

VICINITY MAP N.T.S.

SURVEY DISCLAIMER
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 TEL. (704) 455-9553; DATED AUGUST 8, 2003.



Cole Jenest & Stone
 Shaping the Environment
 Realizing the Possibilities

Land Planning
 Landscape Architecture
 Civil Engineering
 Urban Design

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GREYSON RIDGE DEVELOPMENT
 50 Midtown Parkway East
 Mobile, Alabama 36606

GREYSON RIDGE

Charlotte
 North Carolina 28262

SITE SURVEY

Project No.
 3318
Issued
 05/03/06

Revised
 08/18/06 - REZONING SUBMITTAL

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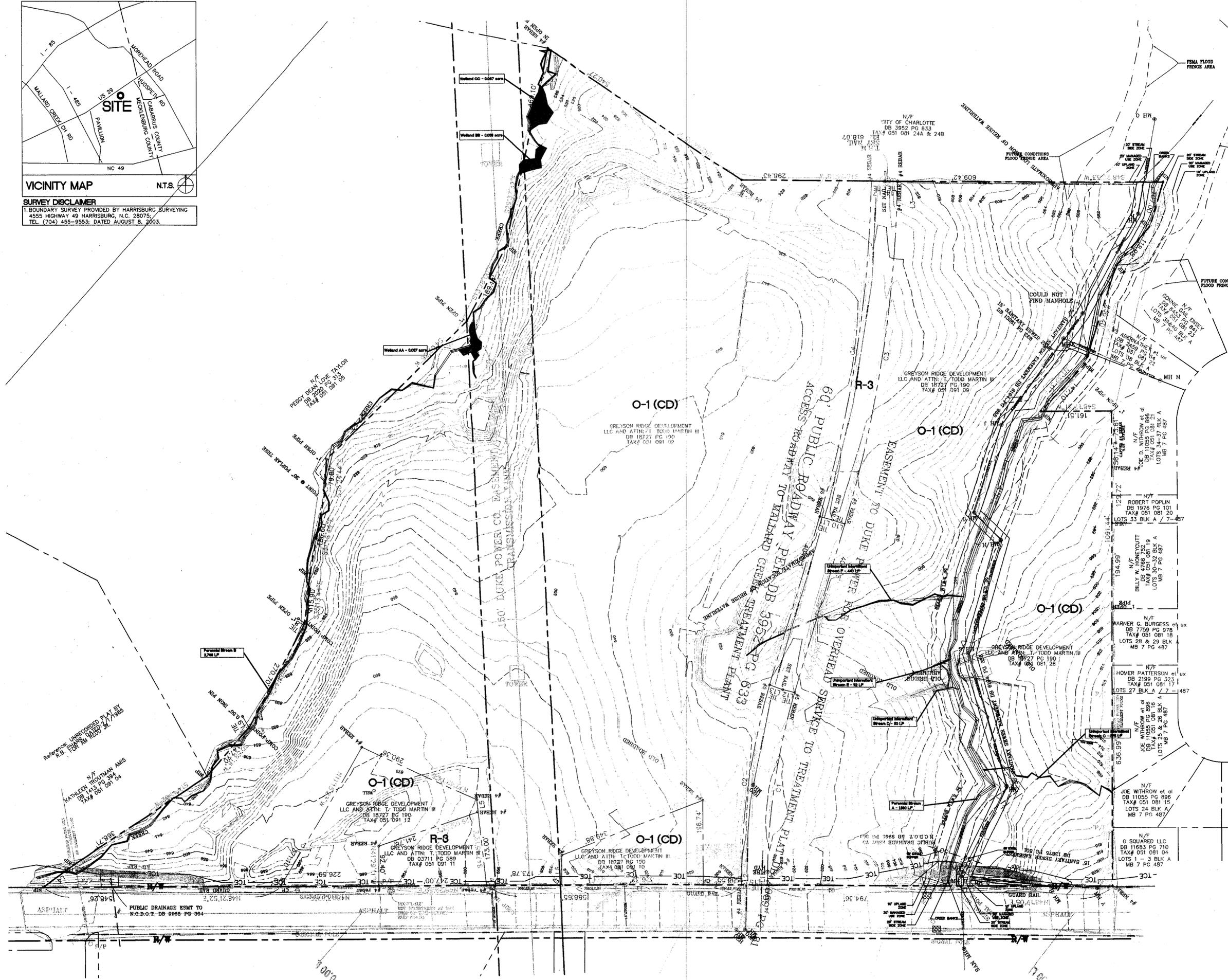
2006-45

SCALE: 1"=100'
 0 50' 100' 200'

RZ1.0 of 6.0

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SITE ACREAGE TABULATION

TOTAL SITE ACREAGE:	68.90 AC
TH TOWNHOME:	19.59 +/- AC
MF1 MULTIFAMILY 1:	23.15 +/- AC
R RETAIL:	10.82 +/- AC
O OFFICE:	7.05 +/- AC
H HOTEL:	7.06 +/- AC
CMU DRIVE (50 FT R.O.W.):	1.23 +/- AC

DEVELOPMENT SUMMARY

TH TOWNHOME RESIDENTIAL:	141 UNITS / 19.59 AC = 7.2 DUA
MF1 MULTIFAMILY RESIDENTIAL:	339 UNITS / 23.15 AC = 14.64 DUA
TOTAL RESIDENTIAL DENSITY:	480 UNITS / 42.74 AC = 11.23 DUA
R RETAIL PROVIDED:	110,000 SF
O OFFICE PROVIDED:	30,000 SF
H HOTEL PROVIDED:	45,000 SF (90 ROOMS)
TOTAL BUILDING AREA:	825,750 SF
SITE FLOOR AREA RATIO:	0.28

ZONING SUMMARY

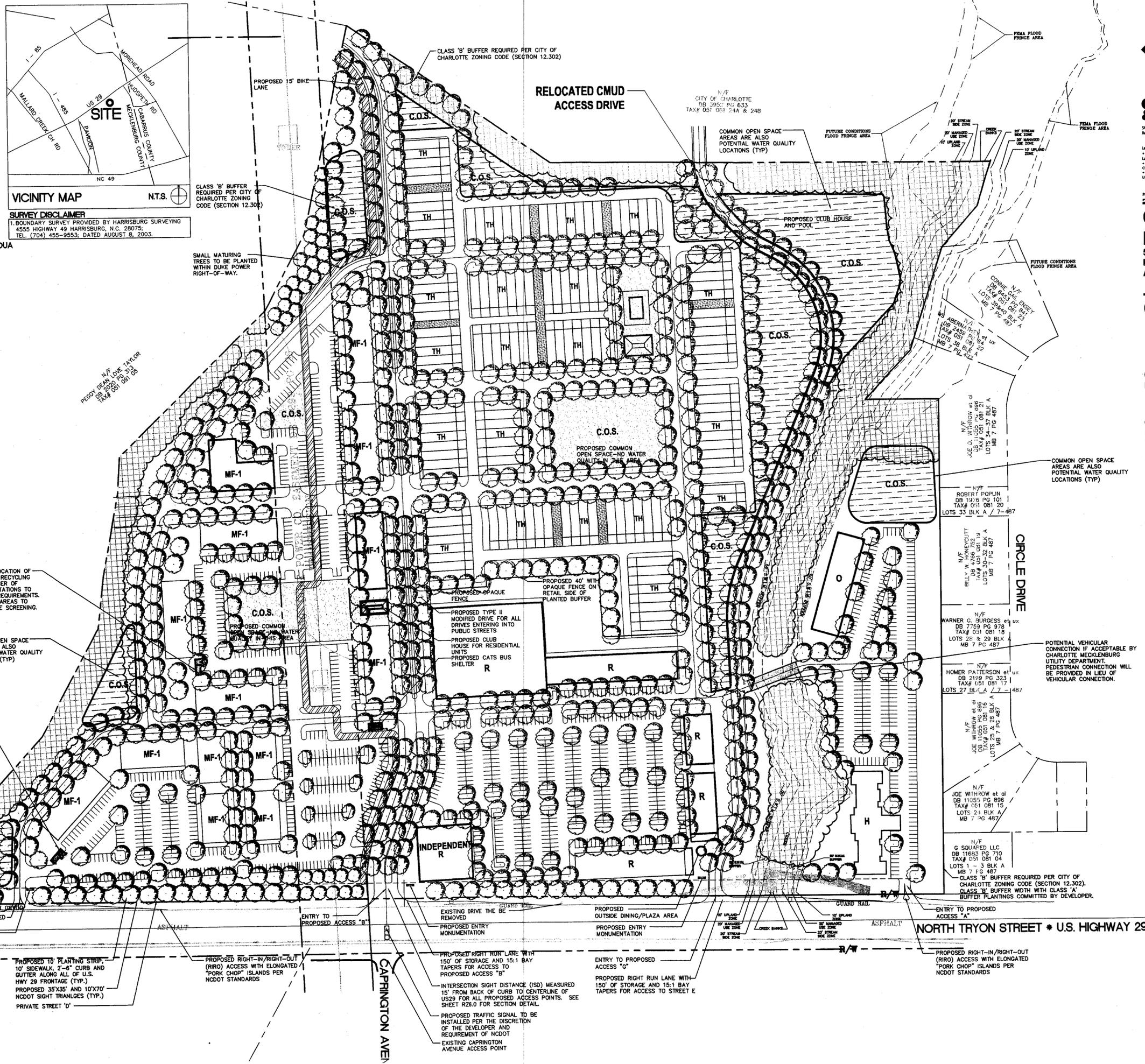
EXISTING:		
O-1 (CD) OFFICE:	65.89 AC	
R-3 SINGLE-FAMILY RESIDENTIAL:	3.01 AC	
PROPOSED:		
CC COMMERCIAL CENTER:	68.90 AC	

PARKING SUMMARY

TH TOWNHOME RESIDENTIAL:	1.5 spaces / unit
MF1 MULTI-FAMILY RESIDENTIAL:	1.5 spaces / unit
MF2 MULTI-FAMILY RESIDENTIAL:	1.5 spaces / unit
R RETAIL PROVIDED:	1 space / 250 sq. ft.
O OFFICE PROVIDED:	1 space / 300 sq. ft.
H HOTEL PROVIDED:	1 space / room

OTHER SITE ACREAGE

COMMON OPEN SPACE/ POSSIBLE WATER QUALITY AREAS	6.20 +/- AC
COMMON OPEN SPACE/ NON-WATER QUALITY AREAS	2.52 +/- AC
TREE SAVE AREA	8.68 +/- AC



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SCHEMATIC SITE PLAN

Project No.
 3318

Issued
 05/03/06

Revised
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SCALE: 1" = 100'

0 50 100 200

RZ3.0 of 6.0

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DEVELOPMENT STANDARDS
August 16, 2006

GENERAL PROVISIONS

THESE DEVELOPMENT STANDARDS FORM A PART OF THE TECHNICAL DATA SHEET ASSOCIATED WITH THE ZONING PETITION FILED BY GREYSON RIDGE DEVELOPMENT, LLC TO ACCOMMODATE DEVELOPMENT OF A MIXED USE, NEIGHBORHOOD-SIZE CENTER ON AN APPROXIMATELY 68.90-ACRE SITE LOCATED ON NORTH TRYON STREET BETWEEN I-485 AND THE CAROLINA COUNTY LINE (THE "SITE"). THE SITE CURRENTLY CONSISTS OF FIVE (5) DISTINCT TAX PARCELS, EACH OF WHICH IS OWNED BY GREYSON RIDGE DEVELOPMENT, LLC, AS WELL AS A PORTION OF A TRACT OWNED BY THE CITY OF CHARLOTTE. THE PORTION OF THE CITY OF CHARLOTTE PROPERTY CONSISTS OF A SIXTY FOOT (60') WIDE PRIVATE DRIVEWAY PROVIDING ACCESS TO AND FROM THE MALLARD CREEK WASTEWATER TREATMENT PLANT. UNDER THE PROPOSED PLAN, GREYSON RIDGE AND THE CITY OF CHARLOTTE WILL SWAP LAND SO THAT GREYSON RIDGE TAKES OWNERSHIP OF THE EXISTING DRIVEWAY AND THE CITY OF CHARLOTTE TAKES OWNERSHIP OF THE LAND PROVIDING AN EQUIVALENT ACCESS DRIVEWAY TO THE TREATMENT PLANT, AS SHOWN ON THE SITE PLAN. THE ZONING APPLICATION HAS BEEN SIGNED BY THE CITY OF CHARLOTTE IN ORDER TO SIGNIFY THEIR AGREEMENT WITH THE PROPOSED PLAN, INCLUDING THE NECESSARY LAND SWAP. A LETTER FROM GREYSON RIDGE TO THE CHARLOTTE MECKLENBURG UTILITIES DEPARTMENT (EXECUTED BY CMUD SIGNIFYING ITS AGREEMENT WITH THE PROPOSED PLAN AND RELOCATION OF THE ACCESS DRIVEWAY) AND ALSO SETTING FORTH CERTAIN CONDITIONS PERTAINING TO CMUD'S AGREEMENT TO THE PROPOSED PLAN IS ATTACHED TO THE ZONING APPLICATION. GREYSON RIDGE ACCEPTS AND AGREES WITH THE CONDITIONS AS SET FORTH IN THE LETTERS ATTACHED TO THE ZONING APPLICATION.

DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE TECHNICAL DATA SHEET, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE ZONING ORDINANCE OF THE CITY OF CHARLOTTE (THE "ORDINANCE"). THE SITE MAY BE DEVELOPED IN PHASES. UNLESS THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE CC ZONING CLASSIFICATION SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.

1. PERMITTED USES

USES PERMITTED BY RIGHT IN THE CC ZONING DISTRICT ARE THOSE USES ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE "B-1" ZONING DISTRICT AND INCLUDE, AMONG OTHERS, RETAIL, OFFICE, HOTEL AND MOTEL, HEALTH AND INDOOR RECREATION FACILITIES, AND MULTI-FAMILY RESIDENTIAL UNITS.

2. MAXIMUM BUILDING AREAS AND DEVELOPMENT LIMITATIONS

THE SITE MAY BE DEVELOPED WITH UP TO 110,000 SQUARE FEET OF RETAIL/COMMERCIAL SPACE, UP TO 30,000 SQUARE FEET OF OFFICE USES, A HOTEL WITH UP TO 90 ROOMS, AND UP TO 141 TOWNHOMES AND 339 MULTI-FAMILY UNITS. IN THE EVENT A GROCERY STORE IS NOT LOCATED ON THE SITE, THE RETAIL AREA SHALL BE LIMITED TO NO MORE THAN 100,000 SQUARE FEET.

ALL BUILDING HEIGHTS WILL CONFORM TO THE REQUIREMENTS SET FORTH IN THE ORDINANCE FOR THE CC ZONING DISTRICT.

3. SETBACKS, SIDE YARDS AND REAR YARDS

ALL BUILDINGS CONSTRUCTED ON THE SITE SHALL SATISFY OR EXCEED THE SETBACK, REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE CC ZONING DISTRICT.

4. DESIGN AND PERFORMANCE STANDARDS

THE DEVELOPMENT DEPICTED ON THE SITE PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DESCRIBE THE GENERAL ARRANGEMENT OF USES ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS, AND SIZES OF THE BUILDING FOOTPRINTS, AS WELL AS THE LOCATIONS OF STREETS SHOWN ON THE SITE PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE PROVISIONS SET FORTH BELOW UNDER ARCHITECTURAL CONTROLS, MAY BE ALTERED OR MODIFIED DURING DESIGN DEVELOPMENT AND CONSTRUCTION PHASES. PARKING LAYOUTS MAY ALSO BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS TO THE EXTENT PERMITTED BY THE ORDINANCE.

(a) **ARCHITECTURAL CONTROLS**
(i) BUILDINGS CONSTRUCTED ALONG NORTH TRYON STREET WILL CONTAIN NON-OPAQUE WINDOWS WHICH FACE NORTH TRYON STREET.
(ii) LARGE EXPANSIONS OF SOLID WALLS EXCEEDING 20 LINEAR FEET FOR THESE BUILDINGS WILL BE AVOIDED THROUGH THE INTRODUCTION OF ARTICULATED FACADES AND OTHER SPECIALLY DESIGNED ARCHITECTURAL ELEMENTS.

(iii) DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY AN OPAQUE ENCLOSURE WITH ONE SIDE BEING A HINGED OPAQUE GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A SIDE OR REAR WALL OF A BUILDING, THEN THE SIDE OR REAR WALL OF THAT BUILDING MAY BE SUBSTITUTED FOR A SIDE.
(iii) THE DESIGN TREATMENT WITHIN THE SITE SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING AMENITIES:

- OUTDOOR DINING AREA(S)
- OUTDOOR SEATING AREA(S)
- COURTYARD(S)

(b) **LANDSCAPING AND SCREENING**
(i) INTERNAL AREAS OF THE SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF THE CITY OF CHARLOTTE.
(ii) ALL ROOF MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHTS-OF-WAY AND ADJUTING PROPERTIES AS VIEWED FROM GRADE.
(iii) ALL OTHER SCREENING AND LANDSCAPING SHALL CONFORM TO THE STANDARDS OF THE ORDINANCE.
(iv) THE SITE SHALL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE.
(v) THE PORTION OF THE 56.25 FOOT CLASS "B" BUFFER LOCATED ALONG THE WESTERLY EDGE OF THE SITE SHALL INCLUDE ADDITIONAL PLANT MATERIALS SUFFICIENT TO CONFORM TO A CLASS "A" BUFFER (12 TREES AND 60 SHRUBS PER 100 LINEAR FEET). THE REMAINING REQUIRED BUFFERS SHALL CONFORM TO CLASS "B" STANDARDS.

(vi) In the event that an adjacent parcel is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements, then the Petitioner may reduce or eliminate, as the case may be, the buffer set out on the Site Plan accordingly.

(c) **STREETSCAPE TREATMENT**
WITHIN THE SITE, THE STREETSCAPE TREATMENTS WILL CONFORM TO THE REQUIREMENTS OF THE ORDINANCE.
(d) **LIGHTING**
(i) ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE WILL BE UNIFORM IN DESIGN.
(ii) THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE IN THE SITE, INCLUDING ITS BASE, MAY NOT EXCEED 25 FEET.
(iii) ALL PARKING LOT LIGHTING IN THE SITE SHALL BE CAPPED, DOWNWARDLY DIRECTED AND FULLY SHIELDED.
(iv) ANY LIGHTING ATTACHED TO A BUILDING IN THE SITE SHALL BE CAPPED AND DOWNWARDLY DIRECTED.
(v) WALL-MOUNTED DECORATIVE LIGHT FIXTURES SUCH AS SCONCES ARE PERMITTED.
(vi) PEDESTRIAN SCALE LIGHTING OF NO MORE THAN 15 FEET IN HEIGHT WILL BE PROVIDED ALONG ALL PUBLIC AND PRIVATE STREETS.

(e) **PARKING**
(i) OFF-STREET PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 RETAIL USE: 1 SPACE / 250 SF OF FLOOR AREA
 OFFICE USES: 1 SPACE / 300 SF OF FLOOR AREA
 HOTEL USE: 1 SPACE / PRB HOTEL ROOM
 RESIDENTIAL USE: 1.5 SPACES / UNIT
(ii) ON-STREET PARKING SHALL BE PERMITTED IN ACCORDANCE WITH NORMAL CITY STANDARDS.
(iii) WHILE AREAS DEVOTED TO OUTDOOR DINING, COURTYARDS AND PLAZAS WITHIN THE SITE ARE NOT INCLUDED IN THE SQUARE FOOTAGE MAXIMUM NOTED ABOVE, ANY OFF-STREET PARKING REQUIRED BY THE ORDINANCE WILL BE PROVIDED FOR THESE AREAS.

(f) **OTHER**
(i) NO MORE THAN ONE INDEPENDENT, FREESTANDING, SINGLE TENANT BUILDING SHALL BE PERMITTED ON THE SITE. THE REMAINING FREESTANDING, SINGLE TENANT BUILDINGS SHALL BE INTERCONNECTED.
(ii) PARKING SHALL NOT BE LOCATED BETWEEN BUILDINGS AND ADJUTING PUBLIC STREETS GENERALLY AS INDICATED ON THE SITE PLAN.
(iii) MULTI-FAMILY DEVELOPMENT WITHIN THE SITE SHALL CONFORM TO THE RELEVANT STANDARDS OF THE SECTION 9.303(19) OF THE ORDINANCE.
(iv) IN THE EVENT THAT DEVELOPMENT OF THE SITE INCLUDES A HEALTH/INDOOR RECREATION FACILITY, THE FLOOR AREA ASSOCIATED WITH THE FACILITY SHALL BE COUNTED AS PART OF THE TOTAL RETAIL AREA ALLOWED ON THIS SITE.

5. STORM WATER MANAGEMENT

(a) STORM WATER RUNOFF WILL BE MANAGED IN ACCORDANCE WITH THE RELEVANT ORDINANCE REQUIREMENTS THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE ORDINANCES AND THE CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL. SURFACE LEVEL STORM WATER DETENTION, IF PROVIDED, MAY BE LOCATED IN THE COMMON OPEN SPACE BUT SHALL NOT BE LOCATED IN THE REQUIRED SETBACKS OR BUFFERS.
(b) THE DETENTION SHALL TIE-IN TO THE EXISTING ADJUTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE ADDITIONAL FLOW TO BE RECEIVED FROM THE DEVELOPMENT. THE DESIGN SHALL PROVIDE ALTERNATE METHODS TO PREVENT THIS FROM OCCURRING. SHOULD THE EXISTING RECEIVING DRAINAGE SYSTEM BE DETERMINED TO BE OUT OF STANDARD PRIOR TO THE DEVELOPMENT OF THIS SITE, THE PETITIONER SHALL PROVIDE ADEQUATE DETENTION TO ENSURE THAT THE SYSTEM WILL NOT BE ADDITIONALLY OVERBURDENED.
(c) THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE AND POST DEVELOPMENT RUNOFF CONDITIONS FOR THE 1-YEAR 24 HOUR STORM OR THE VOLUME GENERATED FROM THE FIRST 1-INCH OF RUNOFF PER THE NCDOT BMP MANUAL. WICKED DRAINAGE SYSTEMS SHALL BE DRAWN DOWN TO BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS. PEAK STORM WATER RELEASE RATES SHOULD MATCH PRB-DEVELOPMENT RATES FOR THE 2-YEAR AND 10-YEAR 6-HOUR STORM EVENTS.

(d) THE USE OF STRUCTURAL STORM WATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TO HAVE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THE DEVELOPMENT ACCORDING TO SPECIFICATIONS IN THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES BEST MANAGEMENT PRACTICES MANUAL, APRIL 1999.
(e) THE FOLLOWING AGENCIES MUST BE CONTACTED PRIOR TO PLAN APPROVAL REGARDING WETLAND AND WATER QUALITY PERMITS:
 SECTION 401 PERMIT NCEDEINR-RALEIGH OFFICE
 SECTION 404 PERMIT US ARMY CORPS OF ENGINEERS

1. WATER QUALITY PROTECTION MEASURES/WATERSHED PROTECTION MEASURES

(a) SWIM BUFFERS SHALL BE PROVIDED AS REQUIRED BY THE ORDINANCE. THE S.W.L.M. STREAM BUFFER REQUIREMENTS IN APPLY DESCRIBED IN THE CITY OF CHARLOTTE ZONING ORDINANCE, CHAPTER 12. IN ADDITION, INTERMITTENT AND PERENNIAL STREAMS WITHIN THE PROJECT BOUNDARY SHALL BE DELINEATED BY A CERTIFIED PROFESSIONAL USING U.S. ARMY CORPS OF ENGINEERS AND N.C. DIVISION OF WATER QUALITY METHODOLOGY AND SHALL BE SHOWN IN THE SITE PLAN SUBMITTAL ALONG WITH ALL BUFFER AREAS.
(b) ALL PERENNIAL AND INTERMITTENT STREAMS DRAINING LESS THAN 50 ACRES SHALL HAVE A MINIMUM 30-FOOT VEGETATED BUFFER INCLUDING A 10-FOOT ZONE ADJACENT TO THE BANK. DISTURBANCE OF THE BUFFER IS ALLOWED; HOWEVER, ANY DISTURBED AREA MUST BE RE-VEGETATED AND DISTURBANCE OF THE 10-FOOT ZONE ADJACENT TO THE BANK SHALL REQUIRE STREAM BANK STABILIZATION USING BIOENGINEERING TECHNIQUES AS SPECIFIED IN THE DESIGN MANUAL.
(c) ALL STREAMS DRAINING GREATER THAN OR EQUAL TO 50 ACRES AND LESS THAN 300 ACRES SHALL HAVE A 35-FOOT BUFFER WITH TWO (2) ZONES. ONE STREAM SIDE AND UPLAND. STREAMS DRAINING GREATER THAN OR EQUAL TO 300 ACRES AND LESS THAN 640 ACRES SHALL HAVE A 50-FOOT BUFFER WITH THREE (3) ZONES, INCLUDING STREAM SIDE, MANAGED USE AND UPLAND.
(d) STREAMS DRAINING GREATER THAN OR EQUAL TO 640 ACRES SHALL HAVE A 100-FOOT BUFFER, PLUS 50% OF THE AREA OF THE FLOOD FRINGE BEYOND 100 FEET. THIS BUFFER SHALL CONSIST OF THREE (3) ZONES, INCLUDING STREAM SIDE, MANAGED USE AND UPLAND.

ALL BUFFERS SHALL BE MEASURED FROM THE TOP OF THE BANK ON BOTH SIDES OF THE STREAM. THE USES ALLOWED IN THE DIFFERENT BUFFER ZONES AS DESCRIBED IN THE S.W.L.M. STREAM BUFFER REQUIREMENTS IN THE ZONING ORDINANCE, CHAPTER 12, AS WELL AS THE OTHER PROVISIONS OF THE S.W.L.M. ORDINANCE SHALL APPLY (EXCEPT BUFFER WIDTHS).

(b) THE SITE SHALL CONFORM TO WATERSHED PROTECTION MEASURES APPLICABLE TO THE MALLARD CREEK DISTRICT.
(c) TEMPORARY OR STAGED SEEDING SHALL BE PERFORMED ON GRADED AREAS IMMEDIATELY FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES TO MINIMIZE THE POTENTIAL FOR OFF-SITE SEDIMENTATION.
(d) TWO ROWS OF WIRE-REINFORCED SILT FENCES SHALL BE USED IN CRITICAL AREAS OF THE SITE SUCH AS AT ALL INTERMITTENT AND PERENNIAL STREAMS, WETLANDS, AT THE BASE OF SLOPES, AND OTHER LOCATIONS WHERE THE POTENTIAL FOR OFF-SITE SEDIMENTATION IS GREATEST.
(e) TWO-STAGE SEDIMENT BASINS WITH OUTLET WEIRS SIZED FOR A 50-YEAR, 24-HOUR STORM EVENT SHALL BE EMPLOYED TO LESSEN THE RISK OF BASIN FAILURE.

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(i) ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET CURB OR RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
(k) A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ANY NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC) WITHIN A PROPOSED EXISTING PUBLICLY STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY NCDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS). CONTACT NCDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.

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Realizing the Possibilities

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Landscape Architecture
Civil Engineering
Urban Design

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DETAIL SHEET
Project No. 3318
Issued 03/10/06

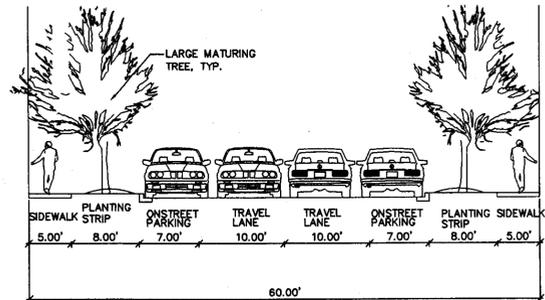
Revised

08/18/06 - REZONING SUBMITTAL

RZ5.0 of 6.0

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- NOTES:
1. THIS CROSS SECTION IS PER THE URBAN STREET GUIDELEINS FOR A "WIDE RESIDENTIAL STREET"
 2. ON STREET PARKING MAY BE PROVIDED ALONG ONE SIDE, BOTH SIDES OR NEITHER SIDE OF THE PUBLIC STREET.

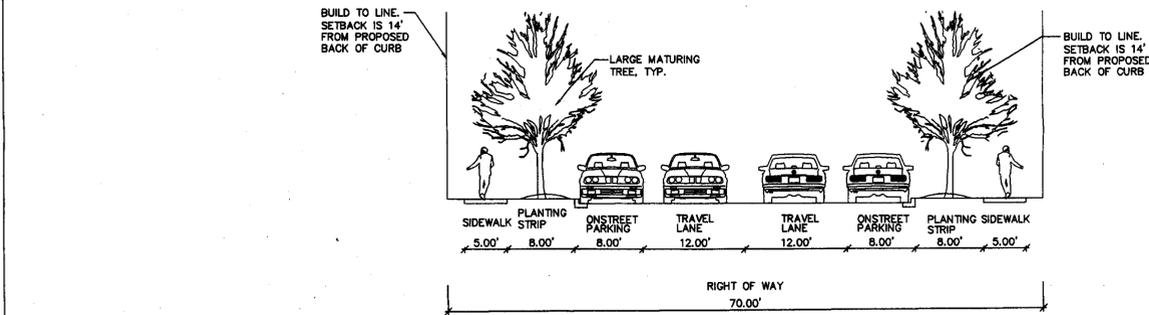
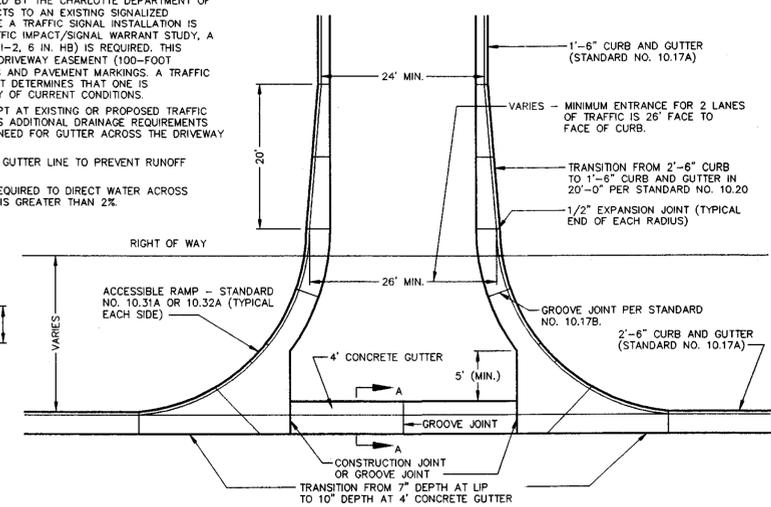
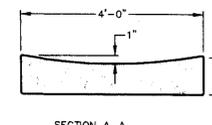
PRIVATE STREET-TYPICAL SECTION

SCALE 1"=10'

TYPE III DRIVEWAY ENTRANCE

CMLD STD. DTL. #10.28 N.T.S.

- NOTES:
1. WHERE A TYPE III DRIVEWAY IS APPROVED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) THAT CONNECTS TO AN EXISTING SIGNALIZED INTERSECTION OR AT A LOCATION WHERE A TRAFFIC SIGNAL INSTALLATION IS PROPOSED BASED BY CDOT ON A TRAFFIC IMPACT/SIGNAL WARRANT STUDY, A FULL DEPTH ASPHALT PAVEMENT (2 IN. 1-2, 6 IN. HB) IS REQUIRED. THIS PAVEMENT DESIGN IS REQUIRED IN THE DRIVEWAY EASEMENT (100-FOOT MINIMUM) TO MAINTAIN DETECTOR LOOPS AND PAVEMENT MARKINGS. A TRAFFIC SIGNAL WILL BE INSTALLED ONLY IF CDOT DETERMINES THAT ONE IS NECESSARY BASED ON A TRAFFIC STUDY OF CURRENT CONDITIONS.
 2. A CONCRETE GUTTER TO BE USED EXCEPT AT EXISTING OR PROPOSED TRAFFIC SIGNAL LOCATIONS. AT THESE LOCATIONS ADDITIONAL DRAINAGE REQUIREMENTS WILL BE NECESSARY TO ELIMINATE THE NEED FOR GUTTER ACROSS THE DRIVEWAY CONNECTION.
 3. THE DRIVEWAY MUST RISE 6" FROM THE GUTTER LINE TO PREVENT RUNOFF FROM ENTERING DRIVEWAY.
 4. FOUR (4) FOOT GUTTER WILL NOT BE REQUIRED TO DIRECT WATER ACROSS DRIVE IF THE DRIVEWAY GUTTER SLOPE IS GREATER THAN 2%.



PUBLIC STREET B-TYPICAL SECTION

SCALE 1"=10'

DROP CURB TYPE II DRIVEWAY MONOLITHIC CONCRETE CURB AND SIDEWALK

CMLD STD. DTL. #10.26 N.T.S.

GENERAL NOTES:

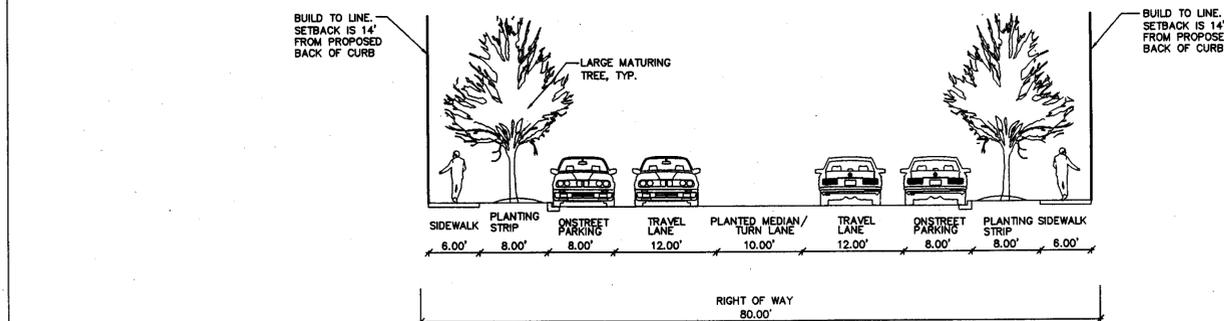
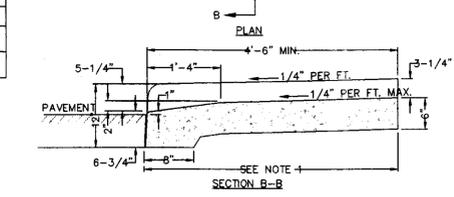
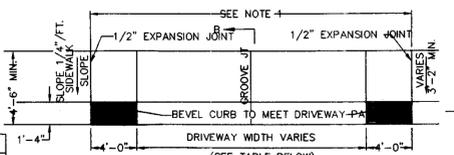
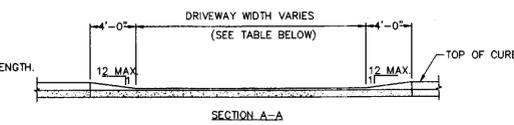
ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE. SEE STANDARD 10.22.

THIS DETAIL TO BE USED EXCLUSIVELY IN CONJUNCTION WITH MONOLITHIC SIDEWALK AS ON STANDARD NO. 10.23

NOTES:

1. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT.

DRIVEWAY CLASSIFICATIONS		
TYPE DRIVEWAY	MINIMUM	MAXIMUM
TYPE I - RESIDENTIAL	15'	30'
ONE-WAY - TYPE I COMMERCIAL	20'	30'
TWO-WAY - TYPE I COMMERCIAL	26'	50'



PUBLIC STREET A-TYPICAL SECTION

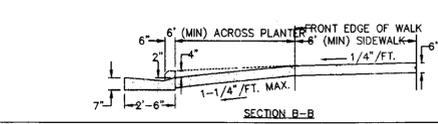
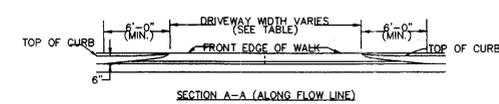
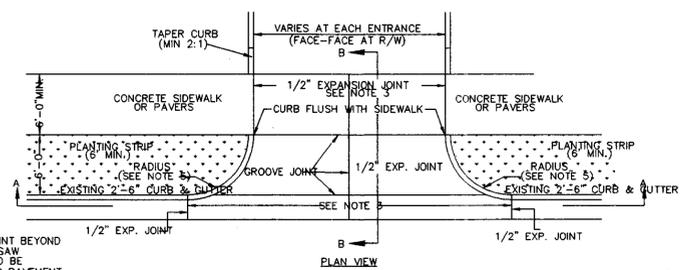
SCALE 1"=10'

MODIFIED TYPE II DRIVEWAY DETAIL WITH PLANTING STRIP

CMLD STD. DTL. #10.25E N.T.S.

DRIVEWAYS CLASSIFICATION		
TYPE DRIVEWAYS	MINIMUM	MAXIMUM
ONE-WAY TYPE II COMMERCIAL	20'	30'
TWO-WAY TYPE II COMMERCIAL	26'	50'

- NOTES:
1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
 2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE ST. NO. 10.17 FOR JOINT DETAIL.
 3. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT. FROM LIP OF CURB TO BACK OF SIDEWALK.
 4. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING/DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
 5. RADI MUST BE MINIMUM 6 FEET. RADIUS GREATER THAN 6 FEET MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 6 FEET, THE RADI ARE TO CONTINUE AS A BAND AT GRADE THROUGH THE SIDEWALK.
 6. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 80mm.



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Charlotte

North Carolina 28262

NORTH TRYON SHEET-ROAD PROFILE

Project No.

3318

Issued

05/03/06

Revised

08/16/06 - REZONING SUBMITTAL

VERT. SCALE: 1"=10'

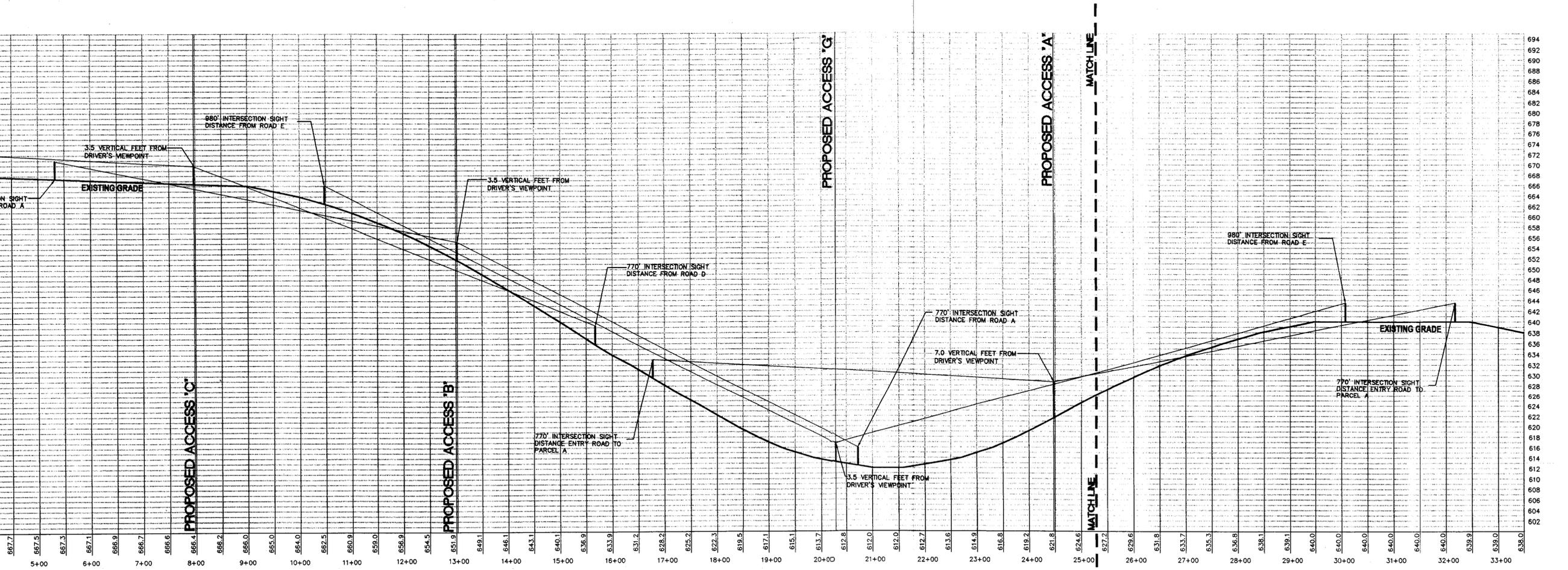
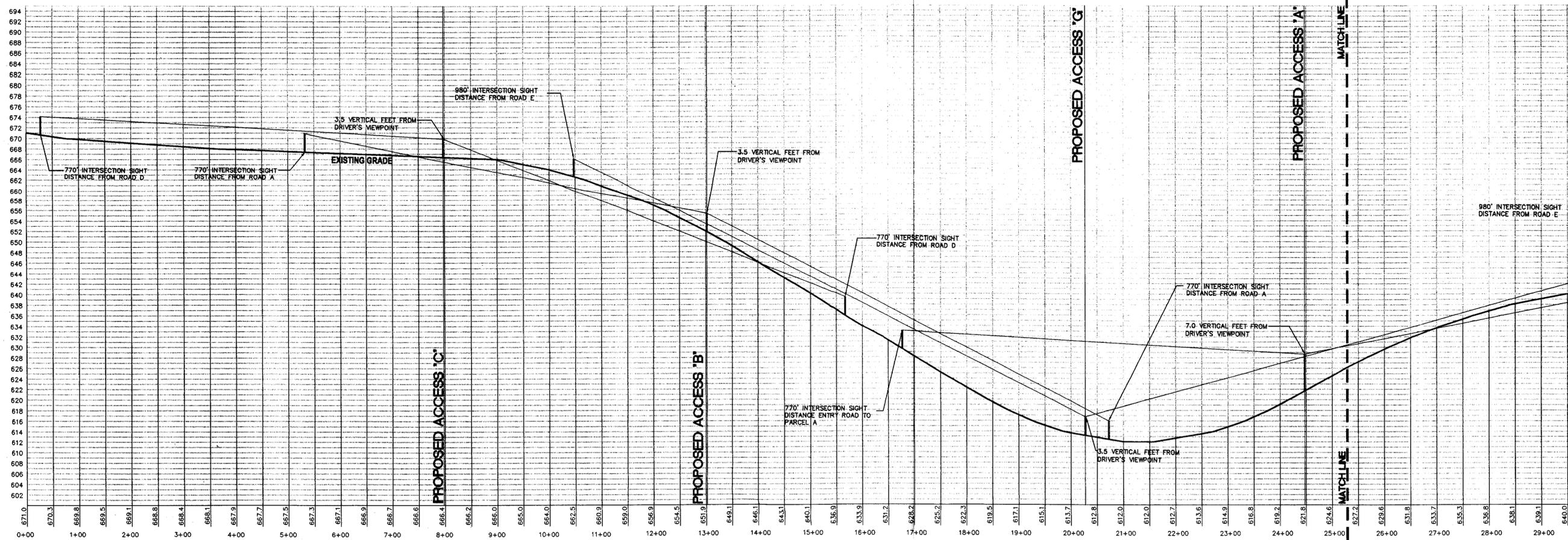
HORZ. SCALE: 1"=100'

0 50 100 200

0 50 100 200

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NOTE: ALL INTERSECTION SIGHT DISTANCES (ISD) WERE MEASURED FROM 15' BACK OF CURB TO CENTERLINE OF US 29 AT 3.5 VERTICAL FEET.