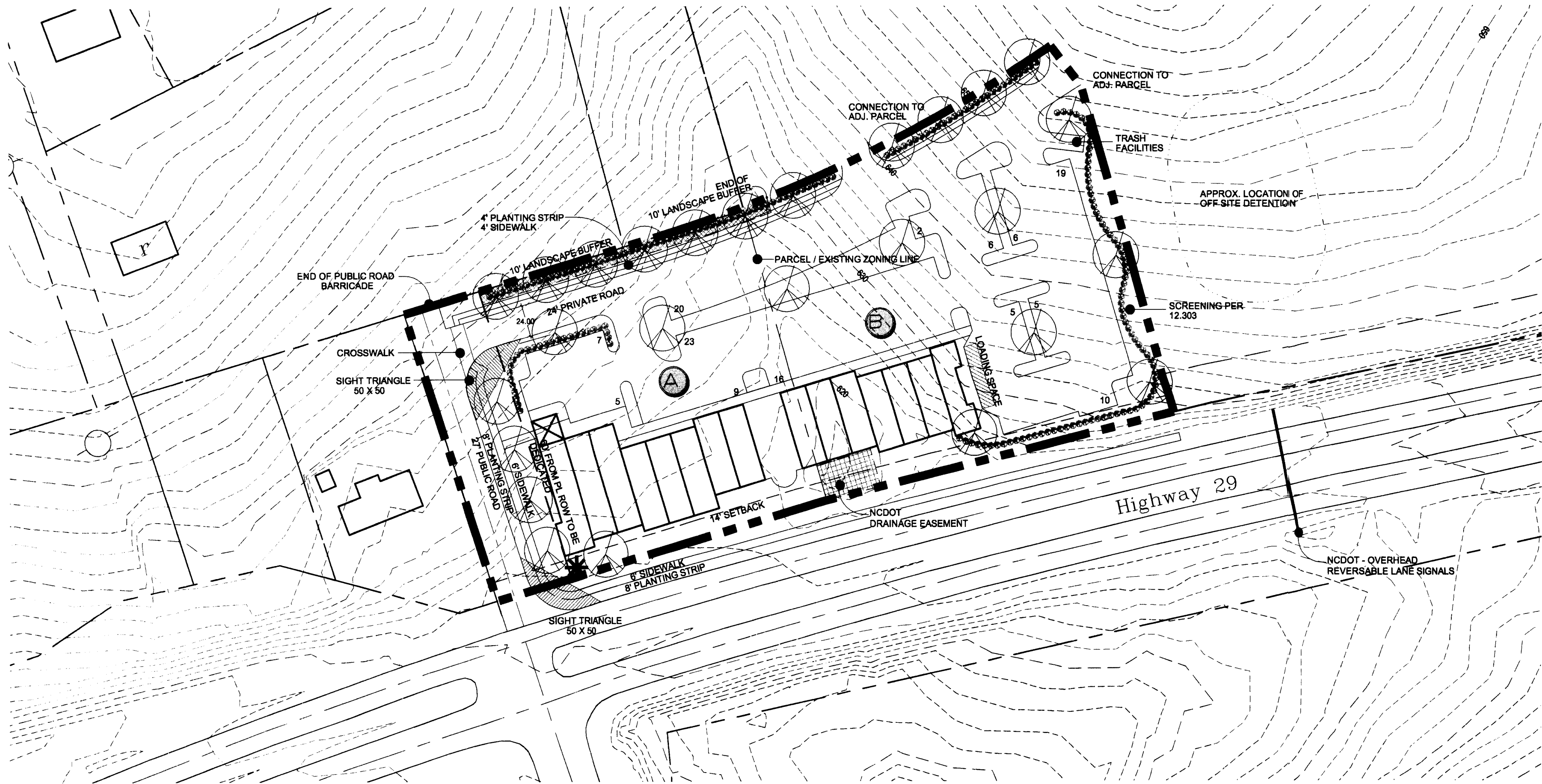
DATE: JANUARY 22, 2007
DESIGNED BY: CH
DRAWN BY: CCCT
CHECKED BY:
O.C. BY:
SCALE: 1"=40'
PROJECT #: 1006327

SHEET #:

RZ-1

HIGHWAY 29 SITE
MULTI-FAMILY COMMUNITY
GATEWAY HOMES, CHARLOTTE, NC
TECHNICAL DATA SHEET

LandDesign
223 N Graham Street Charlotte, NC 28202
V: 704.333.0225 F: 704.333.3246
www.LandDesign.com



DEVELOPMENT STANDARDS

SITE DATA:
Acreage: 2.94 acres
Existing Zoning: B-1, R-12MF
Proposed Zoning: NS
Building Area: 20,000 square feet

DEVELOPMENT STANDARDS

Unless more stringent standards are established by the Technical Data Sheet (Sheet RZ-1), the Schematic Master Plan (Sheet RZ-2), the Building Elevations (Sheet RZ-3), or by these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the NS zoning district classification shall be followed in connection with development taking place on the Site.

A. PERMITTED USES

- Permitted uses shall be those allowed in the NS zoning classification, however, the following uses will not be permitted on the Site:

Convenience stores,
Gasoline sales, and
Drive-through window facilities as an accessory to any establishment, with the sole exception of a bank or financial institution.
- The gross floor area of all buildings constructed on the Site may not exceed, in the aggregate, 20,000 square feet.

B. SETBACKS, SIDE YARDS AND REAR YARDS

- Building setbacks on the Site shall be 14', measured from the ROW along Hwy 29, and the proposed curb line of the new public street (extension of Pavilion Blvd).
- The 10' Landscape Buffer shall include large maturing trees 40' o.c. and shrubs to meeting the City of Charlotte Zoning Ordinance Section 12.303. The Landscape buffer will be provided only along the adjacent R-3 zoned property, as depicted on sheet RZ-1.

C. SCREENING AND STREETSCAPE TREATMENT

- Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
- Any dumpsters located within the Site that are visible from a public street or from an external adjoining property will be screened from view by a solid enclosure with gates.
- The Site shall comply with the City of Charlotte Tree Ordinance.
- Roof-top mechanical equipment shall be screened from public view.

D. DESIGN AND PERFORMANCE STANDARDS

- The exterior elevations of each of the buildings to be constructed on the Site will be designed and constructed such that they are substantially similar to the elevations depicted on Sheets RZ-3.

F. LIGHTING

- All freestanding lighting fixtures will be uniform in design.
- All freestanding lighting fixtures shall be boxed and fully shielded and not exceed 20 feet in height, including its base.
- Parking lot light poles shall not be placed in the tree islands.

G. SIGNS

- Signage shall conform to the provisions of the Ordinance.
- No more than one detached monumental project identification signs shall be permitted and it shall be located within the location generally depicted on the Technical Data Sheet. These signs may not exceed 7 feet in height and the actual signage area may not exceed 50 square feet on either side.
- Directional signs shall be allowed as permitted in the ordinance but may not exceed 30" in height in the sight triangles.

H. PARKING

- Off street parking spaces will, at a minimum, satisfy the requirements of the NS zoning district in the Ordinance.
- Bicycle parking spaces (bike racks) shall be provided within the areas generally depicted on the Sheet RZ-1 in accordance with the Ordinance.

I. SIDEWALKS, PLANTING STRIPS AND PEDESTRIAN CONNECTIONS

- A sidewalk shall be provided along the Site side of the proposed extension of Pavilion Blvd and along US HWY 29 which will be at least 6 feet in width and have a planting strip between the sidewalk and the street curb or edge of pavement which is at least 5 feet in width, all as generally depicted on Sheet RZ-1.
- Planting strips and sidewalks may be located within the setback and/or the rights-of-way subject to any necessary government approval.
- A 4' sidewalk and 4' planting strip connection to the adjacent parcel along one side of the private internal road will be provided as generally depicted on sheet RZ-2.
- The Petitioner will grant to the adjacent Multi-Family parcel, yet to be developed, a perpetual cross-access easement allowing them to gain access to and from the proposed public road as generally depicted on the Technical Data Sheet.

J. RIGHT-OF-WAY DEDICATION

The Petitioner agrees to dedicate and convey (by quitclaim deed and subject to a reservation for any necessary utility easements) that portion of the Site that may be required to provide right of way as follows prior to the issuance of any building permits for the Site:

Pavilion Blvd Extension

60 feet from adjacent SW property line

K. ACCESS POINTS (DRIVEWAYS) / ROAD IMPROVEMENTS

- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
- The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte and/or the North Carolina Department of Transportation.

L. FIRE PROTECTION

Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's specifications.

M. STORM WATER MANAGEMENT

- Storm water runoff from the Site will be managed off-site on the adjacent Multi-Family Parcel utilizing a storm drainage detention easement.

N. AMENDMENTS TO REZONING PLAN

Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

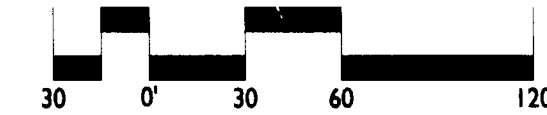
O. BINDING EFFECT OF THE REZONING APPLICATION

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns. Throughout these Development Standards, the terms Petitioner and Owner(s) shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

VICINITY MAP



FOR PUBLIC HEARING
PETITION NO. 2007-XX



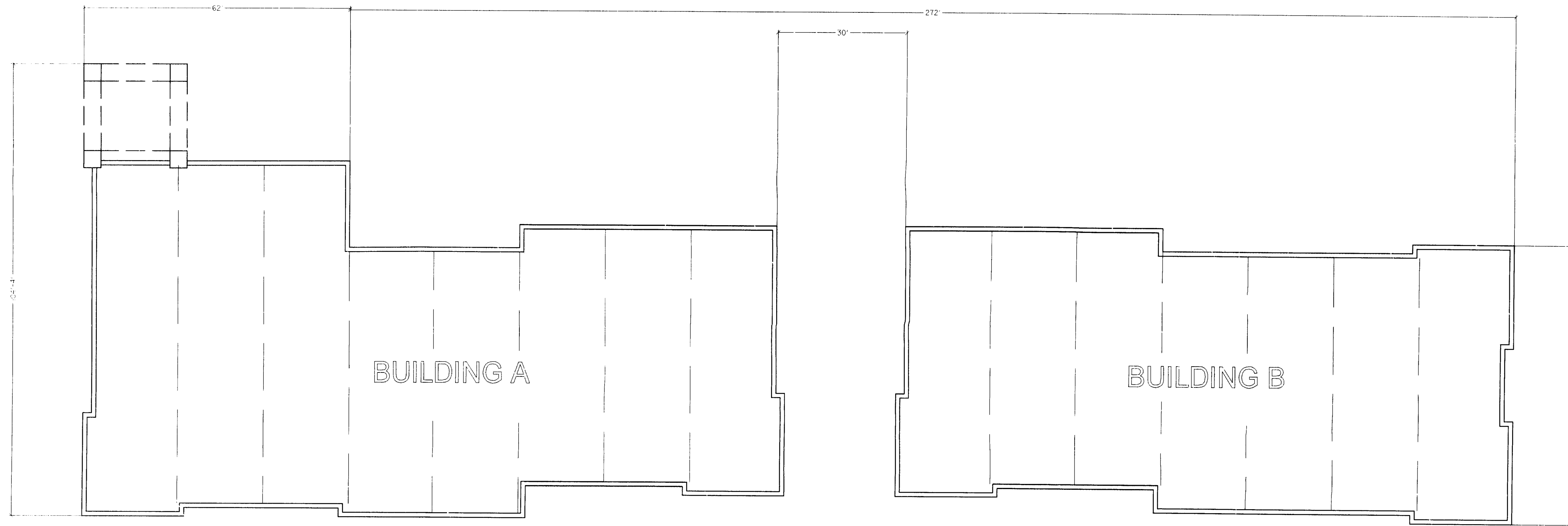
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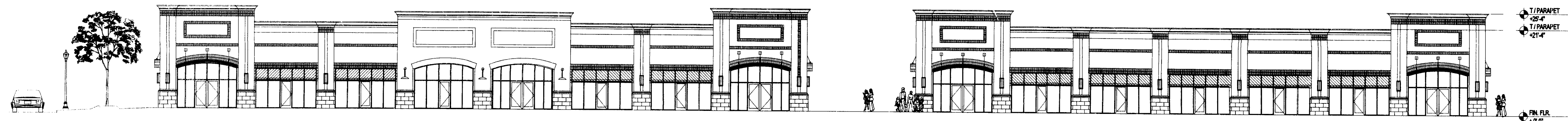
RZ-2



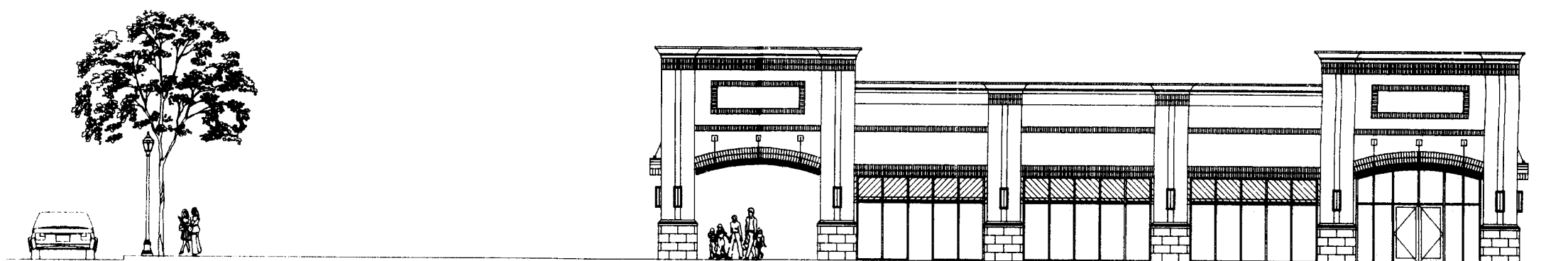
VICINITY MAP



PLAN VIEW
ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO CHANGE



SOUTH ELEVATION



WEST ELEVATION

