



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCADMRM-2019-00242

**DATE:** 2 May 2019

**ADDRESS OF PROPERTY:** 2117 Wilmore Dr

**HISTORIC DISTRICT:** Wilmore

**TAX PARCEL NUMBER:** 11907518

**OWNER/Applicant:** Daedalus LLC

**DETAILS OF APPROVED PROJECT:** Demolition. This project is the demolition of a dilapidated accessory building in the rear yard and is in accordance with guideline 9.2, numbers 8. Salvage significant materials such as wood flooring, doors, windows, brick and stone, trim, and decorative features for subsequent reuse.; and 10. Applications for the demolition of dilapidated accessory structures may be eligible for administrative approval. Any materials in good condition, including but not limited to lap siding, will be salvaged for reuse.

1. Applicable Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.9 Demolition (Accessory Buildings, Dilapidated and in the rear yard
2. The applicable Design Guidelines for Demolition (page 9.2) have been met.
3. **If changes to the approved plans are needed, please contact staff as soon as possible. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

James Haden, Chairman

Staff

"I, MARK C. CARTER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 4796, PAGE 117 OR OTHER REFERENCE SOURCE \_\_\_\_\_); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN MAPBOOK 3, PAGE 329 OR OTHER REFERENCE SOURCE \_\_\_\_\_; THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA ( 21 NCAC 56. 1600)." THIS 11th DAY OF FEBRUARY, 2019.

*Mark C Carter*  
 PROFESSIONAL LAND SURVEYOR



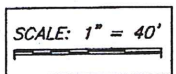
NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OR FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AN RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. SETBACKS SHOWN ARE per CURRENT ZONING ORDINANCES UNLESS OTHERWISE NOTED.
10. SUBJECT PROPERTY ZONED R-8.

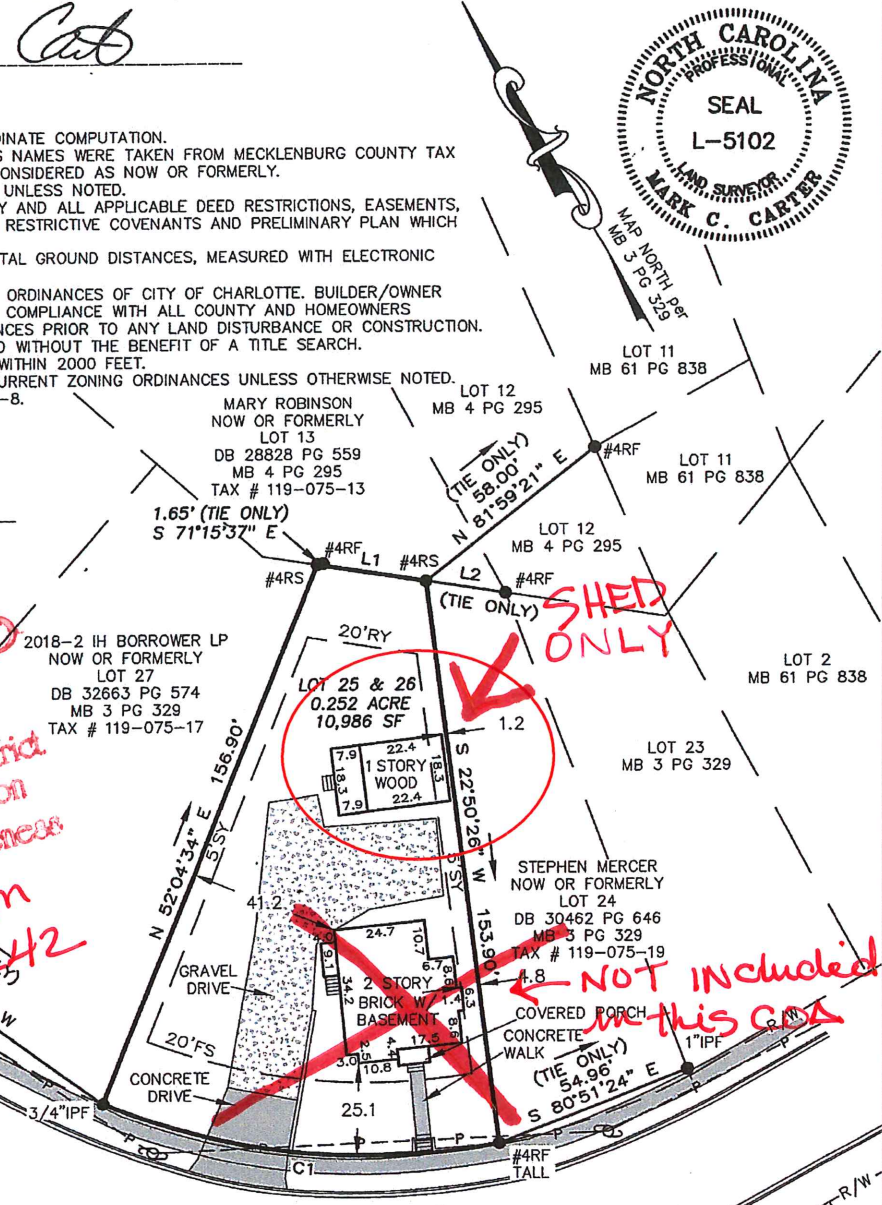
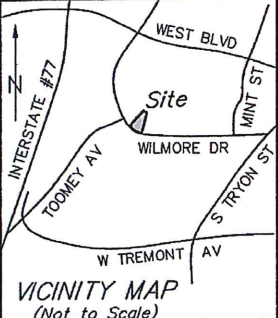
LEGEND

- RF REBAR FOUND
- RS REBAR SET
- R/W RIGHT-OF-WAY
- SF SQUARE FEET
- MB MAP BOOK
- DB DEED BOOK
- PG PAGE
- FS FRONT SETBACK
- RY REAR YARD
- SY SIDE YARD
- P OVERHEAD POWER LINE
- OP POWER POLE

**APPROVED**  
 Charlotte Historic District Commission  
 Certificate of Appropriateness  
 # HOC 13 m m m  
 2019-07-12



FLOOD NOTE:  
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3710454300L, DATED: SEPTEMBER 02, 2015.



LINE TABLE	
LINE	BEARING   DISTANCE
L1	S 51°00'00" E   30.00'
L2	S 50°58'58" E   21.77'

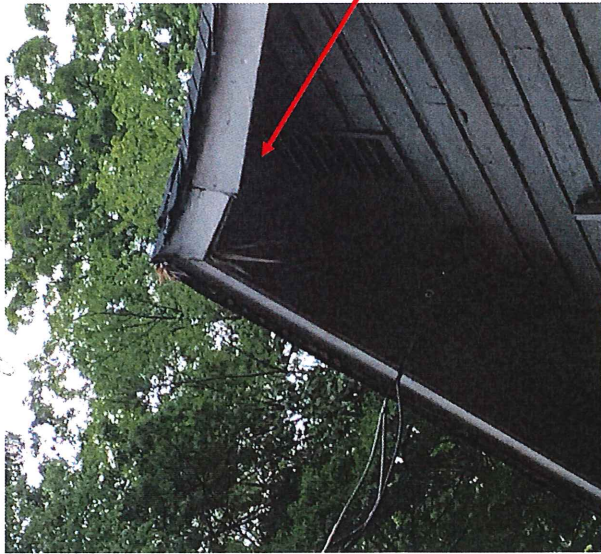
  

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING   CHORD LENGTH
C1	110.00'	188.23'	33°29'05"	N 53°38'55" W   108.45'

PHYSICAL SURVEY  
 AT PROPERTY KNOWN AS  
 # 2117 WILMORE DRIVE  
 BEING ALL OF LOT 25 & LOT 26, BLOCK 43, WILMORE  
 TAX # 119-075-18, MB 3 PG 329, DB 4796 PG 117  
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
 FOR  
 DAEDALUS PROPERTIES

**PHOENIX LAND SURVEYING, INC**  
 3316 OLD MONROE ROAD  
 STALLINGS, NORTH CAROLINA 28104  
 PH: (704)-335-1655  
 EMAIL: INFO@PHOENIX-SURVEYING.COM  
 FIRM # C-3912



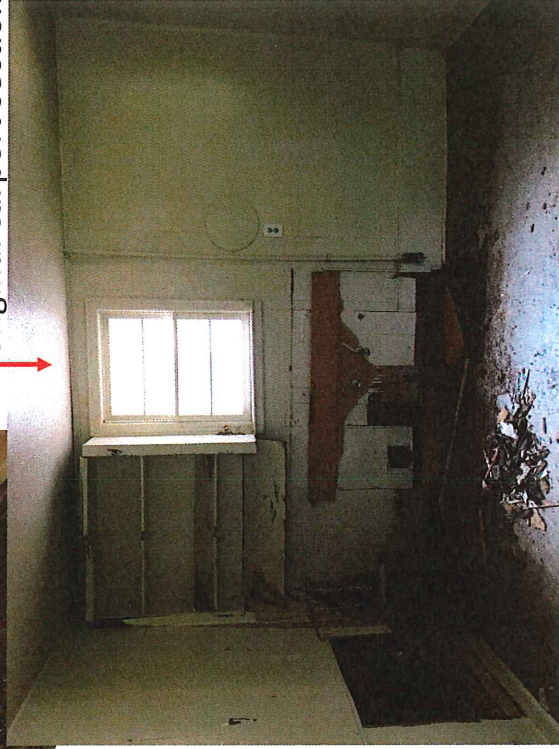


Structurally  
unsound  
roof



Siding from original  
shed.

Roof bowing –  
original carport section



Mix of materials used to  
create an enclosed space



HDC ADMIN  
2019-00242



Demo application for 2117 Wilmore Drive in Charlotte, NC 28203.

Findings: Secondary structure behind main structure at 2115 Wilmore Drive has been found to be non-original to site and made up of multiple structures. Original structure was a simple 10' x 18' storage building which was either originally built on a concrete slab or one was installed at a later date. The slab is failing in multiple locations causing substantial settling and structural issues throughout. At some point an additional 10' x 18' addition was added on to the building as shown in attic photos which created two gable roofs next to each other. Finally, a third and final addition was made which included a front porch and overbuilt roof to span both rooflines.

Photos of the exterior also provide evidence of the additions with multiple window sizes, breaks in concrete slabs, and failing structural components due to non-congruent load points and contiguous framing materials. There is a 12" step between the original building and the addition.

The building is also built into the side setback of the property line as shown in attached survey.

We have also spoken to long time residents who can also confirm that the original structure was also used as a car port prior to being closed in. Since this neighbor has lived in the area for approximately 35 years, this gives some idea of the time frame of the structures.

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