



**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS-AMENDED**

**CERTIFICATE NUMBER:** HDCADMRM-2019-00245

**DATE:** 29 July 2019

**AMENDMENT DATE:** 5 November 2019

**ADDRESS OF PROPERTY:** 820 E. Worthington Ave

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12108714

**OWNERS:** Jeff and Christine Weiss

**APPLICANT:** Keith M Wesolowski,  
RAM Construction

**DETAILS OF APPROVED PROJECT:** Rear Addition. The project is a right side rear addition that is no taller or wider than the existing building. The addition will measure 9' - ½" x 10' - 3" with a step down in the foundation for differentiation. The existing hipped roof will be extended over the new addition, with no increase in height and at the same roof pitch. Asphalt roof shingles will be installed to match the existing. Materials on the addition will be wood shingle siding, wood trim and wood rafter tails, all to match the existing materials on the house. A brick foundation will be used for the new addition but is to remain unpainted. The brick used for the new foundation should match the original brick used on the main house foundation prior to its (the original brick foundation) being painted.

~~Five existing windows will be reused for the addition.~~ All window trim will be wood and match the existing profiles on the house. Gutters will be extended to cover the addition and will match the existing, the existing downspout will be relocated to the new corner on the addition. The existing brick stairs are to remain. Any unfinished wood materials used in this project will be painted or stained. No changes will be made to existing windows or openings on the house other than those indicated on the plans. Rear yard open space will be 71% after the addition. See attached plans.

**11/5/2019 Amendment:** 1 existing window will be reused on the addition on the upper right-side elevation. New paired windows will be installed on the lower right-side elevation and the lower rear elevation of the addition. The existing non-historic paired kitchen windows on the lower right-side elevation in front of the addition will also be replaced. The new windows will be wood, double-hung, Simulated True Divided Lights (STD L) in an 8/1 pattern to match existing. No removable muntins will be used on the project. This approval does not imply approval of any wood window with visible plastic or vinyl components, as these do not meet HDC requirements. Window glass is to be the most translucent version available that meets NC building code requirements. All window trim and mullions will be wood and match the existing profiles on the house.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval-Additions, page 2.6: Work in Rear Yards.
2. This application is in compliance with the Policy & Design Guidelines for Additions (page 7.2).

*Continued on next page*


Date: 7/29/2019, Amendment date: 11/5/2019

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
\_\_\_\_\_  
James Haden, Chairman

  
\_\_\_\_\_  
Staff

From: Kochanek, Cynthia <Cynthia.Kochanek@ci.charlotte.nc.us>  
Sent: Tuesday, May 7, 2019 12:35 PM  
To: Keith Wesolowski <keithw@ramconstructioninc.com>  
Subject: 820 E Worthington

Hello,

Thank you for your application to the Charlotte Historic District Division. I am contacting you about your application for the rear of the structure at the above named address, application number HDCADMRM-2019-00245. In order for staff to process your application, we are seeking more details on the project. Please submit an existing site plan and elevations so I can verify existing conditions along with specifications for all the new/proposed materials. Will any existing trees be affected by this project?

We will also need rear yard open space calculations, as according to our HDC guidelines no more than 50% of the rear yard shall be of impermeable material. The HDC guidelines are located online here: <http://www.charmeck.org/Planning/HDC/DesignGuidelines.pdf> and the formula for the calculation is below.

One last thing, I didn't see the checklist and signature page attached to the electronic submission. It's a required document for the application, please have the owner sign that form and return it to me via email or upload it to Accela. It can be found here: <http://www.charmeck.org/Planning/HDC/GeneralSubmissionRequirementsChecklist.pdf>

#### Rear Yard open Space Calculations

A. Rear Yard Total Square Footage (as measured from the back of the original house) \_\_\_\_\_ sf

B. Existing:  
Square footage of any existing addition(s): \_\_\_\_\_ sf  
Square footage of any existing shed's, etc.: \_\_\_\_\_ sf  
Square footage of any existing pavement (driveway, patio, etc.): \_\_\_\_\_ sf  
Total Existing Impermeable area: \_\_\_\_\_ sf  
% existing impermeable: \_\_\_\_\_ %

C. Proposed:  
Square footage of new Pool: \_\_\_\_\_ sf  
Square footage of Pool coping: \_\_\_\_\_ sf  
Total square footage of new project(s): \_\_\_\_\_ sf  
% new impermeable area: \_\_\_\_\_ %

D. Total:  
Total impermeable area post-construction: \_\_\_\_\_ sf  
% impermeable post-construction: \_\_\_\_\_ %

If you have any questions or concerns, please contact me at the information listed below. Please email me or submit via Accela the additional information requested above.  
Thank you,

MAMARO IS NOT RESPONSIBLE FOR  
IMPERVIOUS AREA CALCULATIONS. RAM  
CONSTRUCTION PRODUCED THE INFORMATION.

Without identifiers on the pictures, I am having a difficult time verifying where any of them are located and at that size, it's difficult to tell details. Elevations of those affected would be helpful. I need a site plan that indicates property lines and existing structures on the site in relation to them, this is also helpful for the rear yard open space calculations. The tree question was simply a verification, so the email stating that no trees are to be removed as part of this project is fine. I didn't see any specific details on materials in Accela other than brick and wood, it would be better for that to be spelled out in the plans. For example, if it's to match existing in color, size, materials, etc. please indicate that on the plans. Right now, the plans don't seem to reference materials in regards to the shake, etc. I need clarity on the material since there are options available out there that not wood. It looks like there are new and relocated windows, so I need specs on the new; Ply-Gem is not approvable by the HDC.

Thanks,  
Clady Kochanek  
Principal Planner, Historic District Division  
Charlotte Planning, Design & Development Department  
City of Charlotte  
600 E. Fourth Street, 8th Floor, Charlotte, NC 28202  
D: 704.336.1477  
Cynthia.Kochanek@charlottenc.gov  
Creating Great Places for Our Community



Lot size 50' x 145' = 7250 sq/ft  
Original rear yard 3557 sq/ft  
Existing Garage 480 sq/ft  
Old existing rear addition 315 sq/ft  
Original House 1401 sq/ft  
New proposed addition 95 sq/ft  
Existing (house and garage) Impervious 2197 sq/ft  
All paving is permeable.

REVISED

TOTAL - ORIGINAL HOUSE 1401 SQ/FT IMPERVIOUS  
TOTAL - ADDITIONS (INCLUDING PROPOSED AND EXISTING) IMPERVIOUS AT REAR YARD 890 SQ/FT  
TOTAL - ORIGINAL REAR YARD 3557 SQ/FT - ALLOWABLE USE @ 50% = 1778.5 SQ/FT  
TOTAL - LOT 7250 SQ/FT - ALLOWABLE IMPERVIOUS @ 35% = 2537 SQ/FT  
TOTAL IMPERVIOUS ALL STRUCTURES INCLUDING PROPOSED ADDITION 2291 SQ/FT = 31.6%

- I came up with calculations for the rear yard of ~3,100 sf for the total rear yard, 480 sf for the garage, 316 sf for the old addition, 95 sf new addition = 2,209/3,100 = ~71% open space.

# WESS RESIDENCE

## 820 EAST NORTHINGTON CHARLOTTE, NC 28203

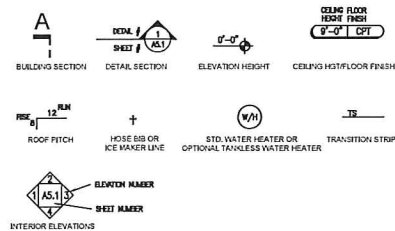


HDCADMRM-2019-00245

#### SHEET NUMBER DESIGNATION

ARCHITECTURAL	
CS	COVER SHEET
A1	EXTERIOR ELEVATIONS
A2	FOUNDATIONS
A3	1ST FLOOR PLANS
A4	2ND FLOOR PLANS
A5	1ST FLOOR ELECTRICAL PLANS
A6	2ND FLOOR ELECTRICAL PLANS
A7	ROOF PLAN
SD	CONSTRUCTION DETAILS

#### KEY TO SYMBOLS



#### AREA TABULATION

HEATED SQ. FT.	
EXISTING FIRST FLOOR	- S.F.
EXISTING SECOND FLOOR	- S.F.
NEW FIRST FLOOR	92 S.F.
NEW SECOND FLOOR	92 S.F.
TOTAL HEATED	184 S.F.
COVERED PORCH ADDITION	S.F.
OPTIONAL HEATED SQ. FT.	
UNHEATED SQ. FT.	
NEW COVERED DECK 1ST FLOOR	S.F.
NEW COVERED DECK 2ND FLOOR	S.F.
NEW COVERED DECK 3RD FLOOR	S.F.
OPTIONAL UNHEATED SQ. FT.	
NOTE: AREA CALCULATIONS ARE NOTED FOR BASE HOUSE CONDITIONS AND ARE SUBJECT TO CHANGE WITH VARIOUS ELEVATION OPTIONS OR LATER CHANGES.	

#### ELECTRICAL LEGEND

SWITCH	110V RECESSED RECEPTACLE
3-WAY SWITCH	SECURITY/STANDARD WIRING PANEL
4-WAY SWITCH	GFI OUTLET
WALL MOUNTED LIGHT	220V RECEPTACLE
RECESSED LIGHT	QUADPLEX OUTLET
RECESSED W/ EXHAUST FAN	110V FLOOR RECEPTACLE
BATH EXHAUST FAN	18" FLUORESCENT LIGHT
DISPOSAL	CEILING FAN OUTLET
CHIMES	CEILING FAN PREMISE
CEILING FIXTURE OUTLET	ELECTRICAL WIRING
110V RECEPTACLE	SMOKE DETECTOR
110V SWITCHED RECEPTACLE	SMOKE/CO/HEAT MONITORING ALARM
110V RECEPTACLE - SEE NOTES E7 & E8	

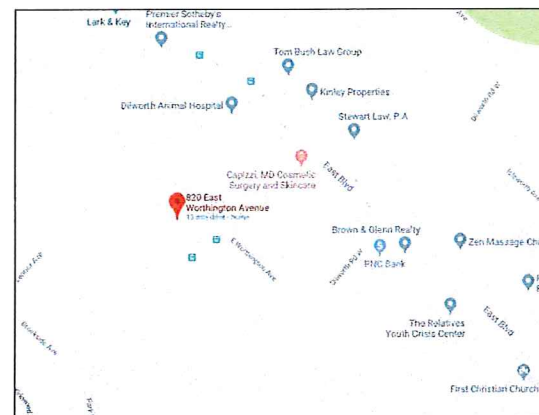
#### ELECTRICAL NOTES

- ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION NATIONAL ELECTRICAL CODE, NFPA-70.
- ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES BY A LICENSED CONTRACTOR WHO SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND INSPECTIONS.
- RECEPTACLES/TV OUTLETS SHALL BE MOUNTED AT 12" AFF UNLD.
- MICROWAVE OVEN SHALL BE INSTALLED WITH SEPARATE 20 AMP SINGLE RECEPTACLE AT 78" AFF.
- BATHROOM RECEPTACLES SHALL BE GFI MOUNTED AT 42" AFF UNLESS NOTED OTHERWISE.
- EXTERIOR RECEPTACLES SHALL BE GFI AND WEATHER PROTECTED.
- WASHER/DRYER RECEPTACLES SHALL BE MOUNTED AT 44" AFF.
- TELEPHONE OUTLETS SHALL BE MOUNTED AT 12" AFF. WALL MOUNTED TELEPHONE OUTLETS SHALL BE MOUNTED AT 54" AFF. WITH COVER PLATE, TERMINATE NEAR PANEL.
- KITCHEN COUNTER AND REFRIGERATOR RECEPTACLES SHALL BE MOUNTED AT 44" AFF.
- SWITCHES SHALL BE MOUNTED AT 48" AFF.

#### ABBREVIATIONS

AB	ANCHOR BOLT	FD	FLOOR DRAIN
A/C	AIR COOLING UNIT	FFM	FOUNDATION
ADJ	ADJACENT	FF	FINISH FLOOR
AF	ABOVE FINISHED FLOOR	FF	FOOTING
AHU	AIR HANDLING UNIT	FP	FIREPLACE
ALUM	ALUMINUM	HB	HOSE BIB
APPROX	APPROXIMATELY	HDR	HEADER
BLK	BLACK	HGT	HEIGHT
BM	BENCH MARK	ICM	ICE MAKER LINE
BT	BOTTOM	JST	JOIST
BRG	BEARING	MAX	MAXIMUM
BWN	BETWEEN	MFR	MANUFACTURER
BWN	BETWEEN	MIN	MINIMUM
CLG	CEILING	MO	MASONRY OPENING
COL	COLUMN	MTS	NOT TO SCALE
CONC	CONCRETE	OPNG	OPENING
CONT	CONTINUOUS	REF	REFRIGERATOR
OPT	OPTIONAL	RSL	RESIDENT FLOORING
DA	DAMETER	SBL	SIMILAR
DN	DOWN	SRO	SHEET ROCK OPENING
DR	DRAIN	TB	TOWEL BAR
DS	DOWNSPOUT	TYP	TYPICAL
DWG	DRAWING	VALT	VALVE
EACH	EACH	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION	WD	WOOD
ELED	ELECTRO		
EQ	EQUAL		
EXH	EXHAUST		
EXT	EXTERIOR		

#### VICINITY MAP



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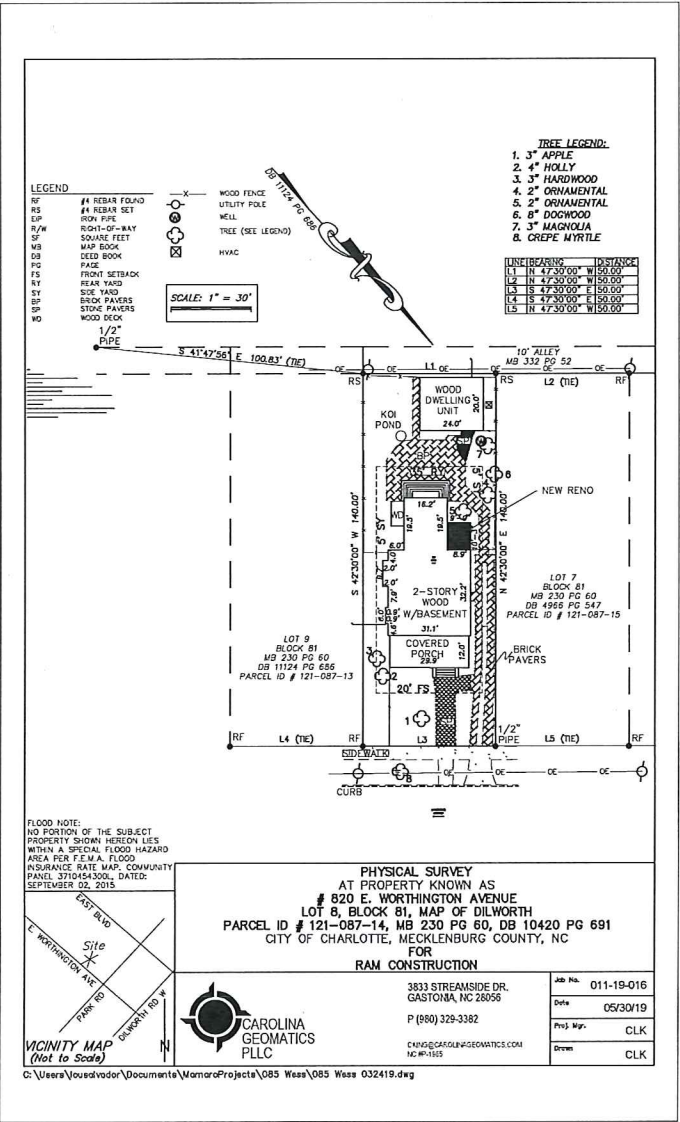
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DATE: 03/24/19  
LAST REV: 07/01

SHEET NO:

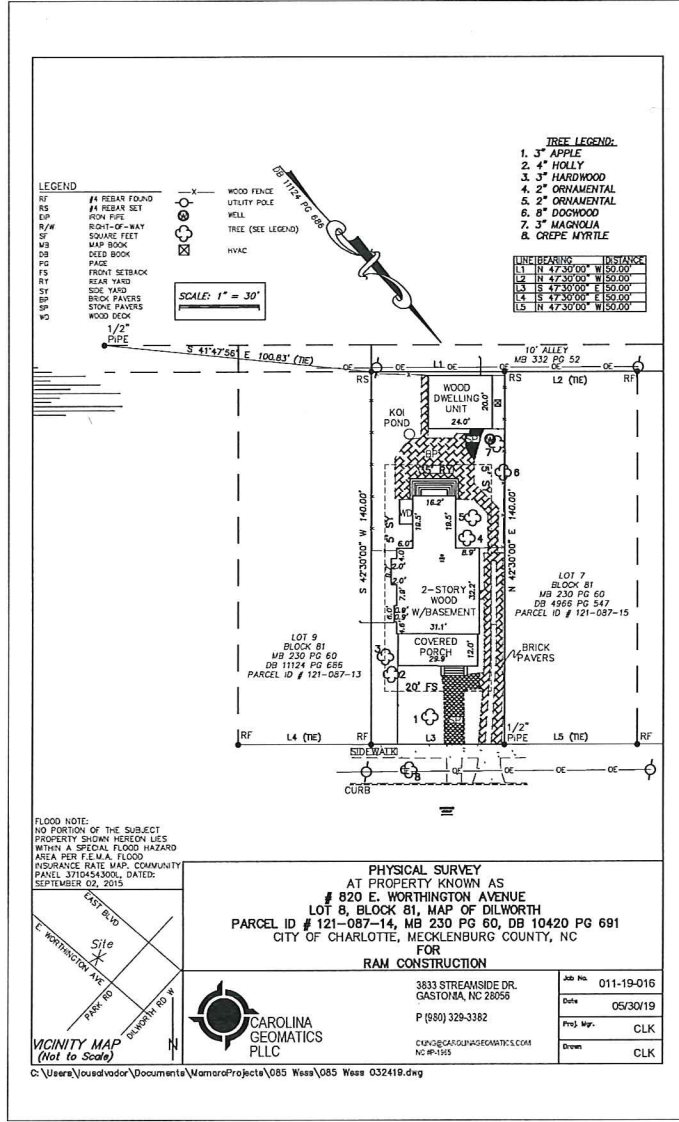
CS





1 NEW SITE PLAN  
AS

1/32" = 1'-0"



2 EXISTING SITE PLAN  
AS

1/32" = 1'-0"

SITE PLANS



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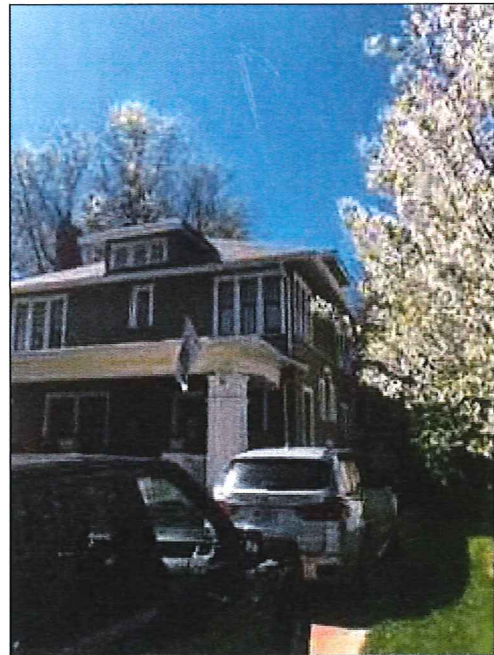
CONTRACTOR'S STATEMENT  
MAMARO RESIDENTIAL DESIGN, LLC, certifies that the information provided herein is true and accurate to the best of our knowledge and belief, and that we are not aware of any facts or circumstances which might render this information misleading or incomplete. This statement is made for the purpose of certifying the accuracy of the information provided herein, and it is understood that the contractor is responsible for the accuracy of the information provided herein.

820 EAST WORTHINGTON  
CHARLOTTE, NC 28203  
WESS RESIDENCE

DR. BY: LPS  
DATE: 03/24/19  
LAST REV:

SHEET NO:  
AS

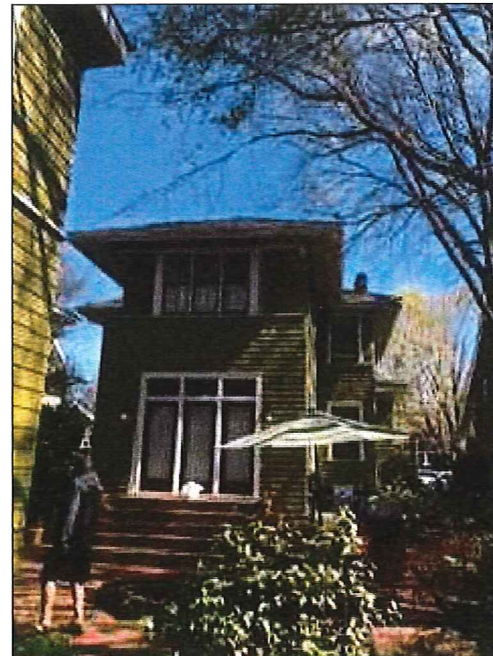




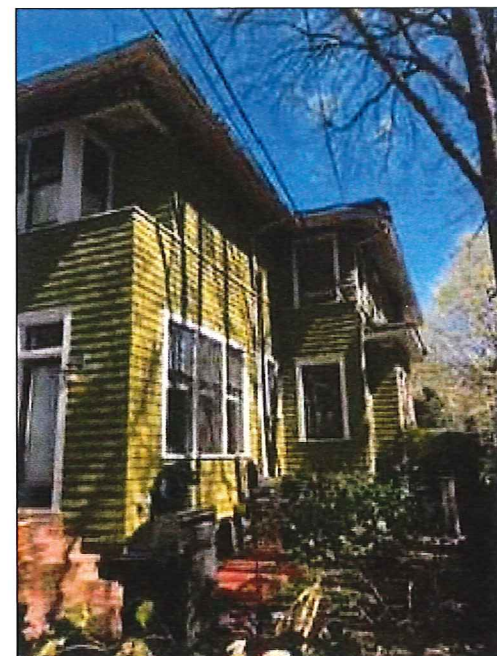
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1 EXISTING FRONT ELEVATION PICTURE



2  
1 EXISTING LEFT ELEVATION PICTURE



3  
1 EXISTING REAR ELEVATION PICTURE

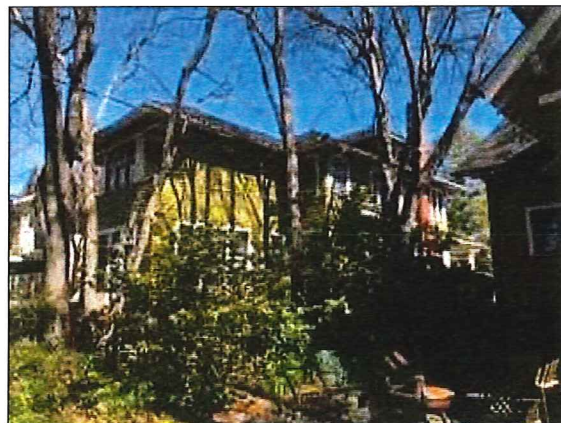


4  
1 EXISTING RIGHT ELEVATION PICTURE

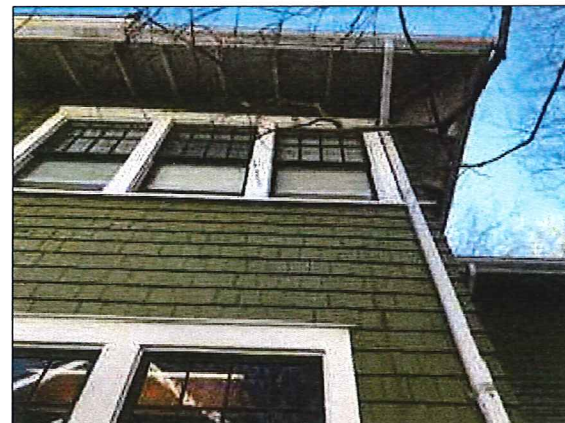
N.T.S



5  
1 EXISTING RIGHT ELEVATION PICTURE



6  
1 EXISTING LEFT ELEVATION PICTURE



7  
1 EXISTING RIGHT ELEVATION PICTURE



8  
1 EXISTING RIGHT ELEVATION PICTURE

N.T.S

EXISTING PICTURES



Certificate of Appropriateness

HDCADM-2019-00245

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CONSENT TO STATEMENT  
MAMARO RESIDENTIAL DESIGN, LLC, agrees to  
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owner harmless for any and all claims, damages,  
losses, costs and expenses, including  
attorney's fees, arising out of or in connection  
with the use of the services provided by  
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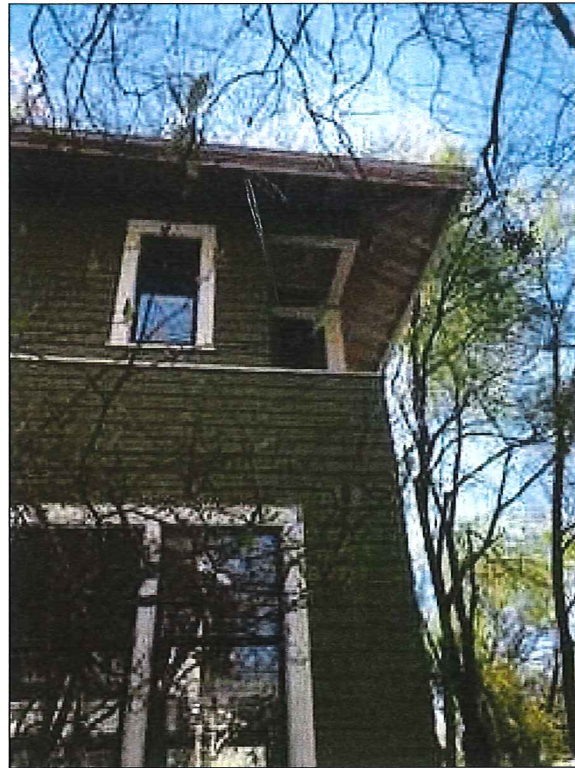
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DRAWN BY: LPS  
DATE: 03/24/14  
LAST REV:

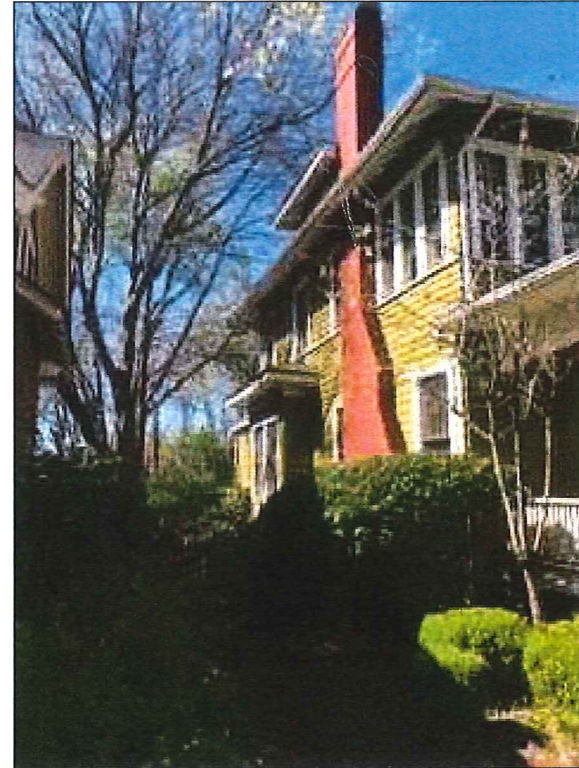
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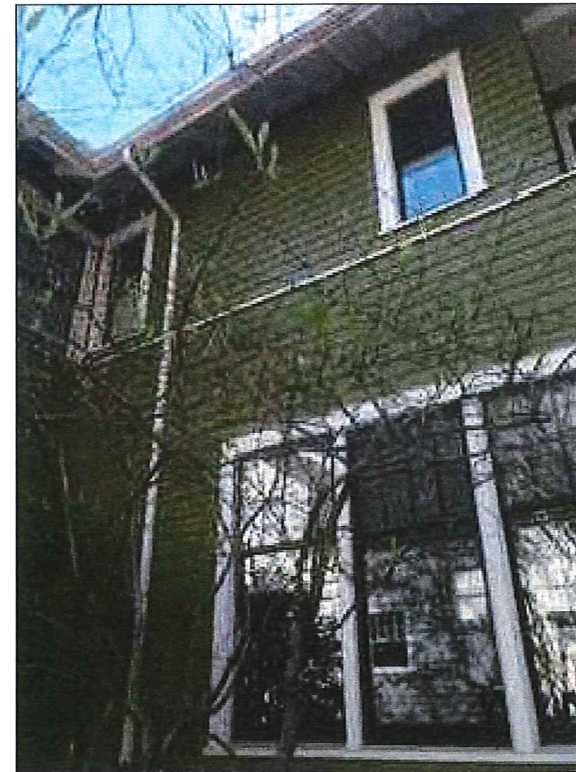




1  
1.1 EXISTING RIGHT ELEVATION PICTURE



2  
1.1 EXISTING LEFT ELEVATION PICTURE



3  
1.1 EXISTING RIGHT ELEVATION PICTURE



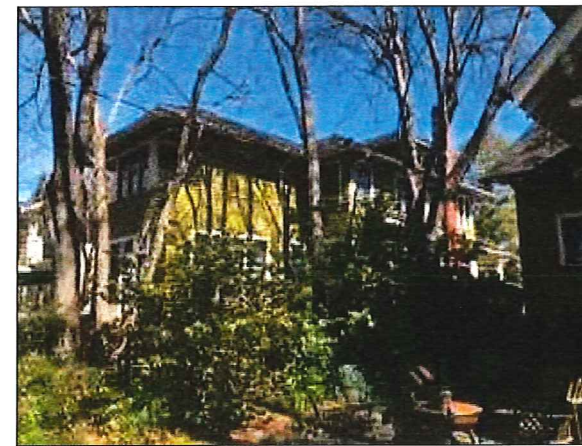
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1.1 EXISTING RIGHT ELEVATION PICTURE N.T.S



5  
1.1 EXISTING RIGHT ELEVATION PICTURE



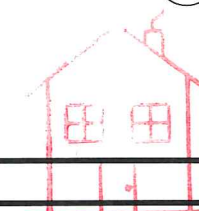
6  
1.1 EXISTING RIGHT ELEVATION PICTURE



7  
1.1 EXISTING LEFT ELEVATION PICTURE

8  
1.1 EXISTING ELEVATION PICTURE N.T.S

EXISTING PICTURES



APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

HDCADMRM-2019-00245

SCALE 1/4" = 1'-0"

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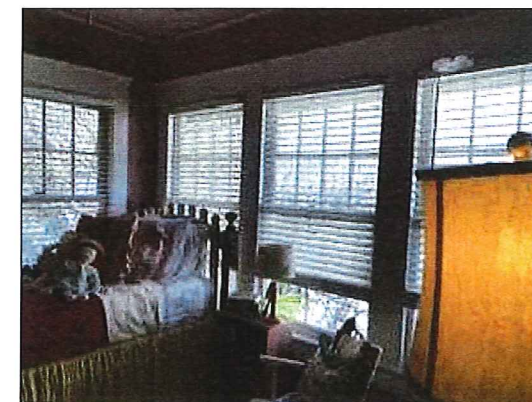
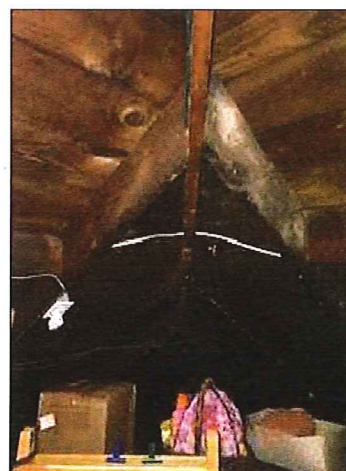
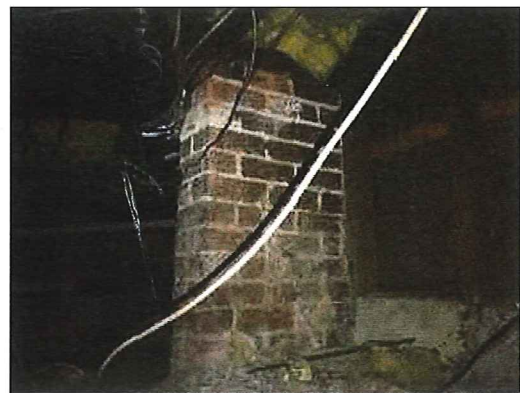
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CHARLOTTE, NC 28203  
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DR. BY: LPS  
DATE: 03/24/19  
LAST REV:

SHEET NO:

1.1





INTERIOR PICTURES ELEVATION

SCALE 1/4" = 1'-0"

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DR. BY:	LP5
DATE:	03/24/
LAST REV:	

SHEET NO.

## 1.2

12  
1.2

EXISTING INTERIOR PICTURE

NT.5

Charlotte  
Historic District  
Commission

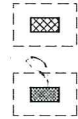
SCALE 1/4" = 1'-0"

Certificate of Appropriateness

#HDCADMRM-2019-00245



# PIER LEGEND:



FLUSH PIERS

DROPPED PIERS

## CRAWL SPACE VENTILATION CALCULATIONS

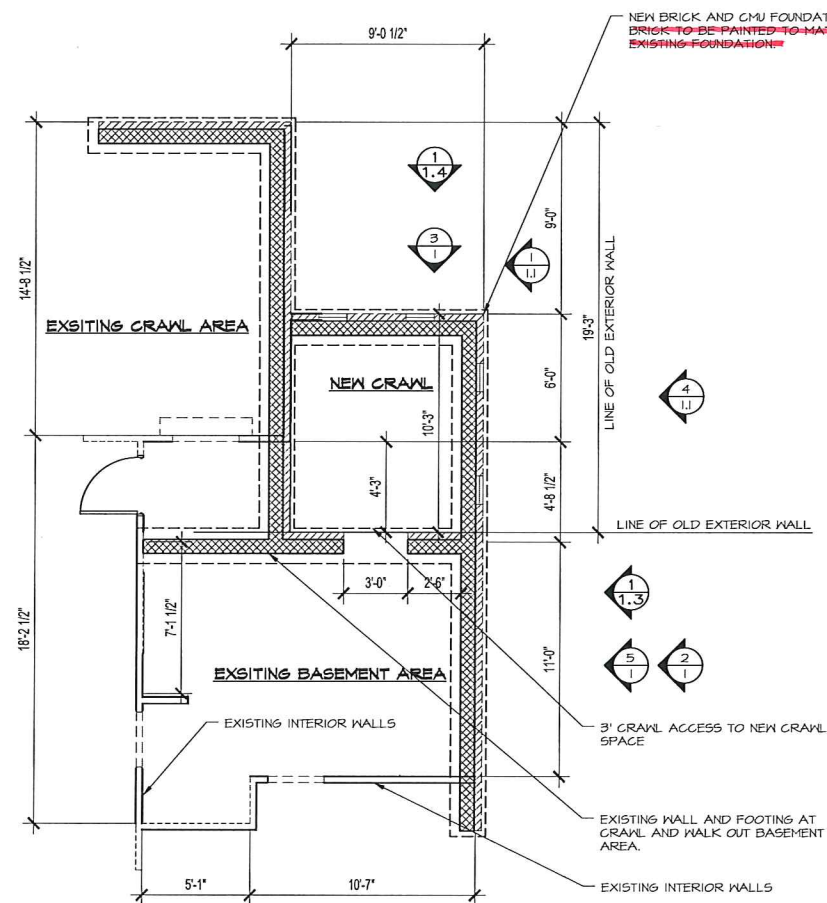
NOTE:  
16" x 8" SCREENED FOUNDATION VENT = 60 SQ.FT. VENTED AREA  
REG'D. 1 SQ.FT. PER EVERY 150 SQ.FT. OF CRAWL SPACE.

CALCULATIONS:  
CRAWL SPACE 92 SQ.FT. DIVIDED BY 150 SQ.FT. =  
1 SQ.FT. REG'D VENTED AREA  
1 SQ.FT. REG'D VENTED AREA DIVIDED BY 60 SQ.FT.  
1 REG'D VENT

NOTE:  
LOCATE GRADE BEAMS  
UNDER ALL LOAD-  
BEARING WALLS

NOTE:  
CRAWL SPACE ACCESS AND  
VENT LOCATIONS DETERMINED  
IN FIELD

NOTE:  
DOUBLE ALL JOISTS UNDER  
PARTION WALLS RUNNING  
PARALLEL TO JOISTS.



→unpainted brick foundation



HDCADMIN-2019-00245

1  
2C FRONT PORCH FOUNDATION SCALE 1/4" = 1'-0"

METHODS OF PROTECTION SHALL  
BE BY CHEMICAL SOIL TREATMENT  
OR OTHER METHODS APPROVED  
BY THE NORTH CAROLINA

## PORCH FOUNDATION PLAN

SCALE 1/4" = 1'-0"

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for any reason. All materials used in the  
construction of the project are the  
property of the owner. The contractor  
acknowledges that the owner has obtained approval  
for the project from the appropriate  
authorities.

820 EAST WORTHINGTON  
CHARLOTTE, NC 28203  
WESS RESIDENCE

DR. BY: LJS  
DATE: 03/24/19  
LAST REV: 07/10/17

SHEET NO:

2C

ZONE 3

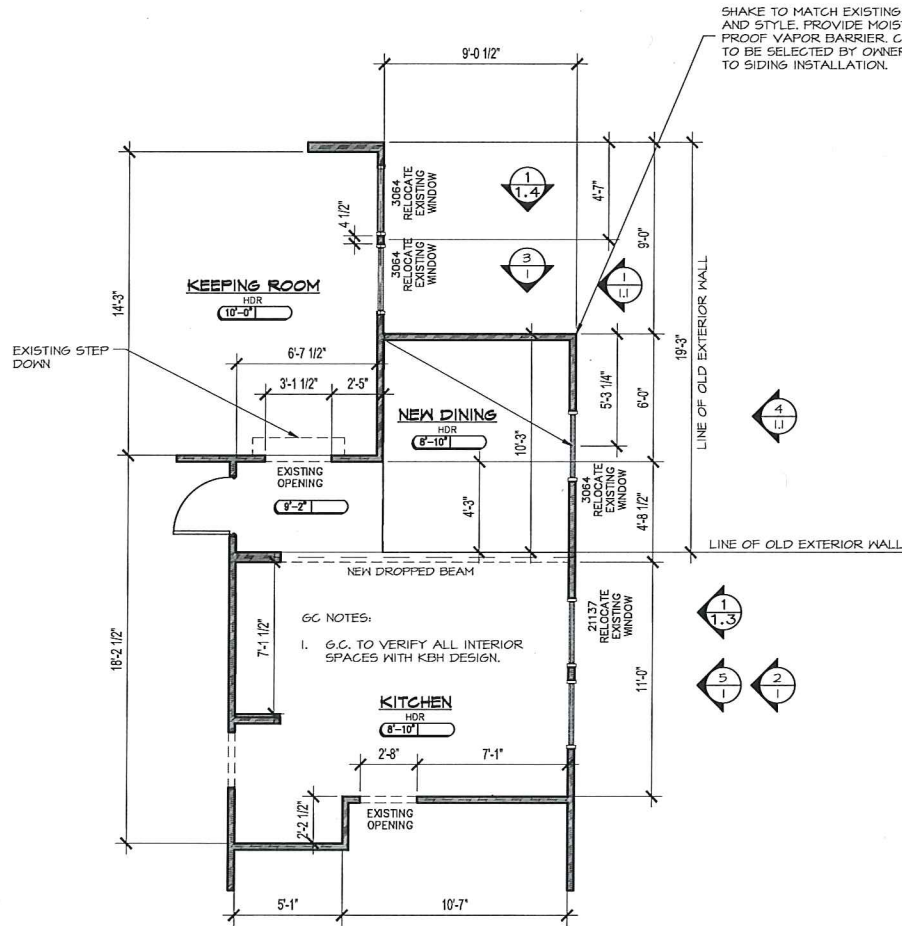
TABLE N1102.1.2 (R402.1.2)  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT<sup>a</sup>

CLIMATE ZONE	FENESTRATION U-FACTOR <sup>b,c</sup>	SKYLIGHT <sup>d</sup> U-FACTOR	GLAZED FENESTRATION SHGC <sup>e,f</sup>	CEILING R-VALUE <sup>g</sup>	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE <sup>h</sup>	FLOOR R-VALUE	BASEMENT <sup>i,j</sup> WALL R-VALUE	SLAB <sup>k</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>l</sup> WALL R-VALUE
3	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	5/13	0	5/13
4	0.35	0.55	0.30	38 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	10/15	10	10/15
5	0.35	0.55	NR	38 or 30ci	15" or 13 + 5" or 15 + 3"	13/17 or 13/12.5ci	30 <sup>m</sup>	10/15	10	10/15

For R1, 1 foot = 104.8 cm

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the total design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "15/13" means R-15 continuous insulation sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall or crawl space wall.
- d. R-5 shall be added to the required skylight U-factor for heated areas. For unheated areas, insulation shall be applied from the exterior, also covered by the bottom of the footing or a maximum of 24 inches below grade, whichever is less. For heating areas, insulation shall extend to the bottom of the foundation wall or 24 inches, whichever is less. (See Appendix G.)
- e. For windows.
- f. For doors.
- g. Basement wall insulation is not required in unhumid locations as defined by Figure N1101.1.2 and Table N1101.1.2.
- h. Or insulation sufficient to fill the framing cavity. R-19 minimum.
- i. The first value is cavity insulation. The second value is continuous insulation. "13-5" means R-13 cavity insulation plus R-5 continuous insulation. If structural sheathing covers 25 percent or less of the exterior, insulation sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing may be supplemented with insulated sheathing of at least R-2.
- j. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- k. In addition to the exception in Section N1102.1.2.3, a maximum of two glazed fenestration product assemblies having a U-factor no greater than 0.35 shall be permitted to be submitted for minimum code compliant fenestration product assemblies without permits.
- l. In addition to the exception in Section N1102.1.2.3, a maximum of two glazed fenestration product assemblies having a SHGC no greater than 0.75 shall be permitted to be submitted for minimum code compliant fenestration product assemblies without permits.
- m. R-32 shall be deemed to satisfy the online insulation requirement whenever the full height of unpermitted R-32 insulation extends over the full height of the wall in the space. Otherwise R-32 insulation is required unless approved otherwise by the building official.
- n. The value shown above for roof areas where the space is limited by the pitch of the roof, then the insulation must fit the space up to the eave line.
- o. R-19 floor insulation is permitted and installed in a home 2 x 6 framing cavity is deemed to comply. Floor joists shall be R-19 or higher compressed and installed in a 2 x 4 wall is not deemed to comply.
- p. Basement wall meeting the minimum means not specific heat content requirement may use the minimum R-value as the minimum requirement.

2 INSULATION CHART  
3.1 N.T.S.



1 NEW 1ST FLOOR PLAN  
3 SCALE 1/4" = 1'-0"

NEW 1ST FLOOR PLAN



HDC Admin-2019-00245

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820 EAST WORTHINGTON  
CHARLOTTE, NC 28203  
WESS RESIDENCE

DR. BY: LFS  
DATE: 03/24/19  
LAST REV:

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3

SCALE 1/4" = 1'-0"



ZONE 3

TABLE N1102.1.2 (R402.1.2)  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR <sup>a,b</sup>	SKYLIGHT <sup>c</sup> U-FACTOR	GLAZED FENESTRATION SHGC <sup>d,e</sup>	CEILING R-VALUE <sup>f</sup>	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE <sup>g</sup>	FLOOR R-VALUE	BASEMENT <sup>h</sup> WALL R-VALUE	SLAB <sup>i</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>j</sup> WALL R-VALUE
3	0.35	0.55	0.50	5/8 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	5/13	0	5/13
4	0.35	0.55	0.30	3/8 or 30ci	15 or 13 + 2.5"	5/13 or 5/10ci	19	10/15	10	10/15
5	0.35	0.55	NR	5/8 or 30ci	19" or 13 + 6" or 15 + 3"	13/17 or 13/12.5ci	30"	10/15	10	10/15

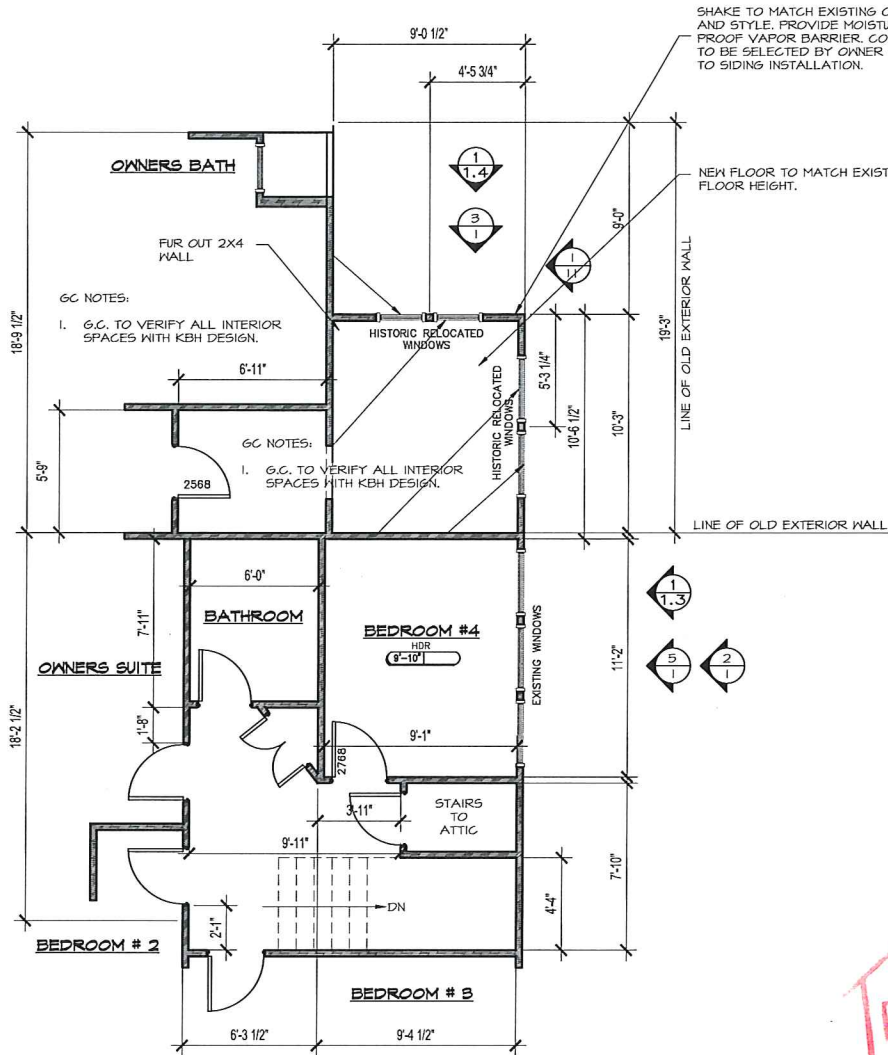
For Sl. 1 Not = 204.0 mm

- a. R-value is minimum. U-factor and SHGC are maximum. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "15/15" means R-15 continuous insulated skylights on the interior or exterior of the home or R-15 cavity insulation at the interior of the basement wall or roof of crawl space.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. For mass/slab walls, insulation shall be applied from the inspection gap downward to the bottom of the footing or a minimum of 24 inches below grade, whichever is less. For floors slabs, insulation shall extend to the bottom of the foundation wall or 24 inches, whichever is less. (See Appendix G.)
- e. Glazed.
- f. Basement wall insulation is not required in unhumid locations as defined by Figure N1101.7 and Table N1101.7.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. The first value is cavity insulation, the second value is continuous insulation. "10-5" means R-10 cavity insulation plus R-5 continuous insulation. If structure sheathing covers 75 percent or less of the exterior insulation sheathing is not required where structural sheathing is used. If structure sheathing covers more than 75 percent of exterior, structural sheathing shall be supplemented with insulation sheathing of at least R-5.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- j. In addition to the exception in Section N1102.1.2, a minimum of two inches of rigid insulation product assembly having a U-factor no greater than 0.15 shall be permitted to be a substitute for minimum code compliant thermal insulation product assembly without penalty.
- k. In addition to the exception in Section N1102.1.2, a minimum of two inches of rigid insulation product assembly having a U-factor no greater than 0.15 shall be permitted to be a substitute for minimum code compliant thermal insulation product assembly without penalty.
- l. R-50 shall be deemed to satisfy the ceiling insulation requirement where the full thickness of compressed R-50 insulation extends over the full top plate of the joist. Otherwise R-50 insulation is required where adequate clearance exists or insulation must extend to within the insulation buffer or within 1 inch of the attic roof deck.
- m. Tables values required for roof areas where the roof is limited by the pitch of the roof where the insulation must fit the pitch up to the air barrier.
- n. R-19 thermal break is permitted and required in a minimum 2 x 8 joist cavity if deemed to comply. Elsewhere the joist cavity shall be R-19 or higher or compressed and installed in a 2 x 4 joist is not deemed to comply.
- o. Basement wall insulation minimum edge and specific heat control requirement only use the mass wall R-value as the minimum requirement.

2 INSULATION CHART

3.1

N.T.S.



1 NEW 2ND FLOOR PLAN

3.1

SCALE 1/4" = 1'-0"

NEW 2ND FLOOR PLANS

SCALE 1/4" = 1'-0"

weird shake to match

STRUCTURE NOTES:

1. THE LATERAL BRACING REQUIREMENTS FOR THIS PLAN HAVE BEEN ACCOUNTED FOR UTILIZING AN ENGINEERED DESIGN AS PERMITTED IN R602.10.4 OF THE 2018 NORTH CAROLINA RESIDENTIAL CODE.
2. ALL PERIMETER WALLS ARE TO BE FULLY SHEATHING WITH A MINIMUM 5/8" OSB AND ATTACHED TO THE WALL FRAMING STUDS WITH 2d (25x0.019") NAILS 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. SPACING AT INTERMEDIATE SUPPORTS.
3. INSTALL BLOCKING ALONG OSB PANEL EDGES, FASTEN PANEL EDGES AT BLOCKING AT 5' O.C. AND 6' O.C. AT INTERMEDIATE FRAMING WHEN LESS THAN 50% BUT GREATER THAN 25% OF WALL IS SHEATHED.
4. SHEATH ALL GABLE END WALLS WITH 5/8" OSB.

GC NOTES:

1. G.C. RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
2. G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. NO SURVEY PROVIDED. MAMARO IS NOT RESPONSIBLE FOR MAKING SURE NEW DESIGN IS WITHIN THE SETBACKS. GC TO VERIFY BEFORE CONSTRUCTION.
4. G.C. TO PROVIDE MANUAL JS AND RES CHECK IF REQUIRED TO OBTAIN PERMIT.

ELECTRICAL NOTES:

1. INSTALL ALL SMOKE AND CARBON DETECTORS PER LOCAL AN STATE BUILDING CODES.
2. CONTRACTOR TO VERIFY ALL TV AND DATA LOCATIONS PRIOR TO INSTALLATION.
3. VERIFY CURRENT ELECTRICAL PANEL BEFORE ADDING NEW ONE.
4. TO VERIFY ALL LOCATION OF EXISTING OUTLETS AND SWITCH PRIOR TO STARTING CONSTRUCTION.

APPROVAL  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
HDCADM-RM-2019-00245

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CONTRACTOR'S STATEMENT  
I, the undersigned, hereby certify that I am a duly licensed professional engineer in the State of North Carolina, and that I am the author of the design shown on the attached plans. I am not aware of any fraud, misrepresentation, or other illegal or unethical practice in the preparation of the design. I am not aware of any fraud, misrepresentation, or other illegal or unethical practice in the preparation of the design. I am not aware of any fraud, misrepresentation, or other illegal or unethical practice in the preparation of the design.

820 EAST WORTHINGTON  
CHARLOTTE, NC 28203  
WESS RESIDENCE

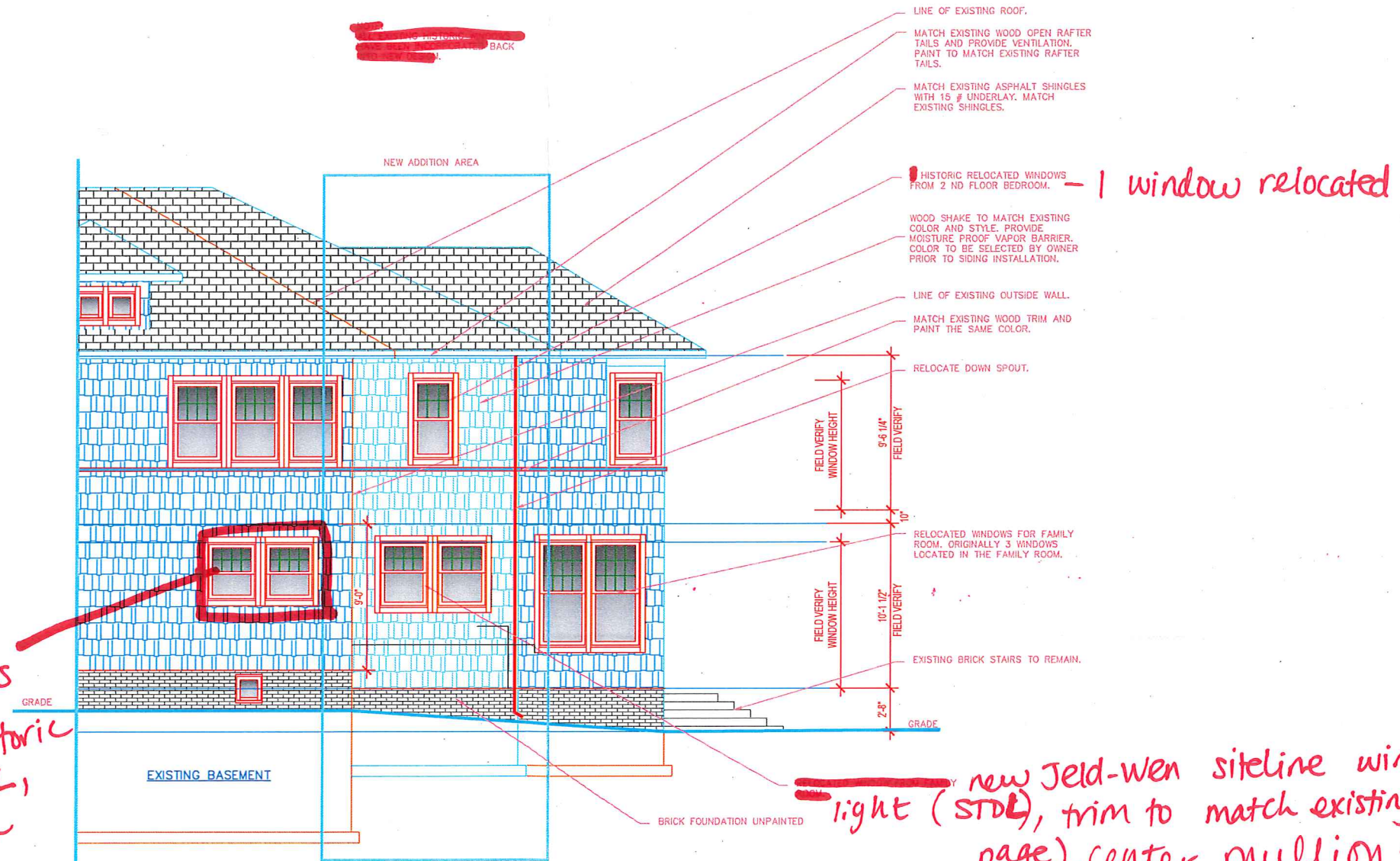
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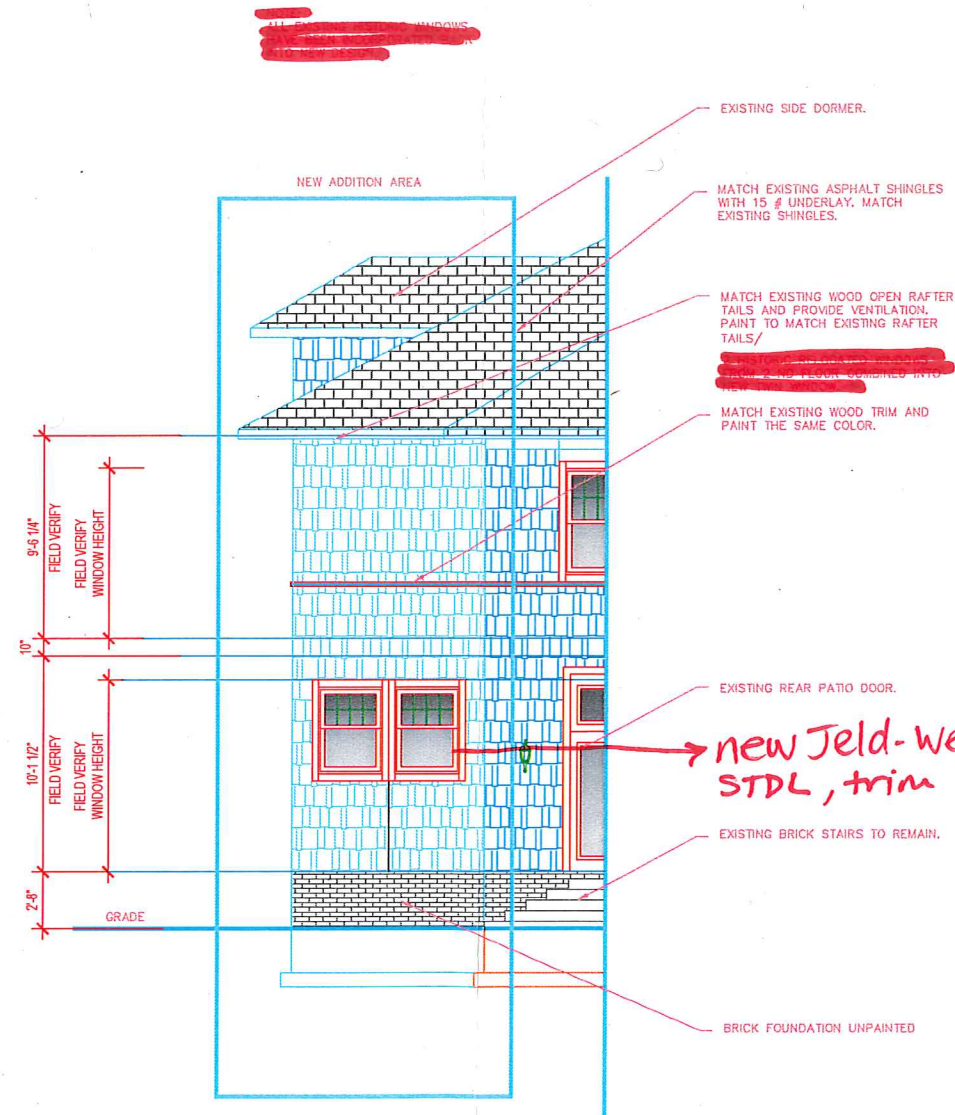
# Addition right elevation - Nov. 2019



Jeld-wen  
siteline windows  
to replace  
existing non-historic  
windows, SDC,  
trim to match  
existing (see  
window detail page)  
center mullion  
to match  
existing

new Jeld-wen siteline windows, simulated true divided  
light (SDC), trim to match existing (see window detail  
page), center mullion to match existing

# Addition rear elevation- Nov. 2019



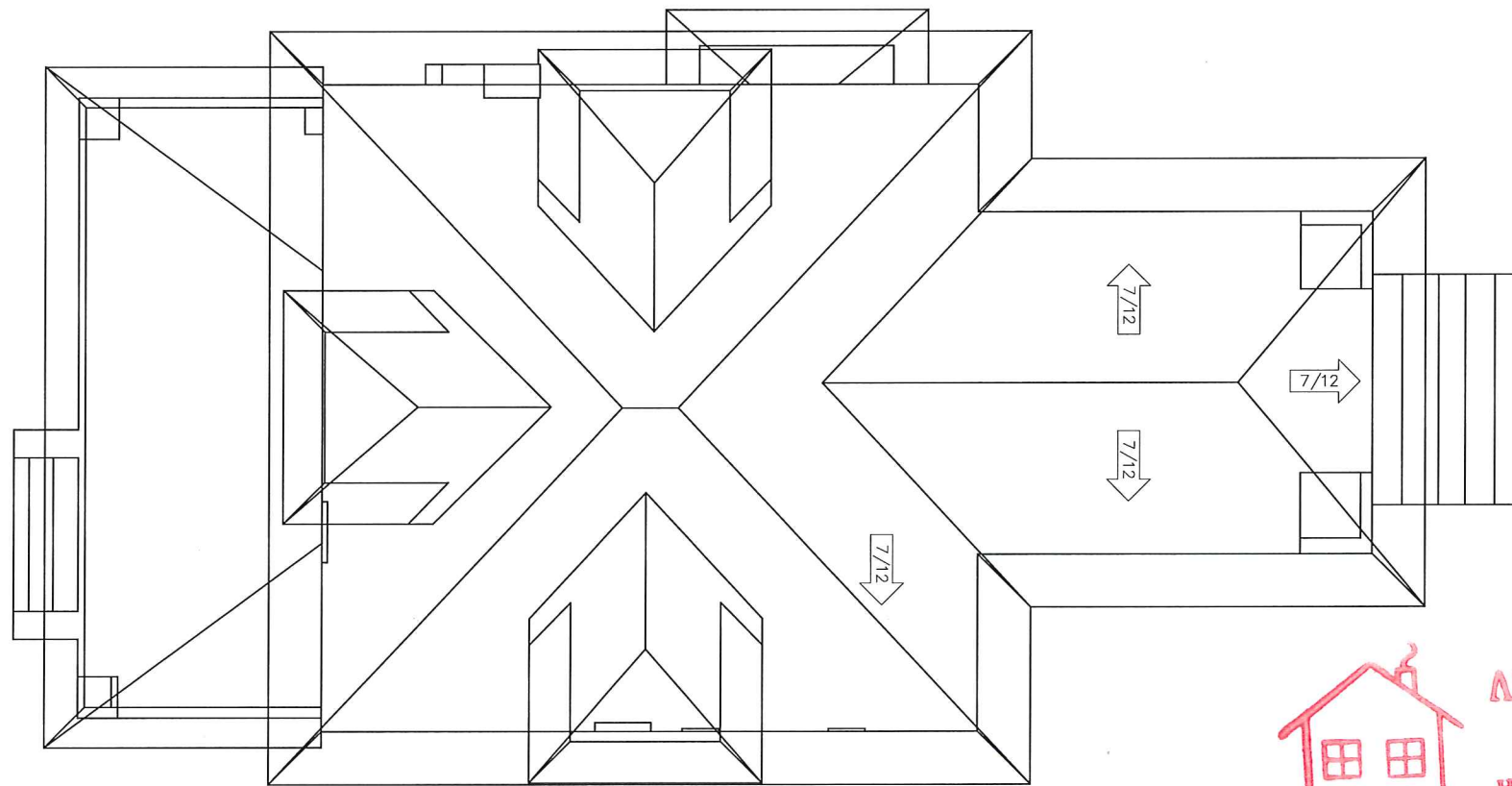
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Commission

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1  
7

EXISTING ROOF PLAN

SCALE 1/4" = 1'-0"

EXISTING ROOF PLAN

SCALE 1/4" = 1'-0"



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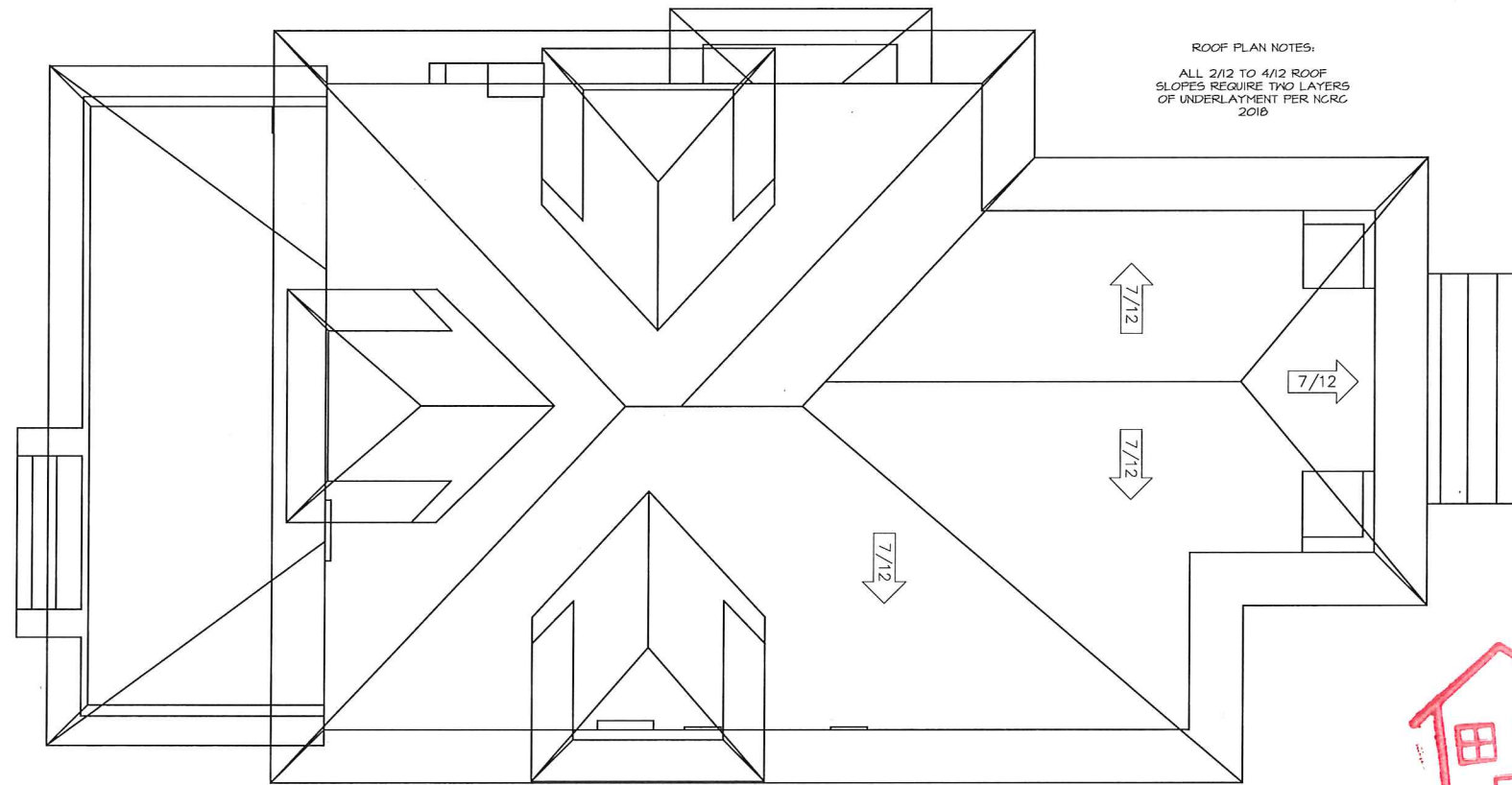
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DATE: 03/24/19  
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SHEET NO:

7





ROOF PLAN NOTES:  
ALL 2/12 TO 4/12 ROOF  
SLOPES REQUIRE TWO LAYERS  
OF UNDERLAYMENT PER NCRG  
2018

1  
7.1

NEW ROOF PLAN

SCALE 1/4" = 1'-0"

NEW ROOF PLAN

SCALE 1/4" = 1'-0"



CONSENT STATEMENT  
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responsibility for any errors or omissions in  
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CHARLOTTE, NC 28203

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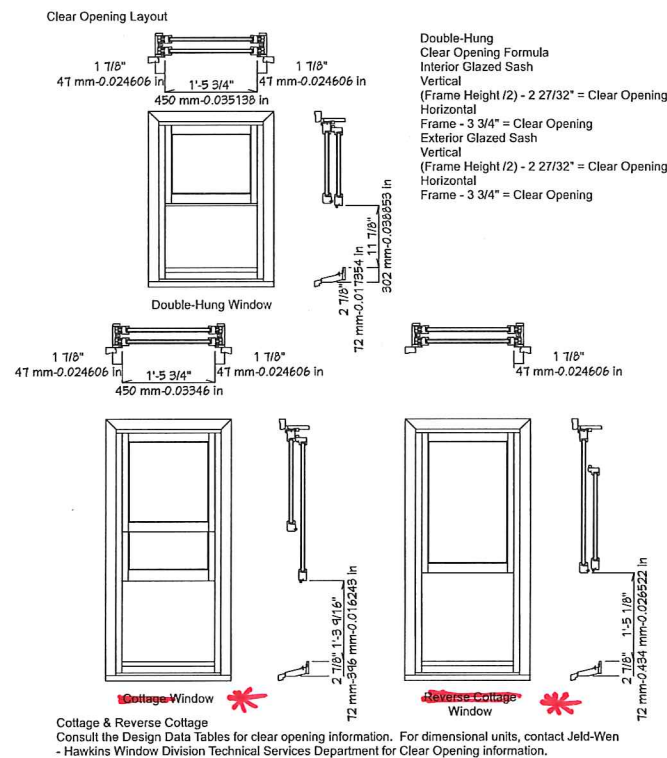
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Window Detail Page - Nov. 2019



Certificate of Appropriateness

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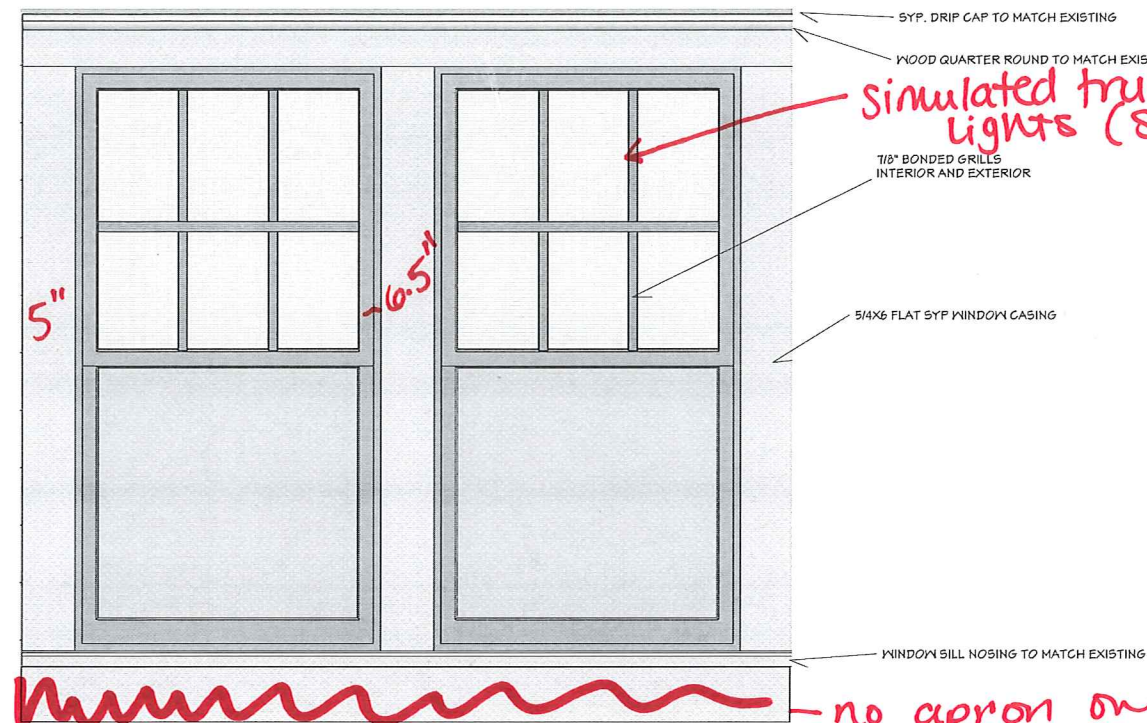
\* cottage style windows not used on this project

SITELINE  
WOOD WINDOW  
DOUBLE-HUNG

CLEAR OPENING

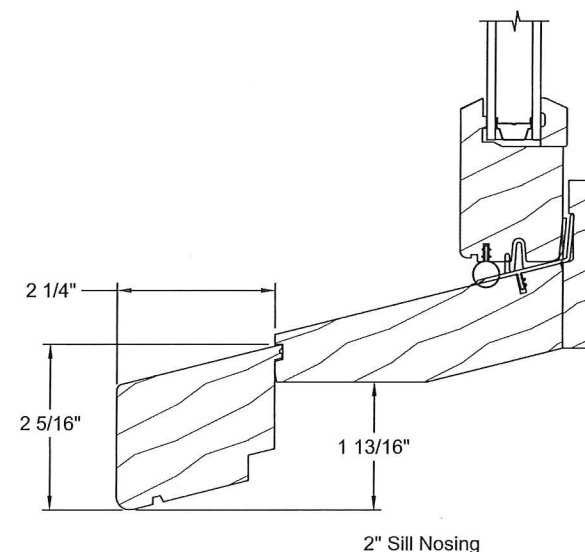
SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE

ALL NEW WINDOWS ARE JELD-WEN  
SITELINE ALL WOOD DOUBLE HUNG



NTS

no apron on exterior - sill to match exterior



NTS



REVISION TABLE	DESCRIPTION
NUMBER	DATE

JEFF WEISS  
820 EAST WORTHINGTON  
CHARLOTTE, NC. 28203

DRAWINGS PROVIDED BY:  
RAM DESIGN BUILD  
401 RENSSELAER AVE.  
CHARLOTTE, NC. 28203

DATE:

9/30/2019

SCALE:

1/4"=1'

SHEET:

A-7