

UTILITIES:

POWER
DUKE POWER CO.
(800) 357-3853

TELEPHONE
BELL SOUTH TELECOMMUNICATIONS
(704) 357-6874 NEW CONNECTIONS
(704) 357-6880 EXISTING SERVICES

WATER & SEWER
CHARMECK UTILITY DEPT. (CMUD)
(704) 399-2221

GAS
Piedmont Natural Gas Co.
(704) 625-6585

CABLE TELEVISION
(800) 632-4649

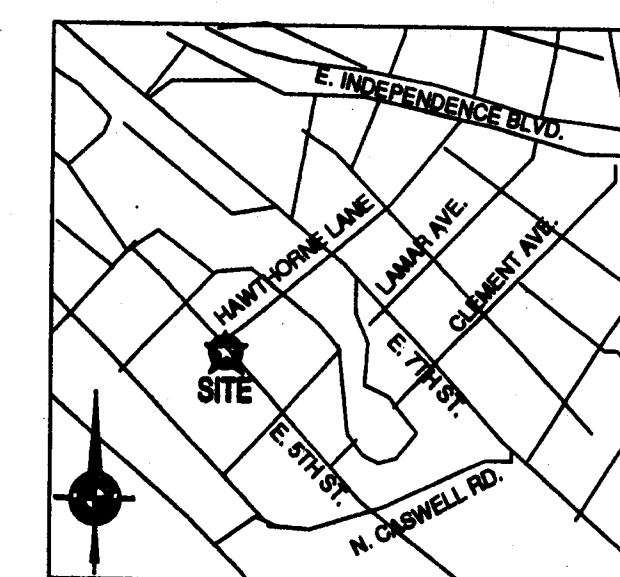
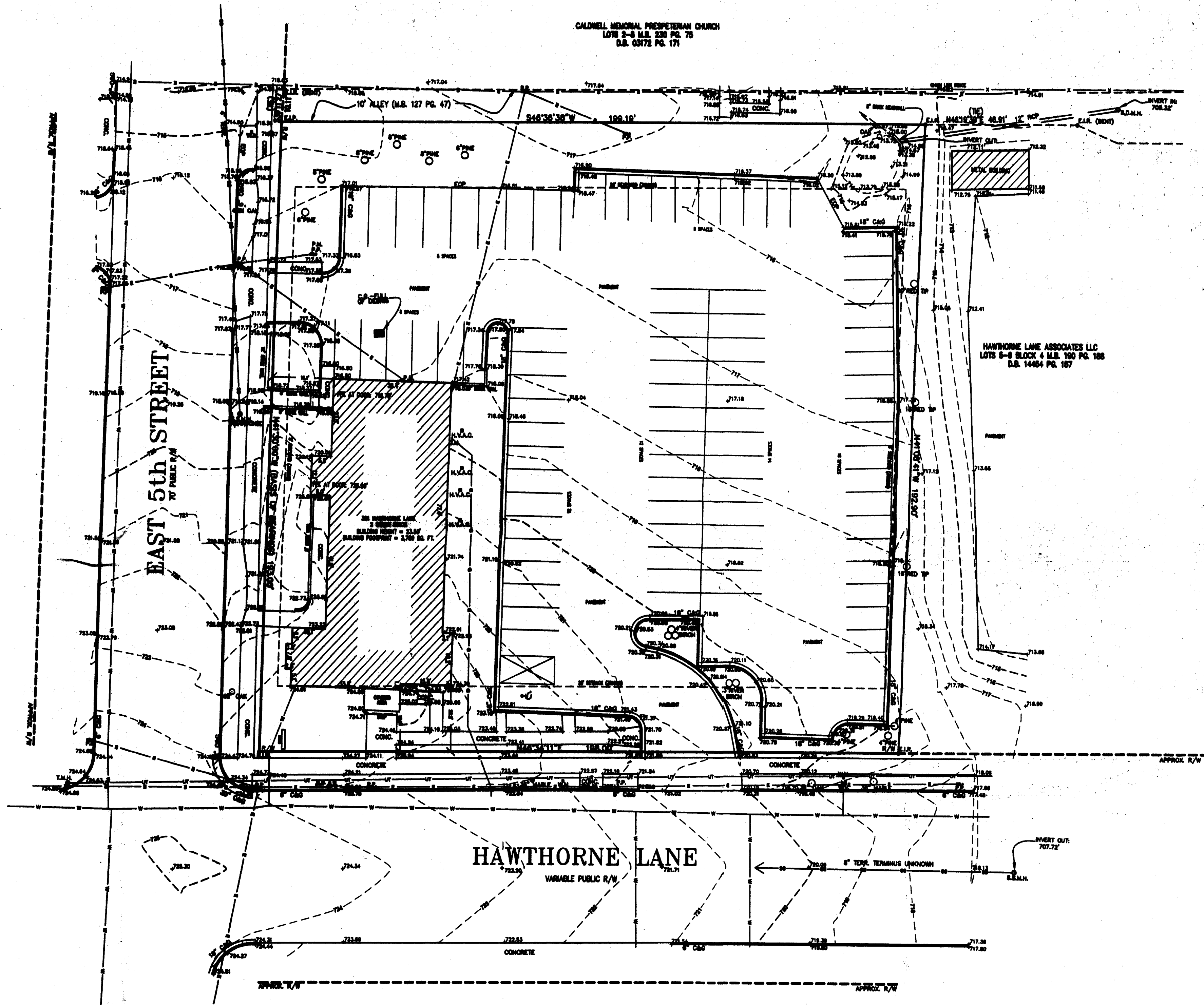
ZONING:

ZONING RESTRICTIONS AS PER ZONING
ORDINANCE: SUBJECT PROPERTY ZONED: O-2

MINIMUM SETBACK: 20'
MINIMUM SIDE YARD: 5'
MINIMUM REAR YARD: 20'
MAXIMUM BUILDING HEIGHT: 40'

LEGEND

C&G - CURB & GUTTER
D.B. - DEED BOOK
E.I.P. - EXISTING IRON PIPE
E.I.R. - EXISTING IRON ROD
EOP - EDGE OF PAVEMENT
G.M. - GAS METER
G.V. - GAS VALVE
G.W. - GUY WIRE
M.B. - MAP BOOK
N.I.R. - NEW IRON ROD
P.M. - POWER METER
P.P. - POWER POLE
PG - PAGE
R/W - RIGHT-OF-WAY
S.S.M.H. - SANITARY SEWER MANHOLE
S.D.M.H. - STORM DRAINAGE MANHOLE
T.M.H. - TELEPHONE MANHOLE
TERR. - TERRACOTTA PIPE
W.V. - WATER VALVE
PROPERTY LINE (NOT SURVEYED)
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
EASEMENT
SETBACK
GAS LINE
POWER LINE
SANITARY SEWER PIPE
STORM DRAINAGE PIPE



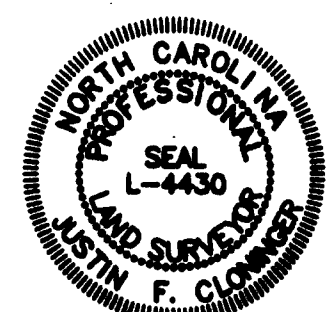
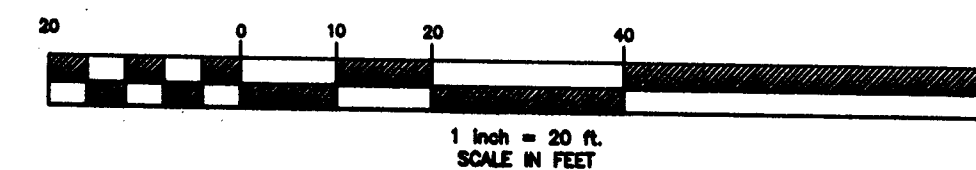
06-144

RECEIVED
OCT 24 2006

NOTES:

- THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- NO RECOVERABLE NC88 MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
- HAWTHORNE LANE IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-LINCOLN METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 80' FROM CENTERLINE.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAY WIDTH OF ANY ADJACENT PROPERTIES.
- ELEVATIONS ARE BASE OFF R. B. PHARR MAP XX-2741T, S.S.M.H. WITH ELEVATION OF 721.23'

TOTAL AREA
38,293 SQ. FT. OR 0.87 ACRES

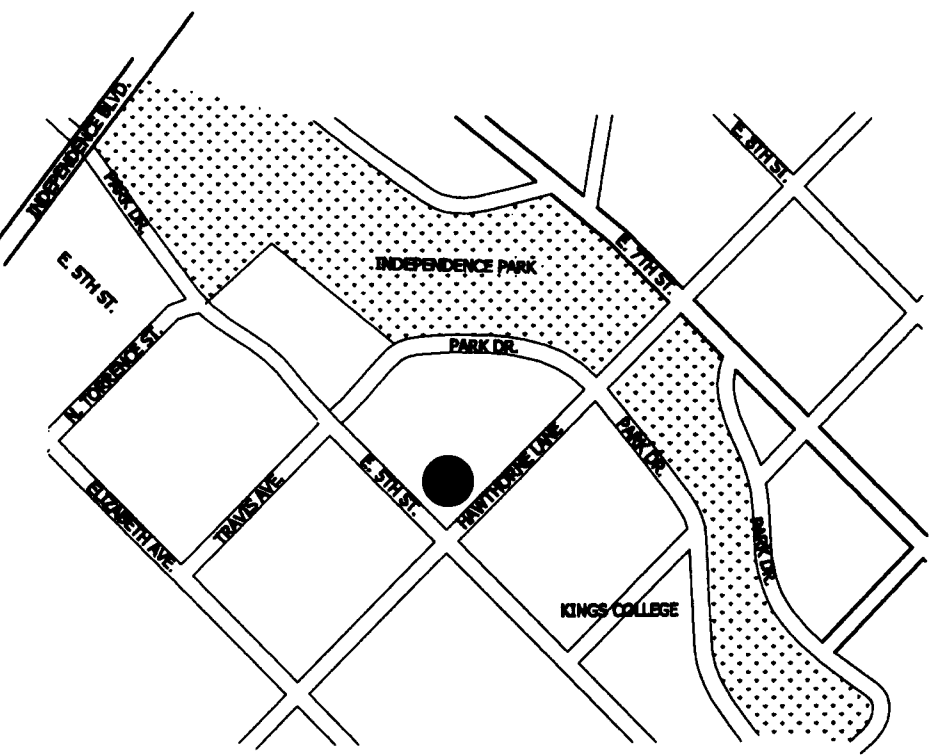


FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 4, 2004.
COMMUNITY PANEL NO: 370159 0187E

THIS IS TO CERTIFY THAT ON THE 7TH DAY OF AUGUST, 2006 AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (21 NCAC 54) AND THIS RATIO OF 1/4"=20' DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED: Justin E. Clowers

REVISIONS			SURVEY PREPARED FOR:	
10-13-06	TREES UPDATED		B & E PROPERTIES	
			301 HAWTHORNE LANE CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC DEED BOOK 9503 PAGE 342 LOTS 2,3, & 4 HIGHLAND PARK, BLOCK 4 MAP BOOK 127 PAGE 47 TAX ID: 080-198-04	
			R.B. PHARR & ASSOCIATES, P.A.	
			SURVEYING & MAPPING 420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL: (704) 378-2186	
DRAWN:	DATE:	FILE NO. W-3371		
TN	ZM/JC	JG	1" = 20' AUGUST 21, 2006 JOB NO. 68837	



04 VICINITY MAP

scale: N.T.S.

B&E Properties, LLC MUDD (O) Site Plan Notes

- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases.
 - Access to the site will be provided by driveway connections to Hawthorne Lane and East 5th Street as generally depicted on this site. Any sidewalks that are located outside of the public street right-of-way will be placed within sidewalk easements. The reconstruction or construction of sidewalks along portions of the site may be modified to protect existing street trees. The Petitioner will propose a non-standard streetscape in these areas under the Optional process.
 - The proposed use of the property will be for the redevelopment of the site to accommodate a medical office building along with associated parking and service areas.
 - All dumpsters will be screened with solid enclosures and gates.
 - The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping.
 - Parking will be provided which meets or exceeds the requirements of the Ordinance and will be located behind the front setback line. The parking indicated on the site plan may be reduced by as many as 5 spaces in accordance with the requirements of CDOT, utilities, or other City standards.
 - Signage will be provided in conformance with the standards of the ordinance.
 - The Petitioner will work with CATS to determine the location and timing for the construction of a pad for a future transit waiting pad that will be installed by the Petitioner in accordance with CATS requirements.
 - The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
 - Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners," shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the owner or owners of the Site who may be involved in its development from time to time.
- July 26 2006, Initial submission.
October 23, 2006, Revised per staff comments.

03 NOTES

scale: N.T.S.

SITE DATA TABLE

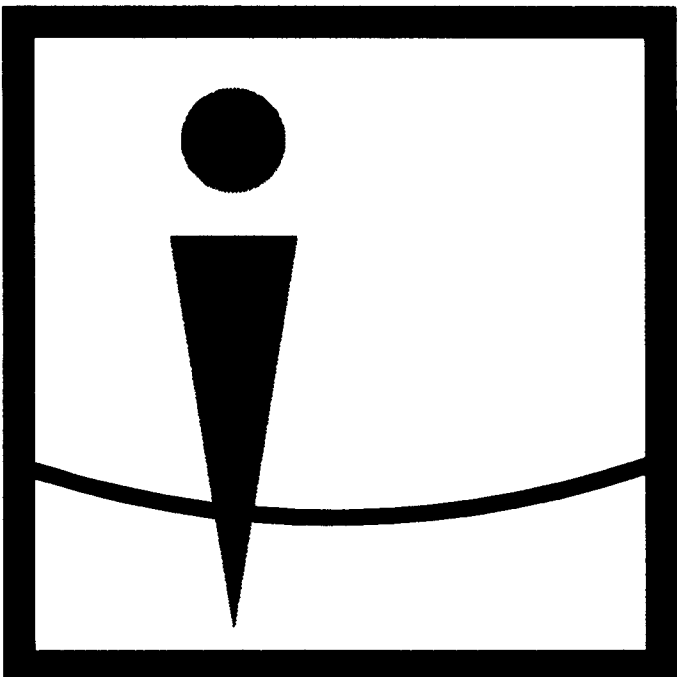
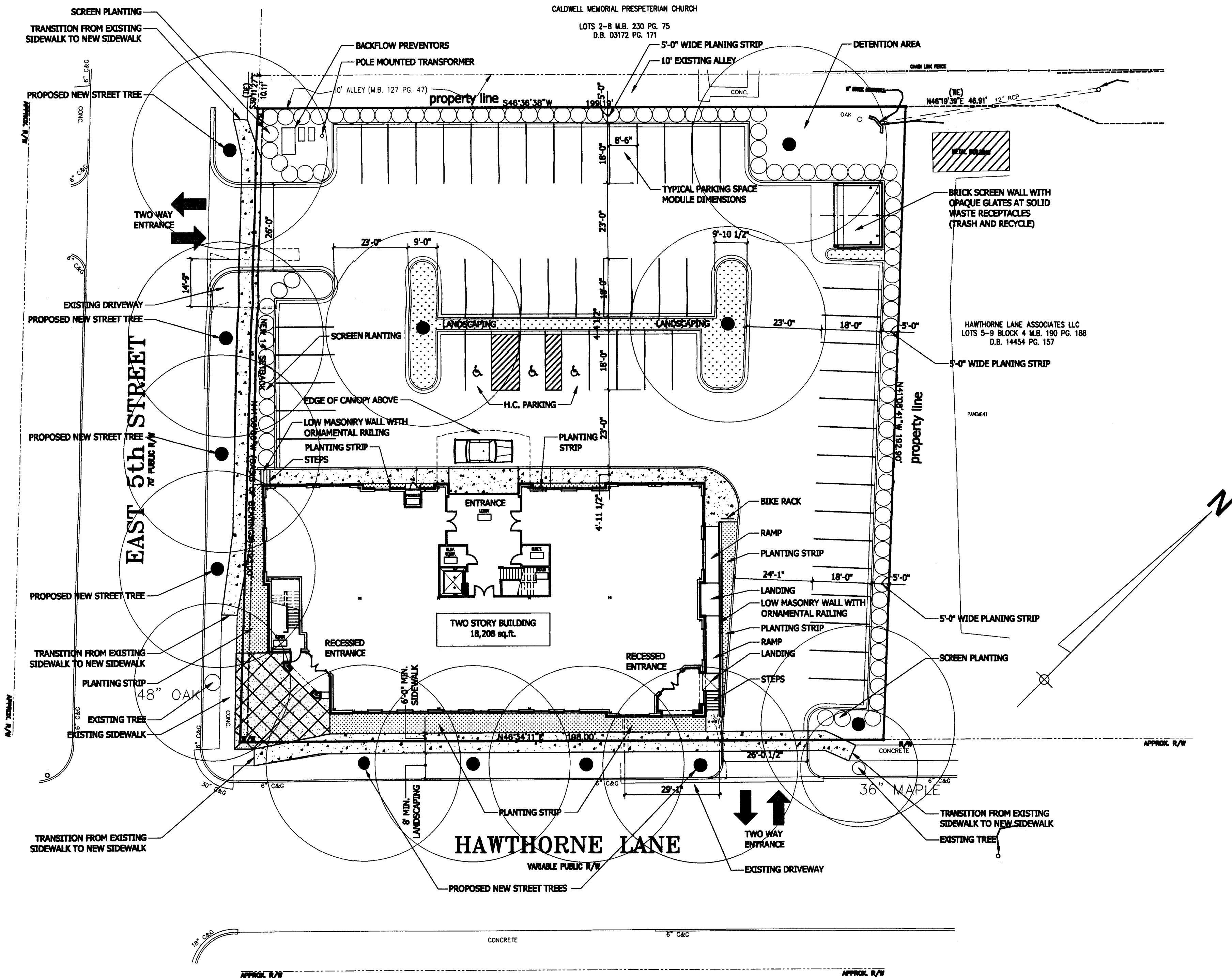
TAX PARCEL NO.: 080-198-04
SITE AREA: Approx. 0.98 Acres
EXISTING ZONING: O-2
PROPOSED ZONING: MUDD (O)
BUILDING AREA PROPOSED: 19,000 sf
ADDITIONAL IMPERVIOUS AREA: 3,848 sf
PARKING: 55 spaces provided (1:350)

02 SITE DATA

scale: N.T.S.

01 SITE PLAN

scale: 1 : 20



Overcash Demmitt
Architects

2010 south tryon street suite 1a
charlotte north carolina 28203
voice • 7 0 4 . 3 3 2 . 1 6 1 5
fax • 7 0 4 . 3 3 2 . 0 1 1 7
web • w w w . o d a r c h . c o m

TBC
Thomas Building Company, LLC

Hawthorne
Cardiothoracic
and
Vascular
Surgeons

Building Shell Package

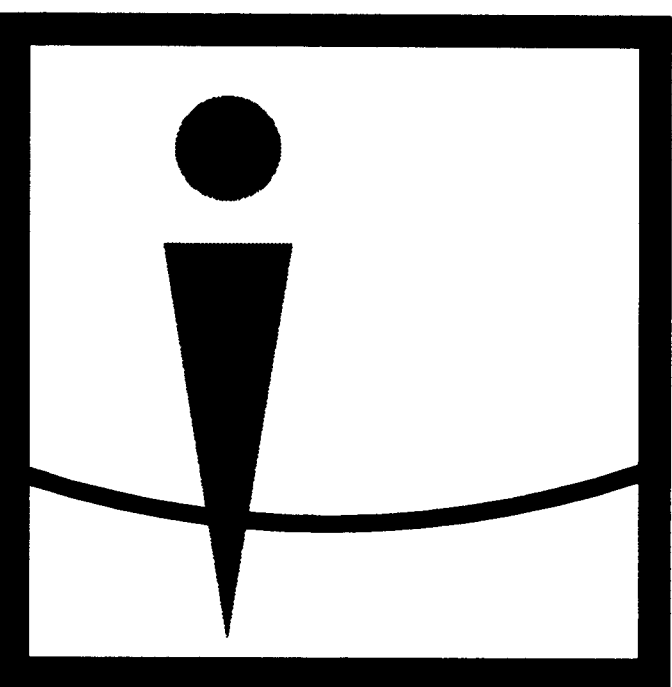
Charlotte, North Carolina

ISSUE	DATE
OWNER REVIEW	08/31/06
OWNER REVIEW	09/19/06
DESIGN COMMITTEE REVIEW	09/25/06
OWNER REVIEW	10/03/06
ECA REVIEW	10/10/06
OWNER REVIEW	10/17/06
ZONING SUBMITTAL	10/23/06
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SITE PLAN

A1.0

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ODA No. 062047 CADD File: draw/2047_A1-0.dwg



Overcash Demmitt
Architects

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TBC
Thomas Building Company, LLC

Hawthorne Cardiothoracic and Vascular Surgeons

Building Shell Package

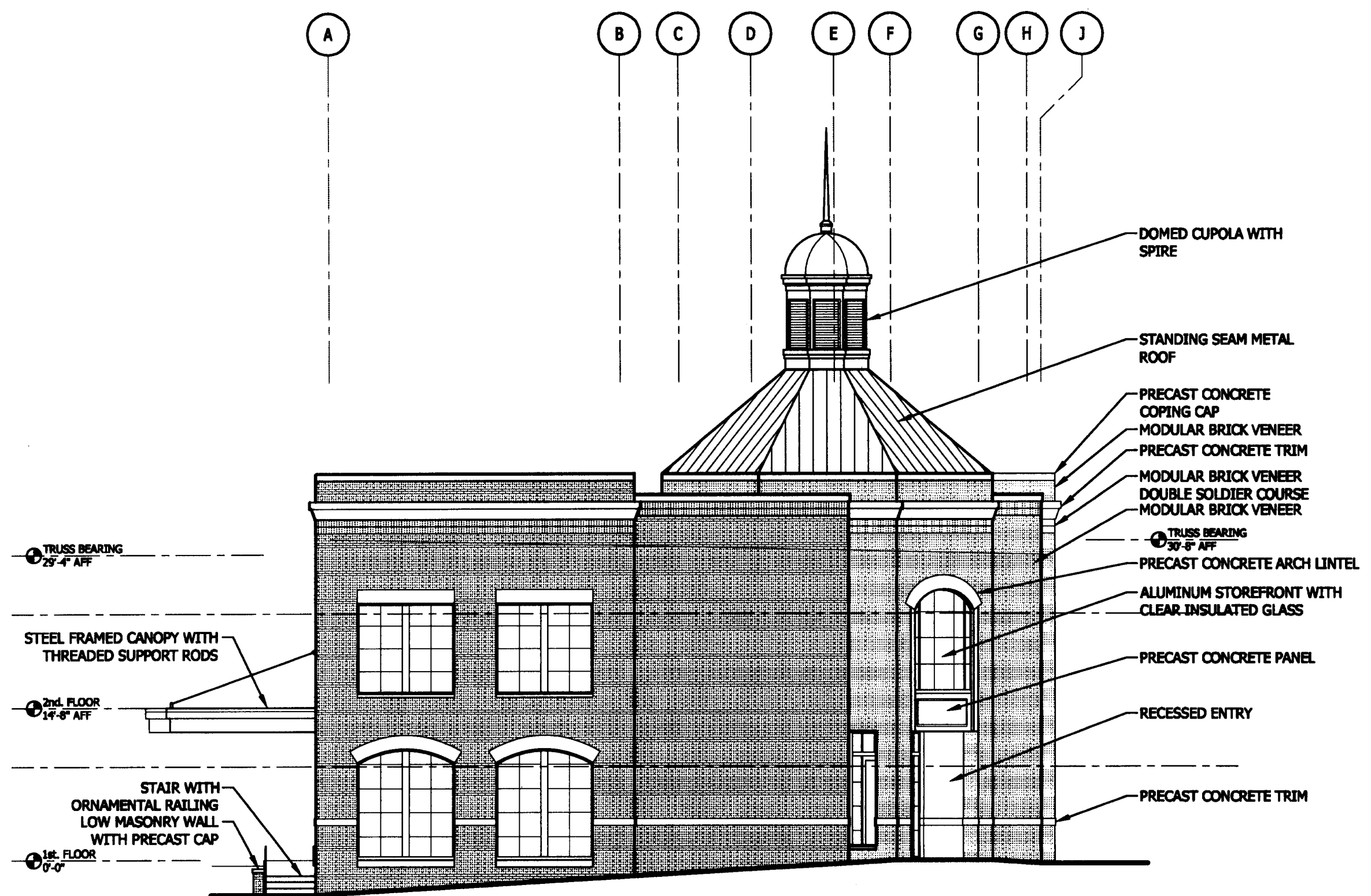
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ELEVATIONS

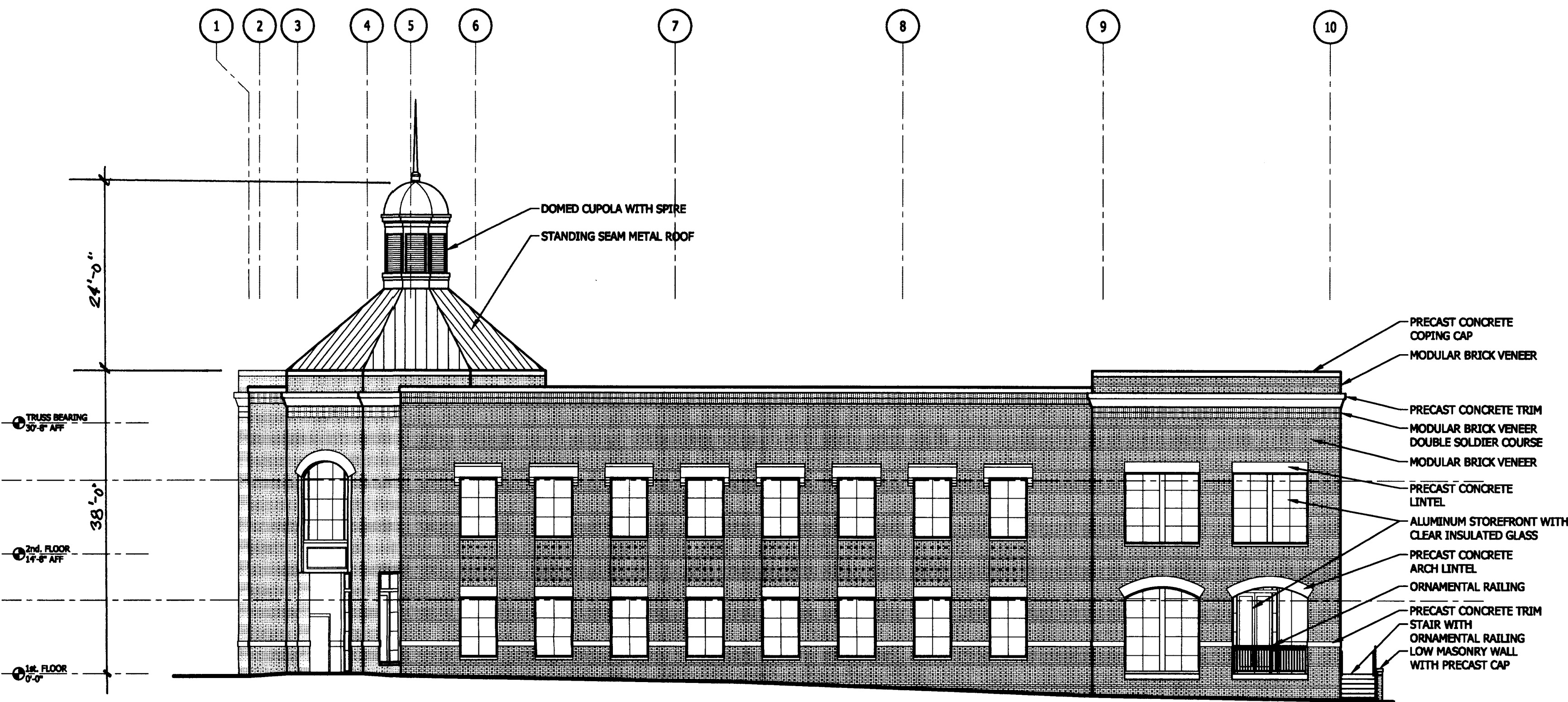
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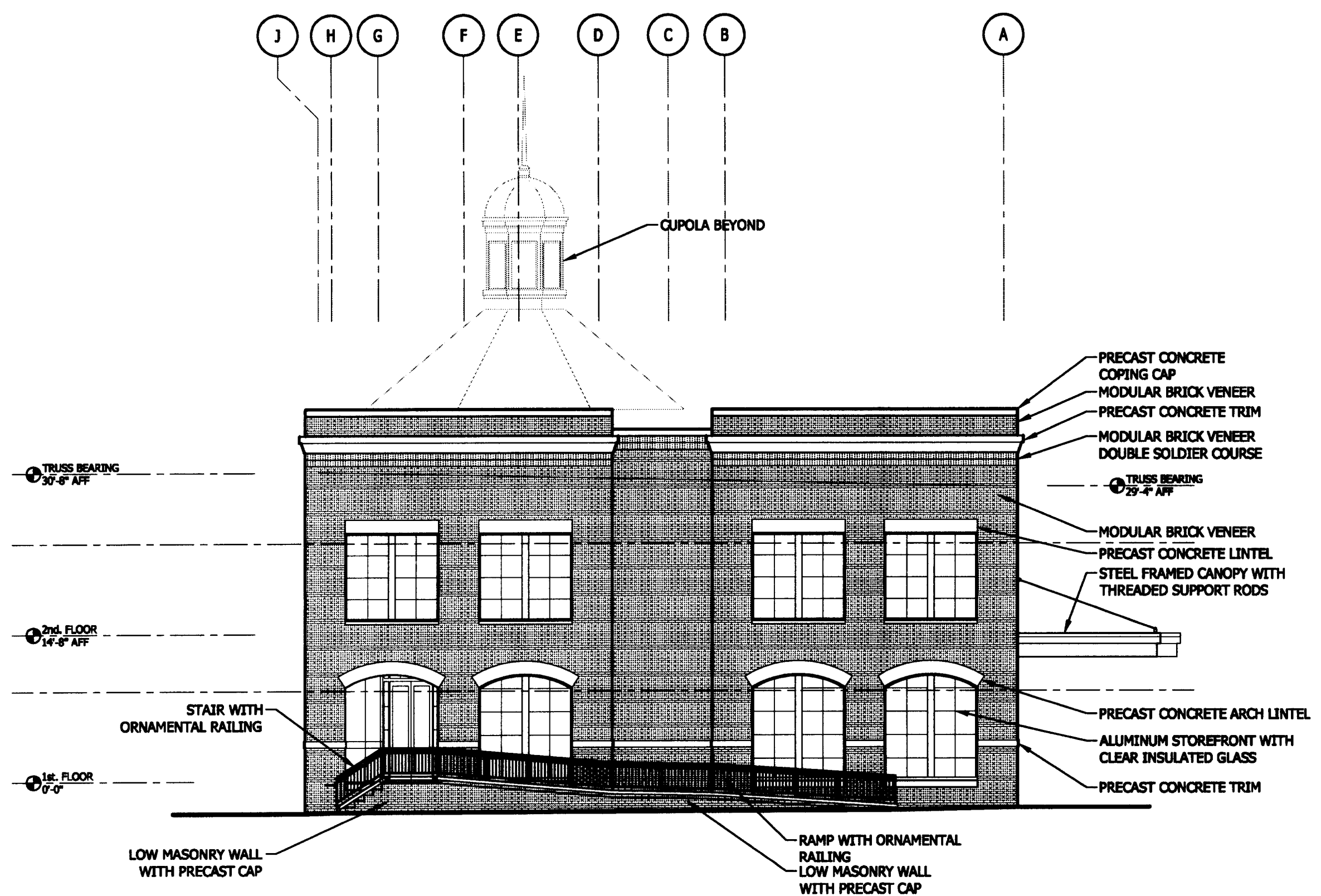
04 SIDE ELEVATION (EAST 5th STREET)

scale: 3/32" = 1'-0"



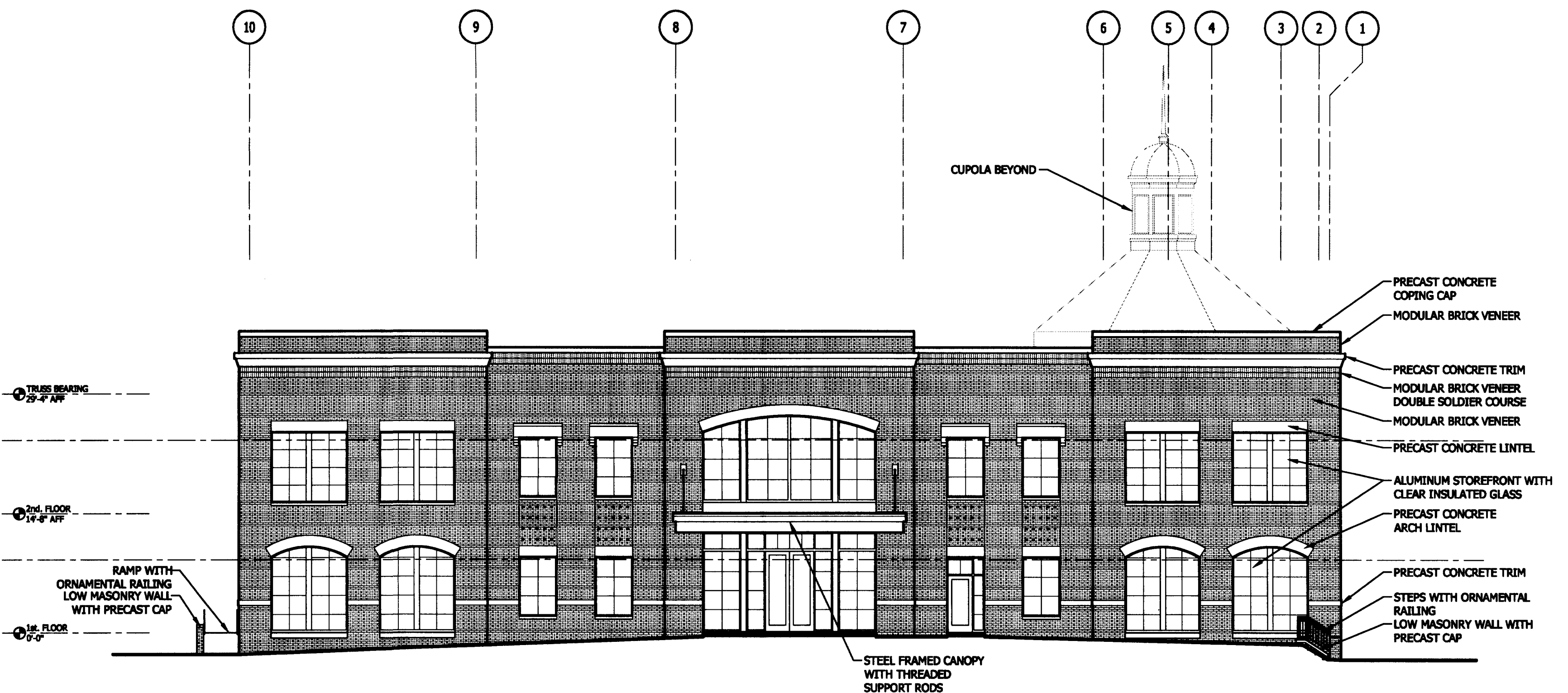
03 FRONT ELEVATION (HAWTHORNE LANE)

scale: 3/32" = 1'-0"



02 SIDE ELEVATION (PARKING)

scale: 3/32" = 1'-0"



01 BACK ELEVATION (PARKING)

scale: 3/32" = 1'-0"