



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCADMRM-2019-00253

DATE: 17 May 2019

ADDRESS OF PROPERTY: 1619 Euclid Ave

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12308202

APPLICANT/OWNER(S): Joy & William Szymonski

DETAILS OF APPROVED PROJECT: This project is the re-working of an existing patio and the addition of a pool/spa located between the main house and existing garage. No trees will be removed. The patio will include the addition of a Pennsylvania Blue Stone firepit and seating wall to the right and replacement of an existing stone gill area to the left. New grill area will be Penn Blue Stone to match. The patio will include the existing bluestone and two pea gravel paths. One path to the right fence gate the other leading from the patio to the garage. The pool measures approximately 444sqft and will include a Penn Blue Stone coping. The uncovered pool will be set back approximately 17'-5" from rear steps and approximately 13'-9" from the garage and meet all required setbacks. New and existing vegetation, as well as the existing fence, will screen the patio and pool area. Post-completion the rear yard impermeable space will be 49 %. See attached exhibit 'Plan - 2019' & 'Existing Patio - 2019'.

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Landscape & Site Features.
2. The applicable Design Guidelines for Landscaping and Yards (page 8.4) have been met.
3. **If changes to the approved plans are needed, please contact staff as soon as possible. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

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Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



APPROVED

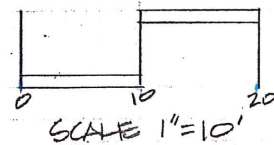
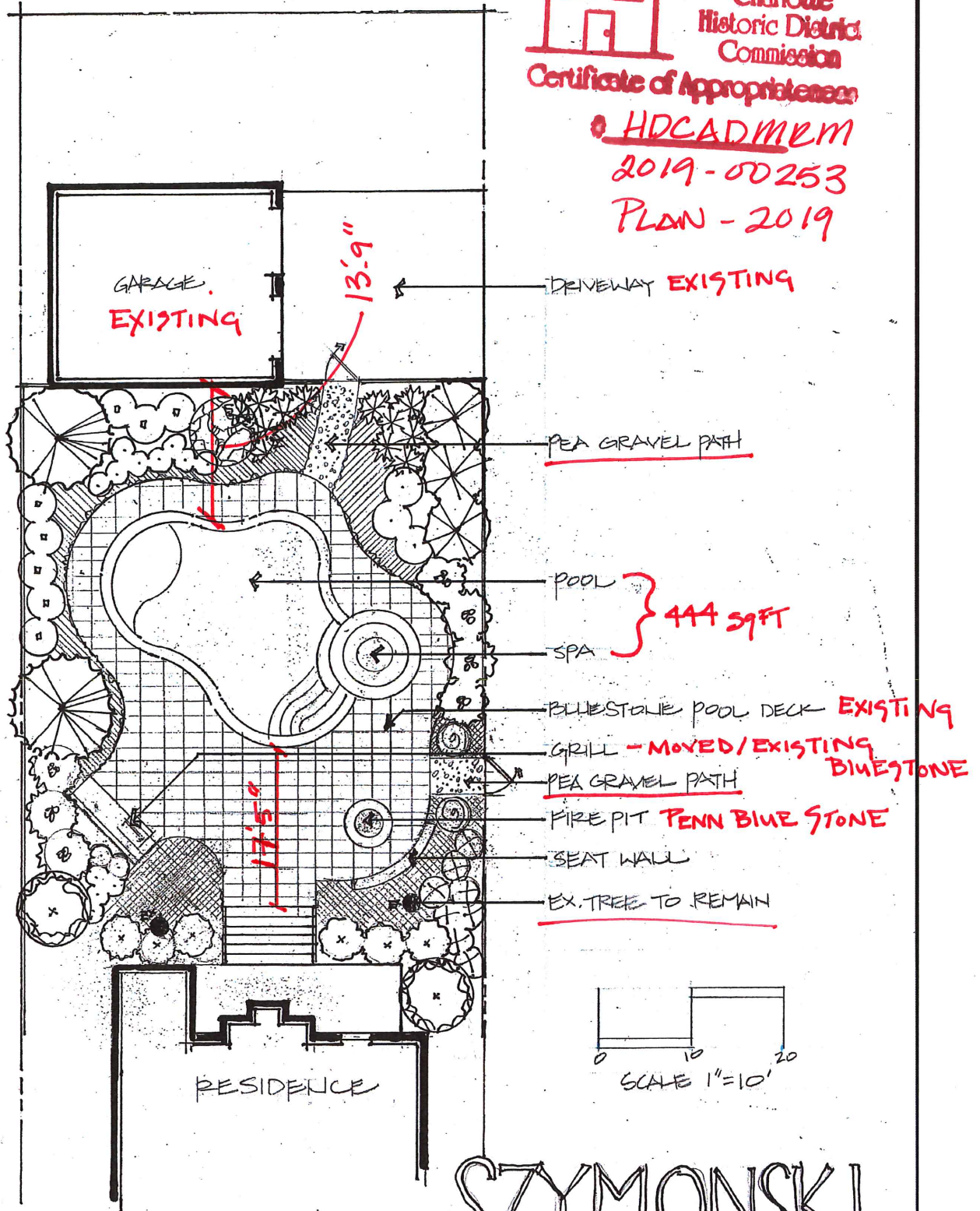
Charlotte
Historic District
Commission

Certificate of Appropriateness

HDCAD MEM

2019-00253

PLAN - 2019



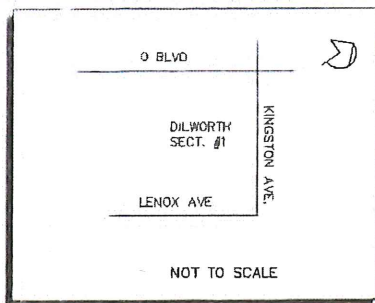
SZYMONSKI
RESIDENCE



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Commission
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AD mem -
2019 - 00253

EXISTING PATIO - 2019





VICINITY MAP



APPROVED

**Charlotte
Historic District
Commission**

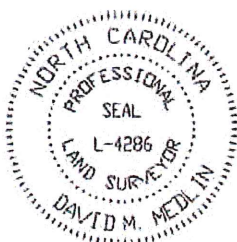
Certificate of Appropriation

04DCADM/M
2019-00253

LINE	LENGTH	BEARING
L1	17.92	S35°02'33"E
L2	35.43	N36°15'23"E
L3	144.54	N13°51'32"E
L4	116.79	N54°00'00"W
L5	3.44	S36°00'00"W
L6	5.93	N36°00'00"E

LEGEND:

R/W : RIGHT OF WAY



NOTES:

SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA

THIS PLAT IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY OF RECORD PRIOR TO DATE OF THIS PLAT, WHICH WAS NOT VISIBLE AT THE TIME OF OUR INSPECTION.

MAP NOT FOR RECORDATION.

BEARINGS BASED ON RECORD PLAT NOTED BELOW.

"I CERTIFY THAT ON THE DATE SPECIFIED HEREON, I SURVEYED THE PROPERTY SHOWN ON THIS PLAT; ALL OF WHICH WAS DONE UNDER MY SUPERVISION."

David M. Medlin
DAVID M. MEDLIN NCPLS

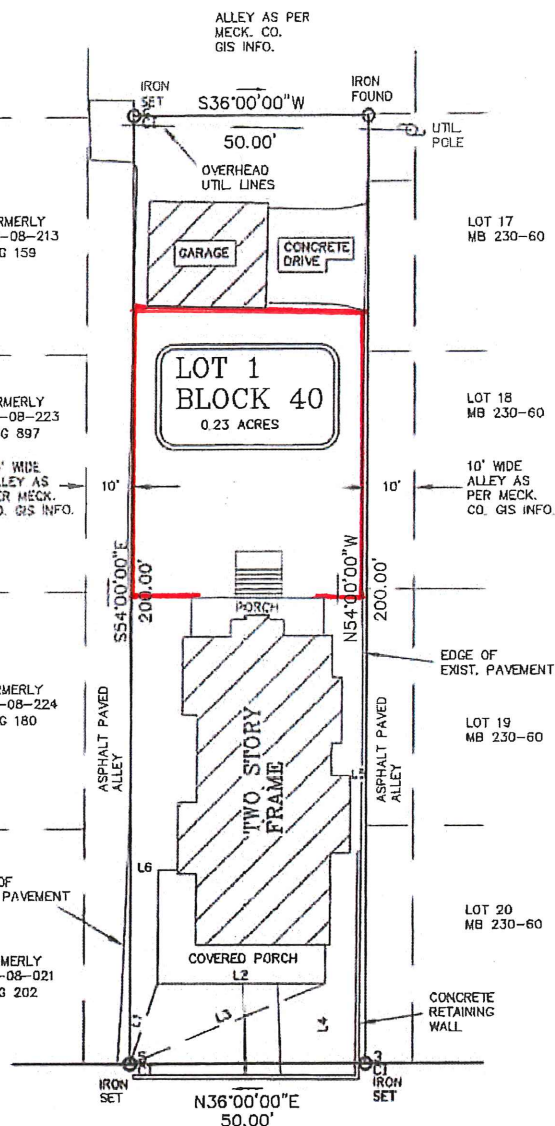
NOW OR FORMERLY
TAX ID: 123-08-213
DB 7110 PG 159

NOW OR FORMERLY
TAX ID: 123-08-223
DB 6245 PG 897

10' WIDE
ALLEY AS
PER MECK.
CO. GIS INFO.

NOW OR FORMERLY
TAX ID: 123-08-224
DB 7275 PG 180

NOW OR FORMERLY
TAX ID: 123-08-021
DB 8728 PG 202



EUCLID AVENUE

60' PUBLIC R/W



GRAPHIC SCALE 1 inch = 30 ft.

MAP FOR				
CHERYL & ANTHONY RAY				
SCALE	TOWNSHIP	COUNTY	STATE	DATE
1"=30'	CITY	MECK.	N.C.	9-30-04
1619 EUCLID AVENUE				
LOT 1 BLOCK 40 OF DILWORTH SECTION #1				
SURVEYED DMM	MEDLIN SURVEYING CO. 2915 STALLINGS RD. HARRISBURG, N.C. 28075 016(704) 454-5541 Fax: (704) 454-5492			MAP RECORDS 230-60 16250-781

1619EUCLID