

2006-156

RECEIVED
AUG 28 2006
BY:

Site Data

Tax Parcel ID #: 078-075-01
Site Address: 515 N. Graham St.
Site Area: 3.54 AC.
Current Zoning: MUDD-O

Proposed Zoning: MUDD-O

Existing Use: Residential 424 units (440,000 sq. Ft.)
Commercial 20,000 Sq. Ft.
Garage 250,000 Sq. Ft.

Proposed Use: Residential 424 units (440,000 sq. Ft.)
Commercial 20,000 Sq. Ft.
Garage 250,000 Sq. Ft.

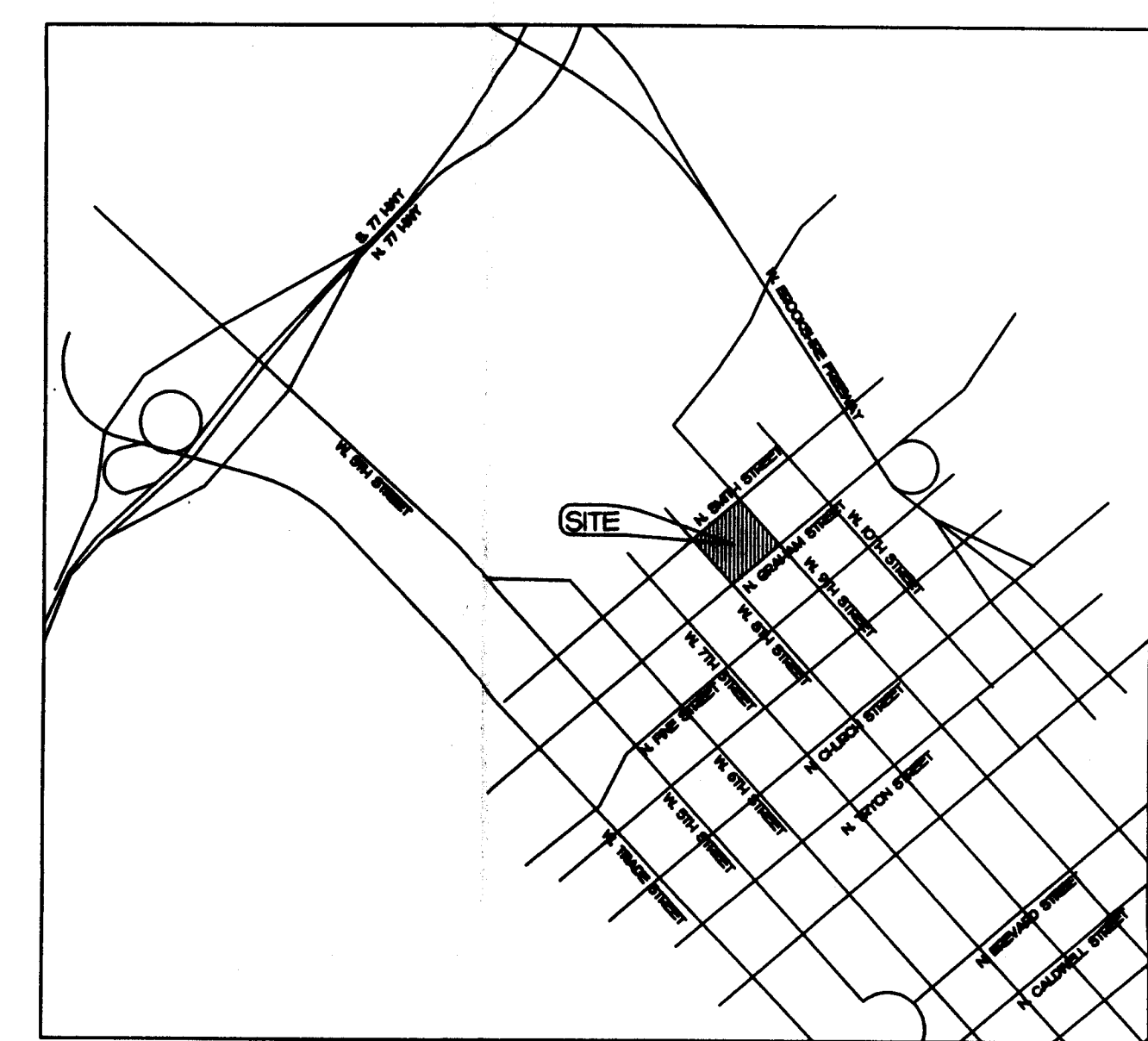
Existing Building Height per Rezoning Petition #2005-82:
120' height + 320' Max. For building areas A and B

Proposed Building Height: 160' Max. for Building Areas C and D + 320' Max. For building areas A and B

Existing MUDD Options per Rezoning Petition #2005-82:
1) Allow sidewalks to meander to save existing trees.

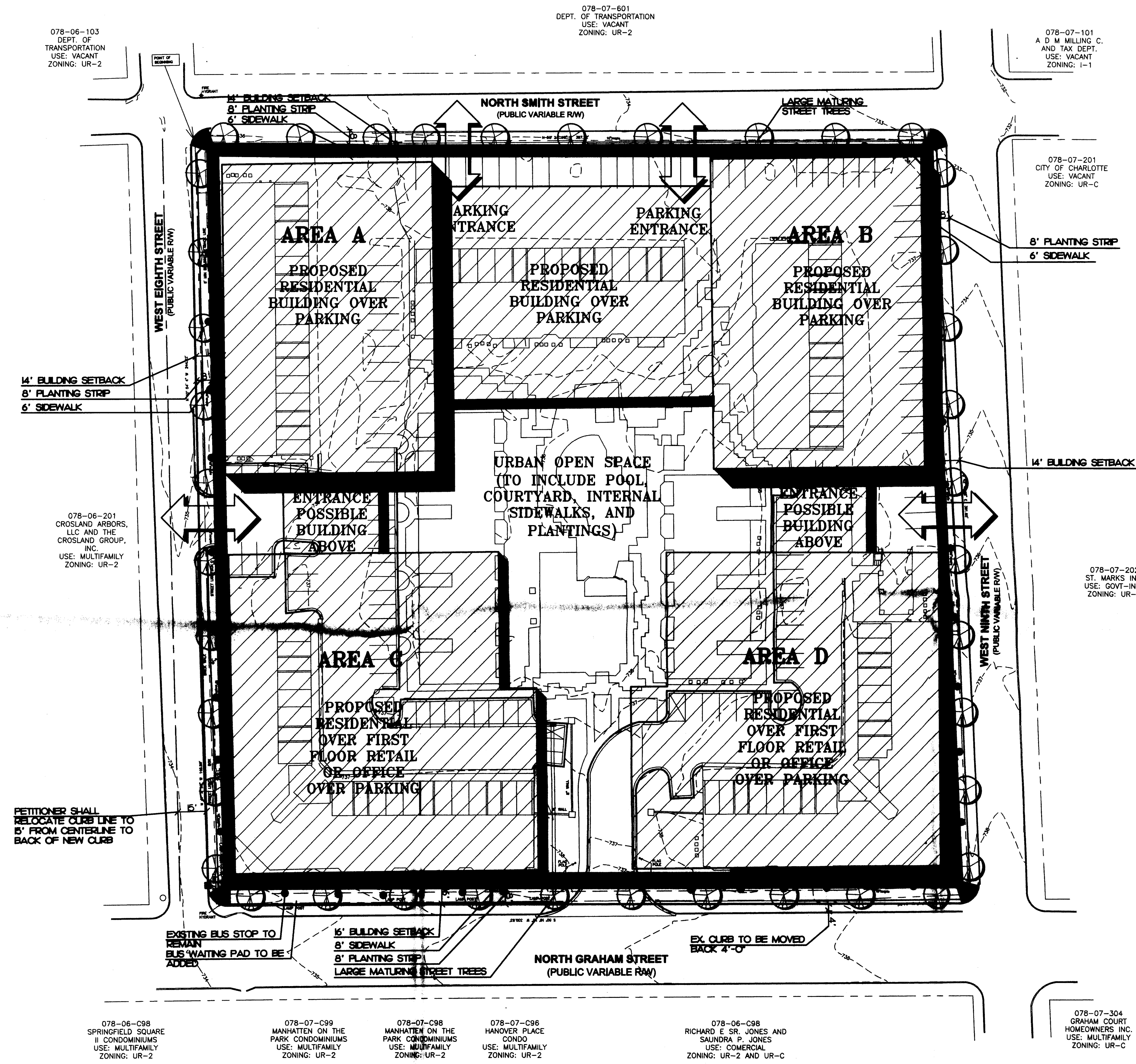
Existing Development Notes per Rezoning Petition #2005-82:

- 2) Residential and non residential buildings need to orient toward street with windows and doors oriented to street.
- 3) All parking structures are to have security gates to restrict access.
- 4) No wall "pak" type lighting will be allowed.
- 5) All detached lighting shall be fully shielded.
- 6) All sidewalks to be brick pavers per the 4th ward streetscape plan and all curbs to be granite.
- 7) The existing bus stop on North Graham Street shall remain and have a bus waiting pad constructed (per cats development standards 60.01a) on North Graham Street.
- 8) The buildings from the second floor and above shall encroach into the setbacks by 2'.
- 9) Solid waste and recycling shall be provided per section 12.403(4) and meet all the requirements of chapters 9 and 12 of the Charlotte Mecklenburg County Zoning Ordinance.
- 10) All loading, waste and recycling collection will need to occur within the site.
- 11) All pedestrian lighting will be provided per the 4th Ward Plan.
- 12) Bike parking shall be located within the parking structure.
- 13) The developer shall construct an internal system of sidewalks that connect to the sidewalks along the streets.
- 14) Petitioner shall widen the pavement cross section for West Eight Street to a 15' cross section from centerline of right of way to back of new curb, as shown in the City of Charlotte Traditional Neighborhood Development Street detail II.10.



VICINITY MAP
NOT TO SCALE

TECHNICAL DATA PLAN



THE CITADIN
CHARLOTTE, NORTH CAROLINA

THE FOURTH WARD SQUARE ASSOCIATES, LP
501 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
PHONE: 704.332.5591

Design Resource Group

230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.348.0808 fax 704.368.3083
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

DRG

REZONING
PLAN

FOR PUBLIC HEARING
PETITION #2006-xx

North

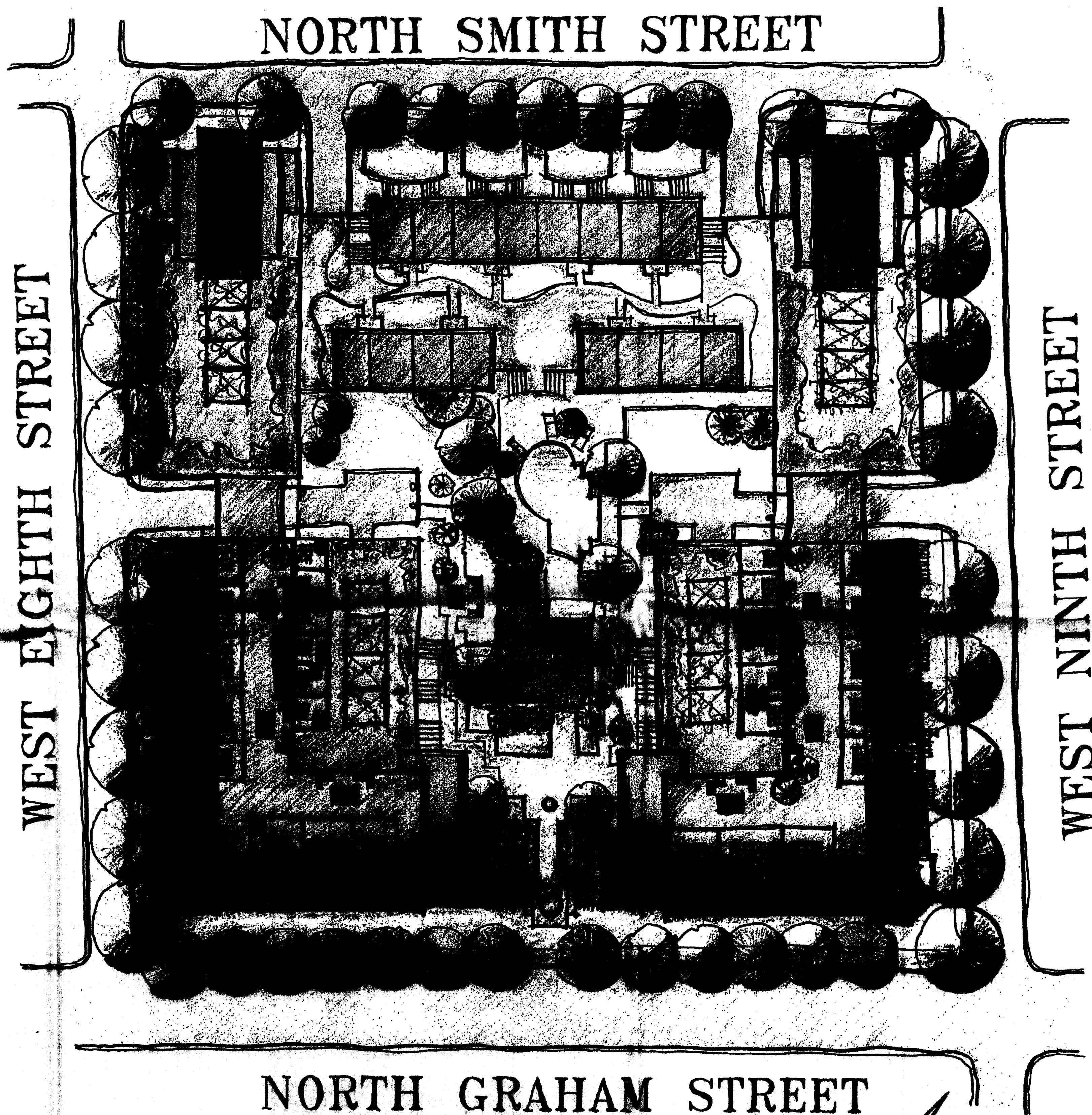
Scale: 1" = 30'

Date: AUGUST 28, 2006

Project No.: 215-001

Revisions:

Sheet 1 of 3



Perkins Eastman

THE CITADIN
CHARLOTTE, NORTH CAROLINA

THE FOURTH WARD SQUARE ASSOCIATES, LP
501 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
PHONE: 704.332.5591

Design
Resource Group

230 West Morehead Street, Suite 214
Charlotte, NC 28206
704.343.0808 fax 704.368.3063
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

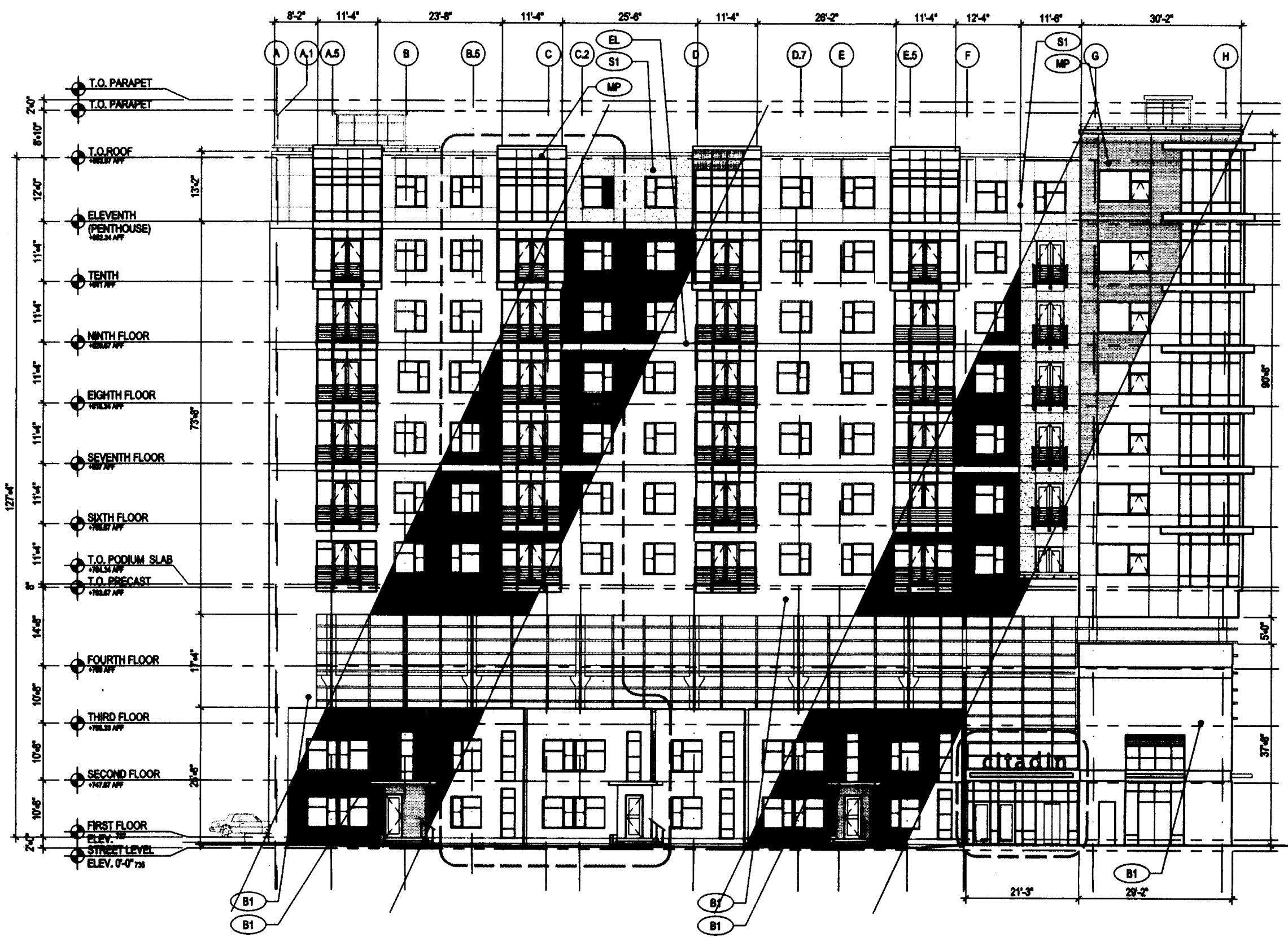
DRG

**SCHEMATIC
SITE PLAN**

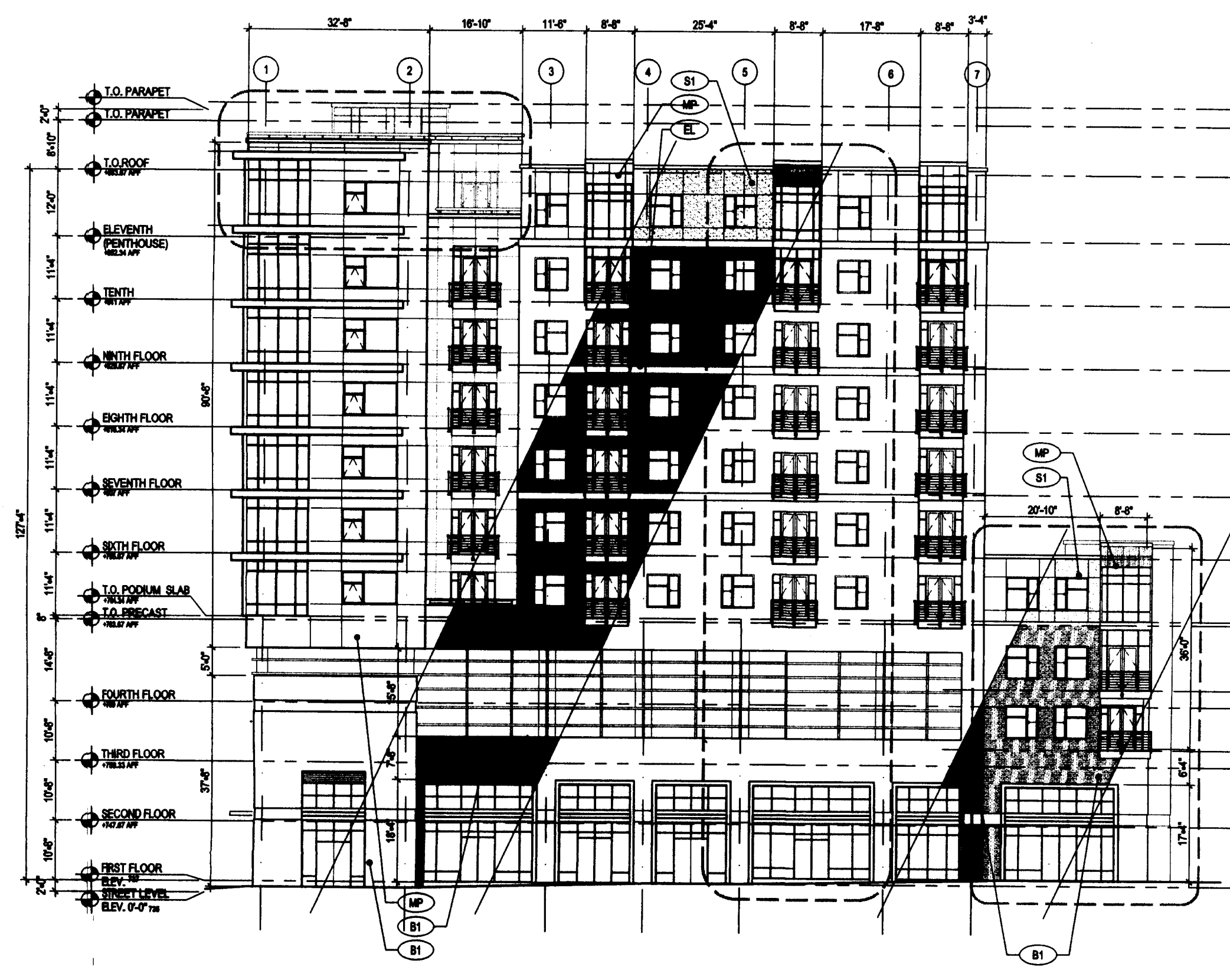
FOR PUBLIC HEARING
PETITION #2005-XX



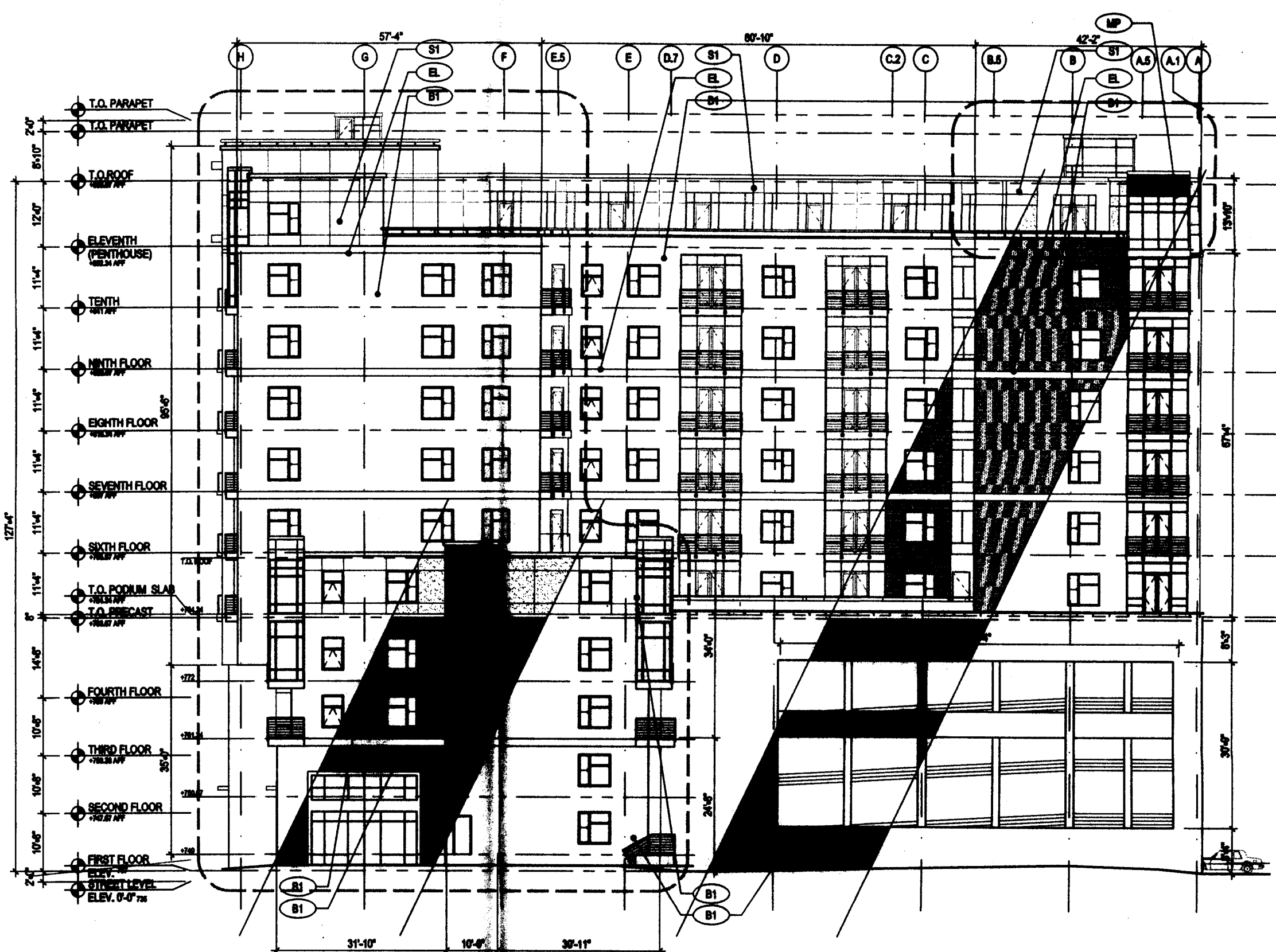
Scale: 1" = 30'
Date: AUGUST 28, 2006
Project No.: 215-001
Revisions:



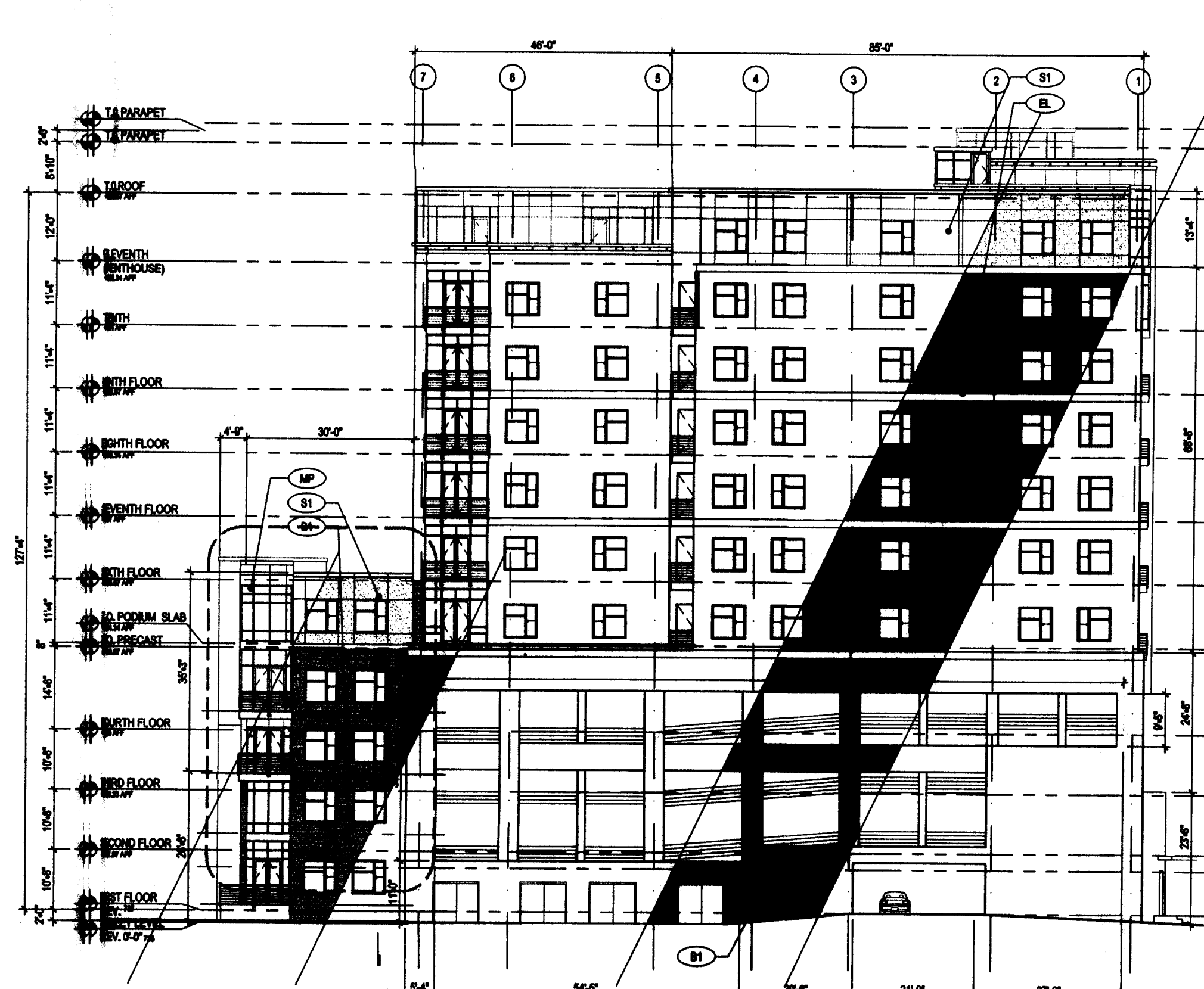
1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"
8TH STREET ELEVATION



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"
N. GRAHAM STREET ELEVATION



3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"
COURTYARD ELEVATION

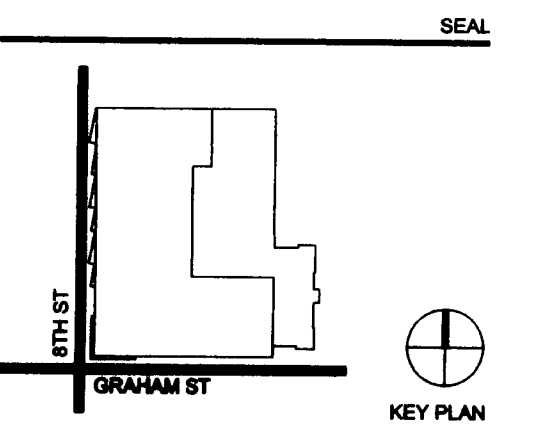


4 WEST ELEVATION
SCALE: 1/16" = 1'-0"
SERVICE DRIVE ELEVATION

MATERIAL TYPES LEGEND	
(B1)	BRICK TYPE 1 -
(S1)	STUCCO
(MP)	METAL PANEL
(EL)	PAINTED STEEL BRICK SHELF

- THIS DRAWING IS THE PROPERTY OF PERKINS EASTMAN AND IS NOT TO BE REPRODUCED OR COPIED IN PART OR IN WHOLE. IT IS NOT TO BE USED IN ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST.
- MATERIALS, DIMENSIONS, AND ALL OTHER CONDITIONS WHICH ARE NOT OTHERWISE DEFINED ON THIS DRAWING SHALL BE CONSIDERED AS HAVING THE SAME MEANING AS SIMILARLY INDICATED CONDITIONS WHICH ARE MORE FULLY DEFINED ELSEWHERE ON THIS PROJECT OR OTHER DRAWINGS FOR THIS PROJECT.
- DO NOT SCALE DRAWINGS

NO.	DATE	REVISION
1	3-10-06	MUDD SUBMITTAL
2	7-10-06	MUDD SUBMITTAL - CYCLE 2



Perkins Eastman
223 NORTH GRAHAM STREET
SUITE 100
CHARLOTTE, NC 28202
T. 704.944.0001
F. 704.342.4402

OWNER:
FOURTH WARD SQUARE ASSOCIATES
501 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.271.3856

DEVELOPER:
JLT PARTNERS
501 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.271.3856

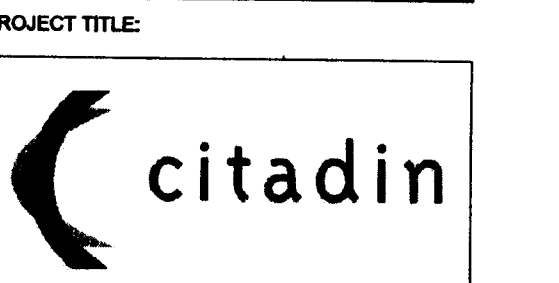
CONTRACTOR:
BOYD LIND LEASE
2850 WEST TYVOLA RD, SUITE 800
CHARLOTTE, NC 28217
704.357.1919

CIVIL/LANDSCAPE:
DESIGN RESOURCE GROUP
1230 WEST MOREHEAD STREET, SUITE 214
CHARLOTTE, NC 28208
704.343.0608

STRUCTURAL:
MATTHEW FORD DESIGN ASSOCIATES, INC.
325 FOREST GROVE DRIVE
PEWAWKEE, WI 53072
262.691.2900

PLUMBING-MECHANICAL-ELECTRICAL:
SABER ENGINEERING
600 WEST HILL STREET, SUITE 101
CHARLOTTE, NC 28208
704.373.0088

GEOTECHNICAL ENGINEER:
GEOSCIENCE GROUP, INC.
550-K CLANTON ROAD
CHARLOTTE, NC 28217
704.525.2003



N. GRAHAM STREET
CHARLOTTE, NC
PROJECT NO: 23380.00

DRAWING TITLE:
BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"
A400
PERMIT DOCUMENTS
SEPTEMBER 15, 2006

ELEVATIONS ARE FOR BUILDING AREA "C"