

Project Summary

Project Description Rezoning from R3/R4/R17MF to MX2
Project Area 59.22 ac
Parcel Number 059-061-14
Current Use Burke's Mobile Home Park
Current Zoning R3 - R4 - R17MF
Total Units Allowed 441 units +/-
 $21.9 \times 3 + 19.8 \times 4 + 17.5 \times 17 = 441$ (7.45 du/acre)
Proposed Zoning MX-2
Proposed Density 473 d.u. (8 units/ac) + 24,000 sf Live-work area
Proposed Increase 32 Units (7.5%)
Property is located in the Lower Lake Wylie Protected Area with the high-density option being used
17.5% Tree save area = $59.22 \times .175 = 10.36$ ac. required 10.44 ac. provided
Uses limited to following:

- Residential
- Retail
- Restaurant
- Office
- Personal Services

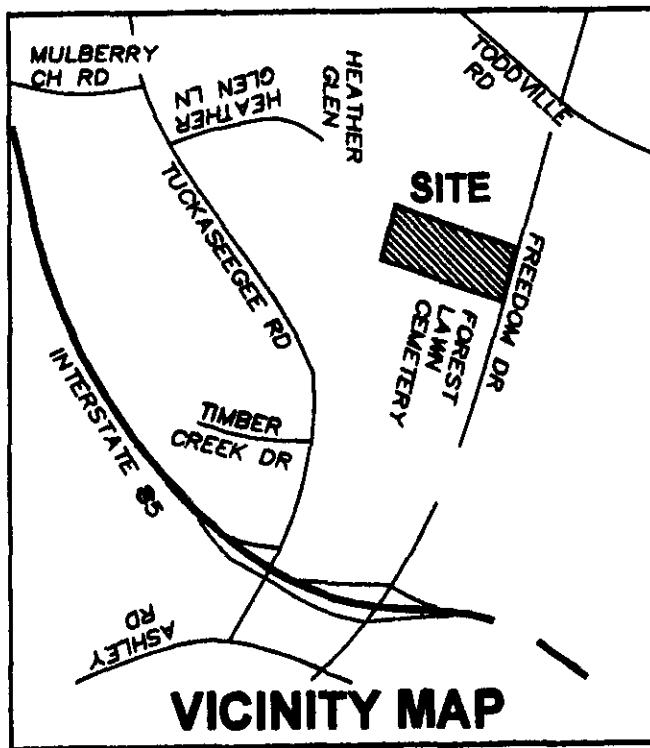
property line

9 trees / 100 l.f.
20 shrubs / 100 l.f.

25% reduction with wall/fence

60' width

Class 'C' Buffer
see section 12.301 for description

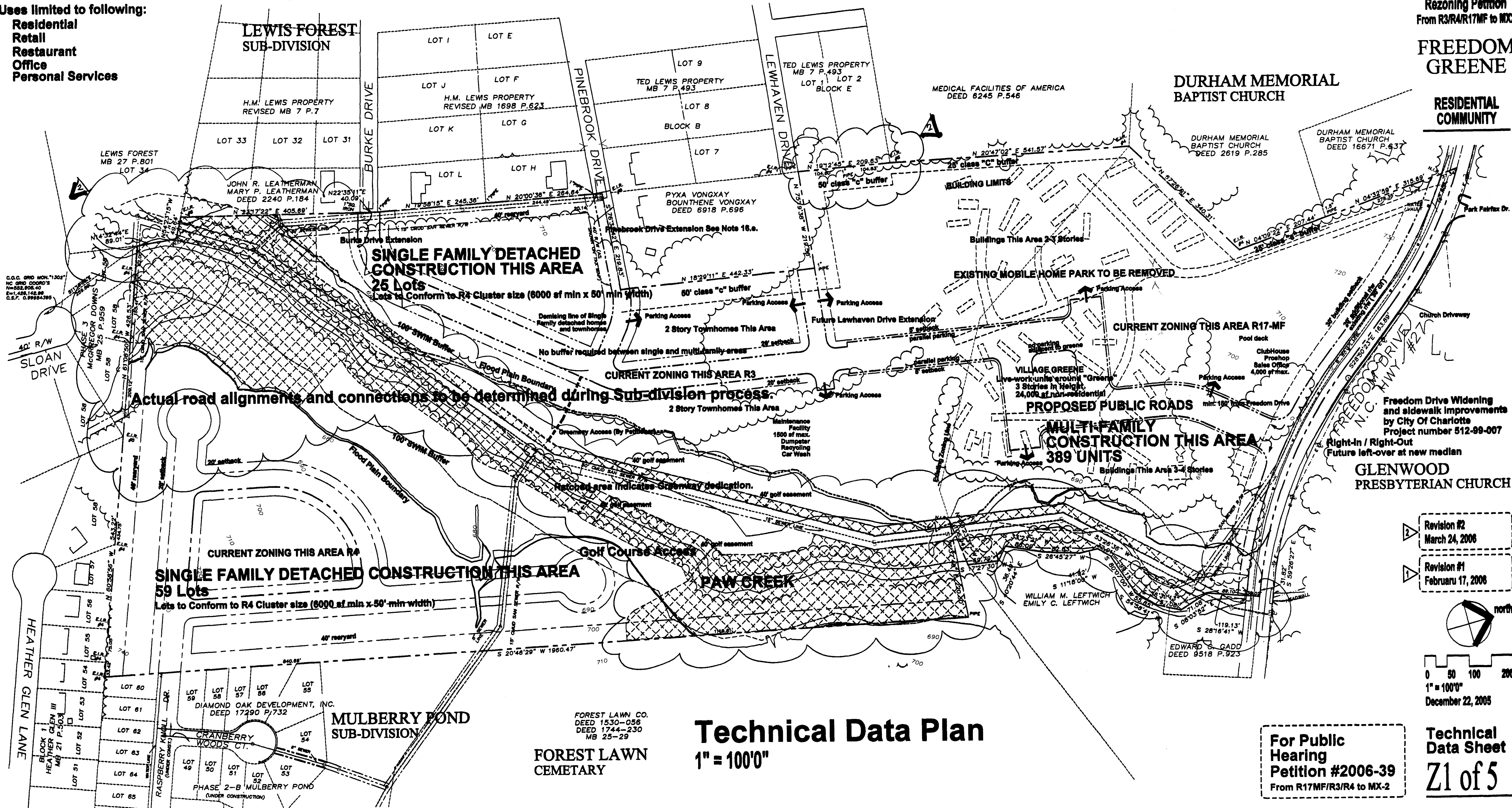


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Rezoning Petition
From R3/R4/R17MF to MX2

FREEDOM GREENE

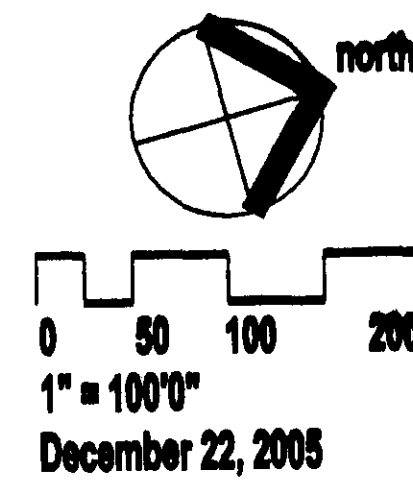
RESIDENTIAL COMMUNITY



Technical Data Plan
1" = 100'0"

For Public Hearing
Petition #2006-39
From R17MF/R3/R4 to MX-2

- Revision #2
March 24, 2006
- Revision #1
February 17, 2006



Technical Data Sheet
Z1 of 5

Freedom Greene Development Standards

1. General Provisions

These Development Standards form a part of the Technical Data Sheet associated with the rezoning Petition filed by Alpine Village Partners to accommodate development of a mixed-use, pedestrian friendly residential project on 59.22 ac site located on Freedom Drive 1.5 miles west of Interstate 85 in Western Mecklenburg County (the "SITE"). Development of the site will be governed by the Technical Data Sheet (Z1) , these Development Standards and the applicable provisions of the City Of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Technical Data Sheet or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the MX-2 zoning classification shall govern all development on the Site. Site currently used for Mobile Home Park (Burke's Mobile Home Park).

2. Permitted Uses

- a. Site uses are limited to the following:
Residential as indicated, retail, restaurants, office and personal services.

3. Maximum Building Areas and Development Limitations

The Site may be developed with the following limitations.

MX-2 8 dwelling units (du) per acre maximum residential to be as follows:

Single family detached lots (84 lots)

Attached Townhomes/Flats 389 units for a culminative total of 473 units.

24,000 sf first floor live-work spaces in the four structures facing "The Green"

While areas devoted to outdoor dining, courtyards and plazas are not included in the above square footages, any off street parking required by the ordinance will be provided in these areas.

Clubhouse, golf pro shops, operations offices max. of 4,000 sf

Maintenance structure of 1500 sf max. to be architecturally compatible.

4. Setbacks, Side Yards and Rear Yards

All buildings constructed on each Parcel of the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the specific Zoning Classifications. Buildings and parking areas may be located within the building and parking envelopes described on the Technical Data Sheet.

5. Design and Performance Standards

(a) Architectural Controls

- i. Buildings constructed facing Burke Drive shall have public entrances facing Burke Drive and parking behind/screened from view of the public street.
- ii. All dumpster areas will be enclosed on all four sides by an opaque/masonry wall with one side being a hinged opaque gate. If one or more sides of a dumpster adjoin a side or rear wall of a building, then the side or rear wall of that building may be substituted for a side.
- iii. All residential structures shall have architectural details on all sides facing public view. These details include (but not limited to) windows, porches, texture (material changes), massing and other details that add character.

(b) Landscaping and Screening

- i. Internal areas of the Site shall be landscaped in accordance with the requirements of the Code of the City Of Charlotte.
- ii. All mechanical equipment will be screened from view from adjoining public rights-of-way and abutting properties as viewed from grade.
- iii. All other screening and landscaping shall conform to the standards of the Ordinance.

(c) Streetscape Treatment

- i. The streetscape along the portion of the Site's frontage on Freedom Drive will conform to the Ordinance and include large maturing trees, supplementary shrubbery, sidewalks which are at least 8 feet in width and planting strips which are at least 8 feet in width. The streetscape treatment along Burke Drive shall include a sidewalk of at least 8 feet in width and a planting strip of at least 8 feet.
- ii. Streetscape/Sidewalks along Freedom Drive by City of Charlotte under Proposed widening project (CDOT).

(d) Lighting

- i. All new freestanding lighting fixtures installed shall be uniform in design.
- ii. Max. height of any new freestanding light fixture, including base, may not exceed 25 feet.
- iii. All new parking lot lighting shall be fully shielded.
- iv. Any lighting attached to a building shall be capped and directed downward.
- v. Wall-mounted decorative lighting such as sconces are permitted.
- vi. Lighting along sidewalks and pathways to be of pedestrian scale.

(e) Parking

New off-street parking and loading areas will satisfy the standards established under the Ordinance. New off-street parking shall not be located within areas between building fronting public streets and the adjoining public streets.

Except for on-street parking within the areas generally depicted on the Conceptual Master Plan, there shall be no parking between the entry roads and the structures fronting on these roads. On street parking shall not be calculated in minimum parking requirements.

6. Storm Water Management

Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte Ordinances and the Charlotte Mecklenburg Storm Water Design Manual. Surface level storm water detention, if provided, may be located in the common open space but shall not be located in the setbacks nor buffer areas. All swim buffers are to be within the greenway or common open space.

7. Water Quality Protection Measures

SWIM Buffers along Paw Creek shall be provided as required by the Ordinance. This site falls within the Lower Lake Wylie Protection Area and development will occur as required by Ordinance. See Sheet Z4 of 4 for further Storm Water Quality Treatment notes.

8. Connectivity

Pedestrian and vehicular connections will be proved in the manner generally depicted and as shown on the Technical Data Sheet to allow future access to the adjacent site at a minimum of two locations.

9. Landscaping Areas and Screening

- (a) The landscape areas established on the technical data sheet shall contain landscape materials typically associated with a Class C Buffer. The landscape areas may be reduced or eliminated if the use of an adjacent parcel changes to a non-residential use. Cutting and Clearing of the existing vegetation along the adjacent property line is to be minimized and planting to supplement retained cover is to be coordinated with Zoning Inspectores to meet minimum buffer standards per the Ordinance.
- (b) Storm water detention may not be located within the buffer.
- (c) Utility installations may only cross buffer areas at interior angles measured at property lines which are not less than 75 degrees.
- (d) No buildings, parking spaces or maneuvering areas may be located within the buffer area.

10. Bicycle Parking

Bicycle parking spaces (bike racks) shall be provided at the front of each Live-Work building throughout the project as required by the Zoning Ordinance.

11. Fire Protection

Adequate fire protection in the form of fire hydrants will be provided to the Charlotte Fire Marshall's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval during the Building permitting phase for approval.

12. Water/Sewer Service

Public CMUD Water/Sewer service currently located at/on the site. Each Building to have seperate meter/backflow assembly.

13. Signs

- (a) All signs placed on the Site will be erected in accordance with the requirements of the Ordinance, unless more restricted requirements are imposed below.
- (b) No more than 1 freestanding monumental type identification signs may be erected on the Site at the intersection of Burke Drive and Freedom Drive.
- (c) A uniform signage and graphic system will be employed throughout the Site.
- (d) Building mounted signage to comply with ordnance and permitted separately.

14. Amendments to Rezoning Plan

Future amendments to the Technical Data Sheet, The Conceptual Master Plan, the Conceptual Elevations and these development Standards may be applied for by the Owner or Owners of the Parcel of Parcels within the Site in accordance with the provisions of Chapter 6 of the Ordinance.

15. Binding Effect of the Rezoning Documents and Definitions

- (a) If this rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Technical Data Sheet will, unless amended in the manner provided under the Ordinance be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and the respective successors in interest and assigns.
- (b) Throughout these Development Standards, the terms, "Petitioner" and "Owners" or "Owners" shall be deemed to include the Heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of the Site from time to time may be involved in any future development thereof.

16. Vehicular Access and Road Improvements

- a. Vehicular Access to Freedom Drive shall be as generally depicted on Technical Data Sheet (Z1).
- b. 20' additional easement along length of Freedom Drive frontage to be donated and conveyed as part of the final plat to City of Charlotte.
- c. Burke Drive to be constructed to City of Charlotte Sub-Division Standards and turned over to City upon completion.
- d. All other public streets to be constructed to City of Charlotte Sub-Division Standards and turned over to City upon completion.
- e. That portion of Pinebrook Drive adjacent to property to be re-constructed to City Of Charlotte Standards.
- f. All improvements to Freedom Drive by the City Of Charlotte under project #512-99-007.

17. Greenway Dedication/Easement

Owner agrees to dedicate areas shown on Z1 and Z4 to Mecklenburg County for future use by County as part of the Paw Creek Greenway system. Petitioner to construct Greenway along portion within site to MCPR standards. Maintenance of Greenway by MCPR. Owner retains right to cross at a maximum of two locations the deeded portion of land for purposes of Golf Course paths. Maintenance of all course by owner. Owner agrees to construct access path to Greenway from Western portion of public streets (Burke Drive).

18. Par 3 Golf Course

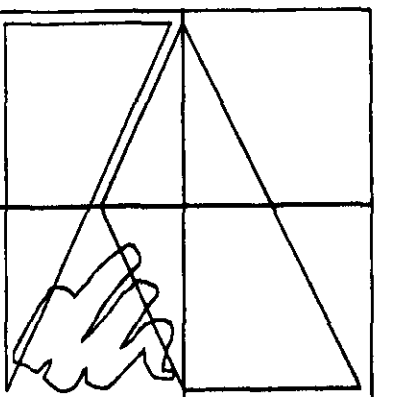
Par 3 golf course to be private/member only until such a time as Charlotte-Mecklenburg Zoning Ordinance is amended to allow public access to Par 3 golf courses through a text amendment when course is constructed within the development of a residential community. Membership is limited to residents of Freedom Greene development.

19. Air Quality Permits

Total parking required does not exceed minimum requirements for an Air Quality Permit.

20. Miscellaneous Notes

- a. Alterations or modifications are allowed as per Section 6.207 of the ordinance.
- b. Live work units may be occupied by different tenants in the Residential and Business use.
- c. Dumpster area to include recycling containers.
- d. No internal buffers are required between the multi-family and single-family units that are a part of this project.
- e. All streets are public streets.
- f. Innovative standards used is reduction of front setback from 20' to 5' for townhome/live-work units along Public streets.



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**FREEDOM
GREENE**

**RESIDENTIAL
COMMUNITY**

Revision #2
March 24, 2006

Revision #1
February 17, 2006

**For Public
Hearing
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From R17MF/R3/R4 to MX-2

December 22, 2005

**Development
Standards**

Z2 of 5

Storm Water Quality Treatment

For projects with defined watersheds greater than 24% built-upon area, construct water quality best management practices (BMP's) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the first 1-inch of rainfall. BMP's must be designed and constructed in accordance with NC Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design standards shall be met according to the City Of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

Volume and Peak Control

For project with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24 hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.

For residential projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms or perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency.

For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr., 6-hour storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, or, if a downstream analysis is not performed, control the peak for the 10-yr. and 25-yr., 6-hour storms.

For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the pre-development runoff rates for the 2-year and 10-year, 6-hour storm.

Stream Buffers

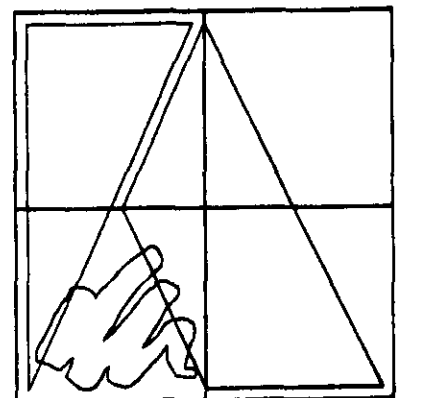
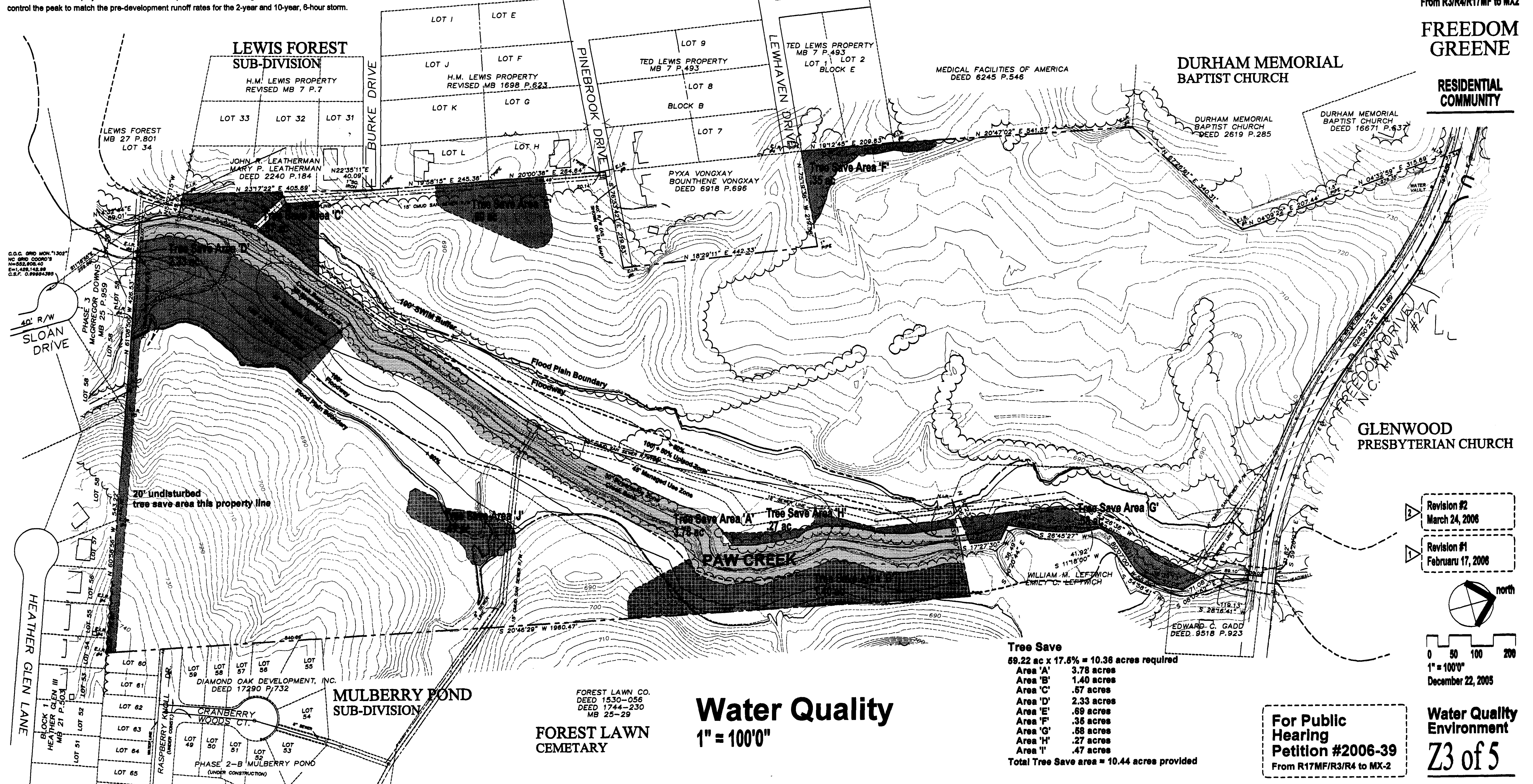
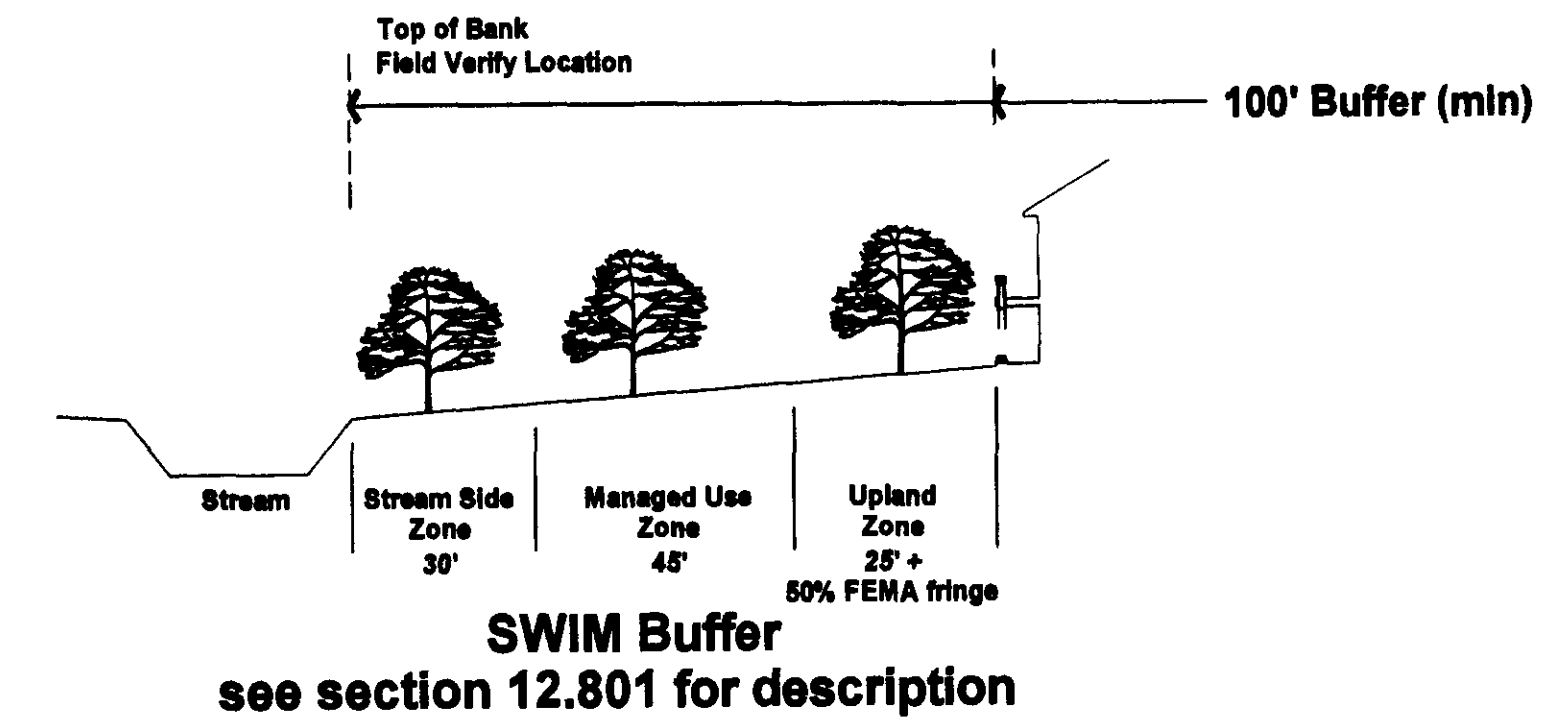
The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte Zoning Ordinance, Chapter 12. In addition intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and NC Division of Water Quality methodology and shall be shown in the site plan submittal along with all buffer areas.

All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10 foot zone adjacent to the bank. Disturbance of the buffer is allowed, however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.

All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including streamside and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including streamside, managed use and upland.

Streams draining greater than or equal to 640 acres, shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3), including streamside, managed use and upland.

All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements of the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (Except buffer widths).



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0 50 100 200
1" = 100'0"
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Water Quality Environment
Z3 of 5

Development Summary

Single-Family Lots	28 lots
West Side of Paw Creek	89 lots
East Side of Paw Creek	84 lots
Total Single Family Lots	173 lots
Multi-Family Units	24 units
Live-Work 61 x 4	48 units
Townhomes 12' x 4	48 units
Townhomes 16' x 3	48 units
Townhomes 20' x 1	20 units
Flats (3 story) 24' x 4	96 units
Flats (3 story) 36' x 2	72 units
Flats (4 story) 32' x 1	32 units
Flats (4 story) 48' x 1	48 units
Total Multi-Family units	388 units
Total D.U. in Project	473 units
	8.0 du/acre

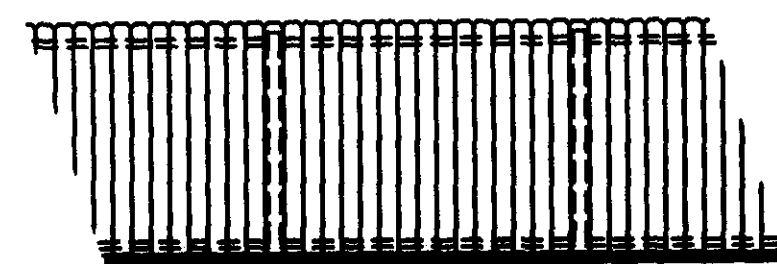
Parking Summary	1.8 spaces/unit = 594 spaces
Multi-Family Units	40 spaces / 9 holes = 80 spaces
Par 3 Golf Course	662 parking spaces
Total Required Spaces	

Parking Provided	699 spaces	20 hld'p
Open Lots	681 spaces	18 spaces
Garage Units 6' x 3		

Golf Course Summary

Hole #1	Par 3	55 yds.
Hole #2	Par 3	55 yds.
Hole #3	Par 3	51 yds.
Hole #4	Par 3	74 yds.
Hole #5	Par 3	89 yds.
Hole #6	Par 3	84 yds.
Hole #7	Par 3	63 yds.
Hole #8	Par 3	84 yds.
Hole #9	Par 3	84 yds.
Hole #10	Par 3	79 yds.
Hole #11	Par 3	74 yds.
Hole #12	Par 3	67 yds.
Hole #13	Par 3	63 yds.
Hole #14	Par 3	58 yds.
Hole #15	Par 3	68 yds.
Hole #16	Par 3	71 yds.
Hole #17	Par 3	72 yds.
Hole #18	Par 3	88 yds.
In	Par 27	618 yds.
Total	Par 54	1210 yds.

The design depicted on this Illustrative Site Plan (sheet Z3) is schematic in nature and intended to describe the general arrangement of uses on the site. Accordingly, the configurations, placements and sizes of the building footprints and lots, as well as the locations of streets shown on the Illustrative Site Plan are schematic in nature and, subject to the provisions set forth under Architectural Controls, may be altered or modified during the design development and construction phases within the maximum development area boundaries established on the Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations and design.



Fence Detail
used at buffer reductions

6' h treated wood stockade style fencing,
6' wide face planks with max. 1/4\"/>

Section thru Burke Drive @ Residential

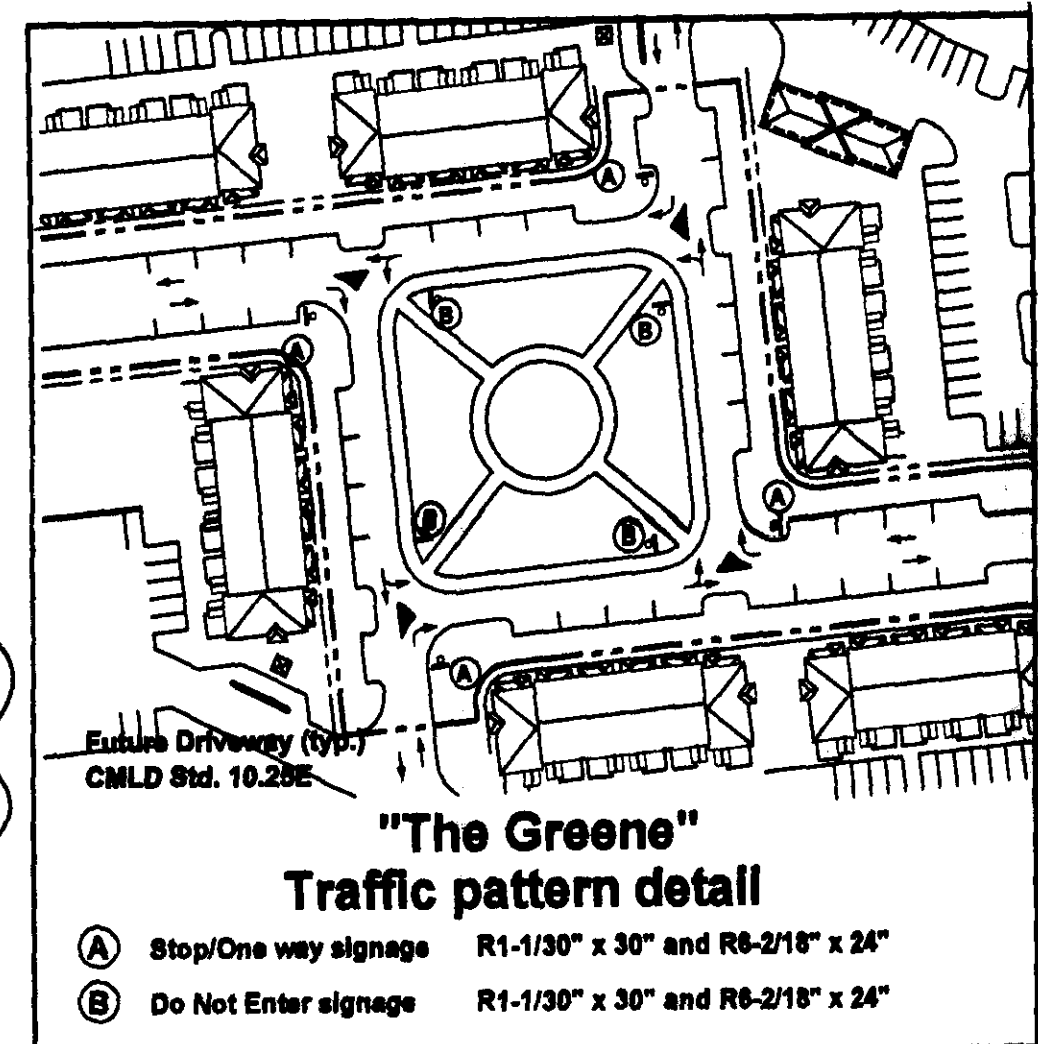
50' r/w
5' wide sidewalk
8' wide landscape strip
20' setback from r/w

Section thru Burke Drive @ Live/Work Units

70' r/w
6' sidewalk
8' landscape strip
5' setback from r/w parallel parking

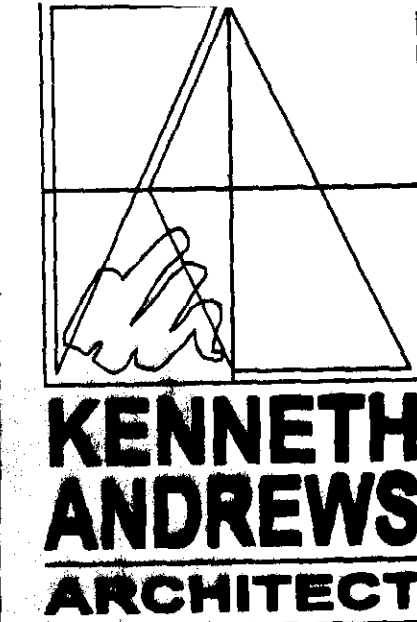
Section thru Burke Drive @ Townhomes

70' r/w
55' r/w
6' wide sidewalk
8' landscape strip
5' setback from r/w



"The Greene"
Traffic pattern detail

A Stop/One way signage R1-1/30" x 30" and R6-2/18" x 24"
B Do Not Enter signage R1-1/30" x 30" and R6-2/18" x 24"



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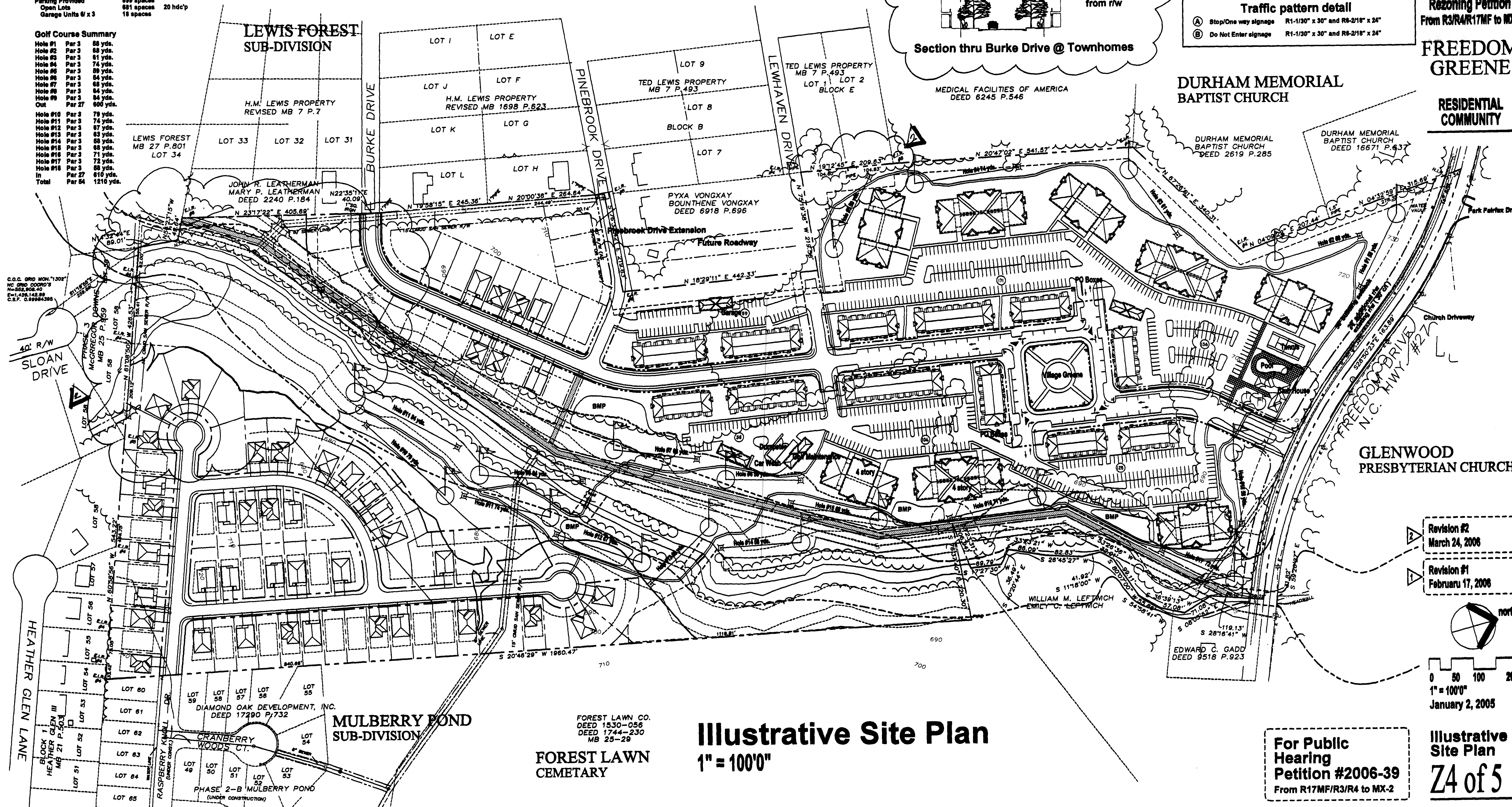
RESIDENTIAL
COMMUNITY

DURHAM MEMORIAL
BAPTIST CHURCH

DURHAM MEMORIAL
BAPTIST CHURCH
DEED 2619 P.285

DURHAM MEMORIAL
BAPTIST CHURCH
DEED 16671 P.637

GLENWOOD
PRESBYTERIAN CHURCH



Illustrative Site Plan

1" = 100'0"

For Public
Hearing
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From R17MF/R3/R4 to MX-2

Illustrative
Site Plan
Z4 of 5

Revision #2
March 24, 2006
Revision #1
February 17, 2006

0 50 100 200
1" = 100'0"
January 2, 2005

SYMBOL LEGEND	
	POWER POLE (P.P.)
	WATER VALVE
	SEWER MAN HOLE
	DRAINAGE MAN HOLE
	FIRE HYDRANT
	DROP INLET
	ELECTRIC LINE
	LIGHT POLE (L.P.)
	REINFORCED CONC. PIPE
	WATER METER
	TELEPHONE MAN HOLE
	U.G. PIPE
	SOIL BORE TEST
	TREE LINE
	BARRICADE
	FLOW DIRECTION
	GAS VALVE
	FENCE LINE
	GAS LINE
	SEWER LINE
	N.I.P. NEW IRON PIN (#5 REBAR)
	E.I.R. EXISTING IRON REBAR

NOTE:

TOPOGRAPHY SHOWN WAS TAKEN FROM MAPS FURNISHED BY THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT. NO FIELD TOPO WAS PERFORMED BY THIS FIRM.

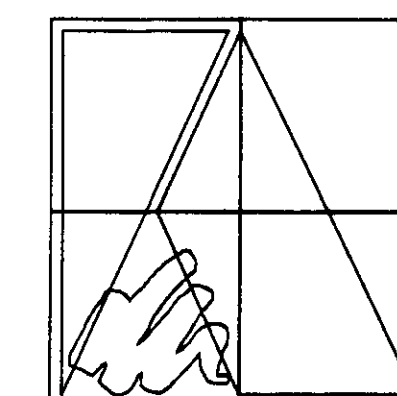
CONTOUR INTERVAL = 2 FOOT.

OTHER RIGHTS OF WAYS OR EASEMENTS MAY EXIST WHICH MAY NOT BE SHOWN.

OTHER UNDERGROUND UTILITIES MAY EXIST WHICH MAY NOT BE SHOWN.

VESTING DEED FOR PROPERTY WAS FOUND IN BOOK 5587 AT PAGE 675 IN THE MECKLENBURG COUNTY PUBLIC REGISTRY.

2,579,554 sq.ft.
59.22 acres



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Existing
Survey
Z5 of 5