



**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** HDCRMI-2019-00161

**DATE:** June 10, 2019

**ADDRESS OF PROPERTY:** 612 East Tremont Avenue

**TAX PARCEL NUMBER:** 12109350

**HISTORIC DISTRICT:** Dilworth

**OWNER/APPLICANT:** Maribeth Knauf

**DETAILS OF APPROVED PROJECT:** **Front stoop changes.** minor design change to an existing front stoop, which is the relocation of the brick steps from the left side to the front. No other porch elements will be changed. A new concrete front walkway will be added from the sidewalk to the front steps. No trees will be impacted by this project.

The project was approved by the HDC May 8, 2019.

**Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.**

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

  
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James Haden, Chairman

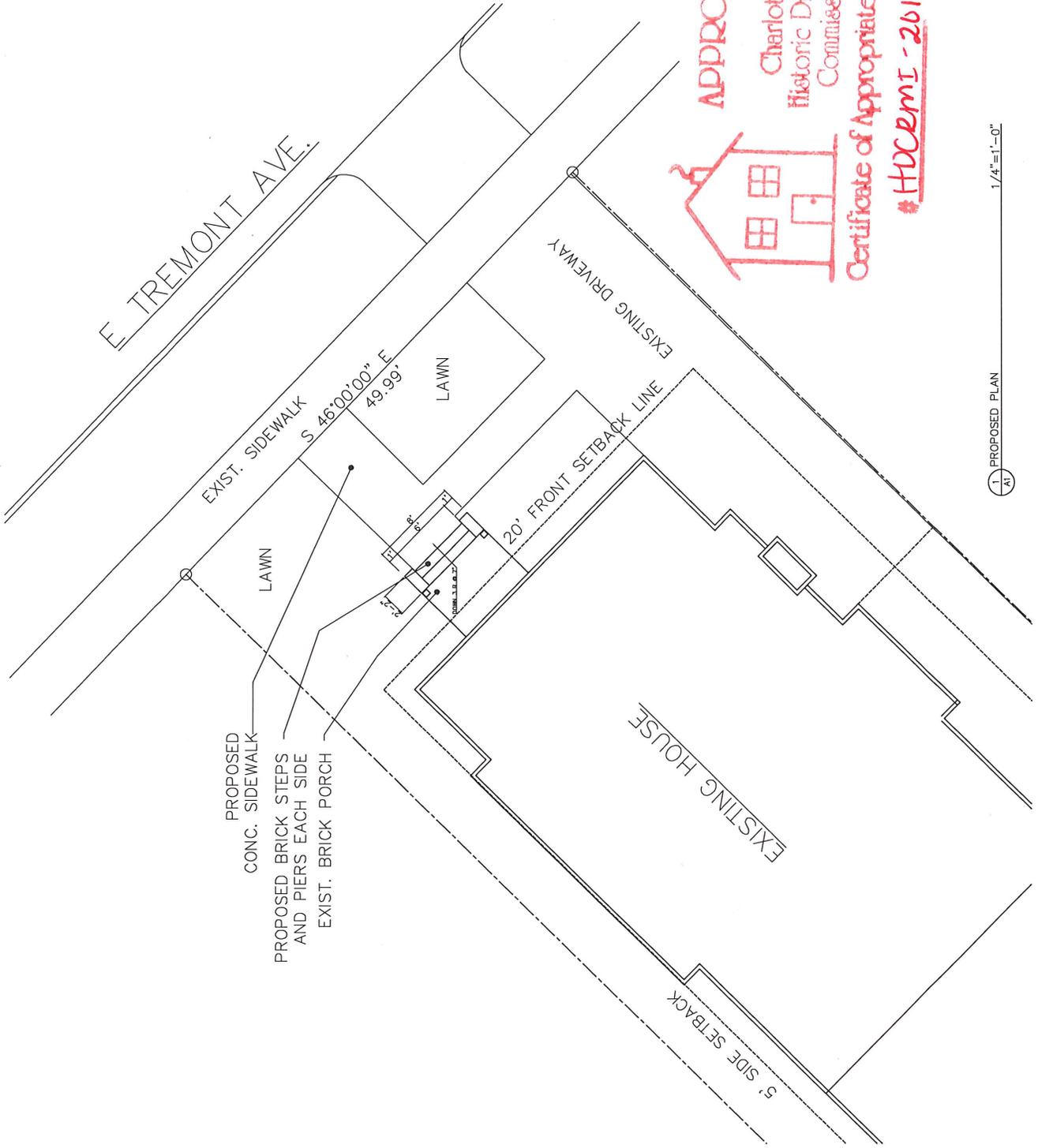
  
\_\_\_\_\_  
Staff

**KNAUFF  
 RESIDENCE  
 612 E. TREMONT**

CHARLOTTE, NC

**FRONT  
 PORCH STEPS  
 ADDITION  
 PLAN**  
 4/25/19

**A1**

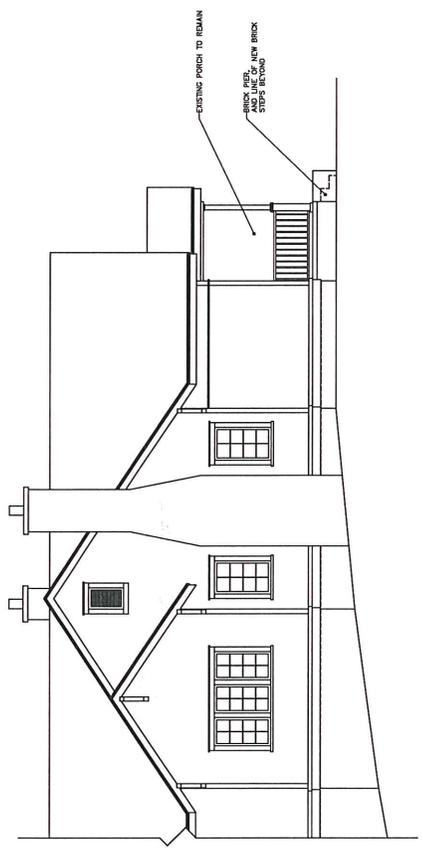


**APPROVED**  
 Charlotte  
 Historic District  
 Commission  
 Certificate of Appropriateness

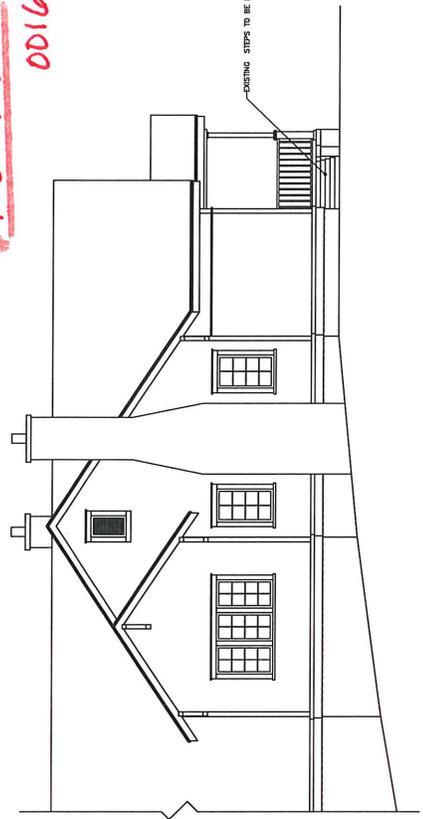
**S2A**

# **NDCKMT-2019-00161**

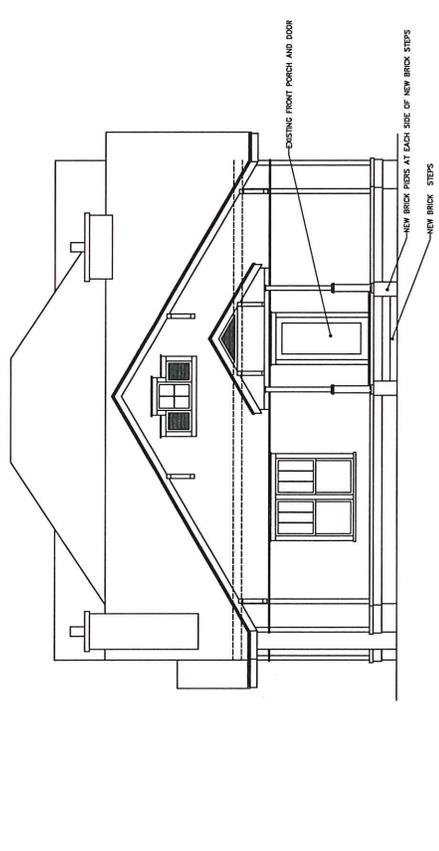
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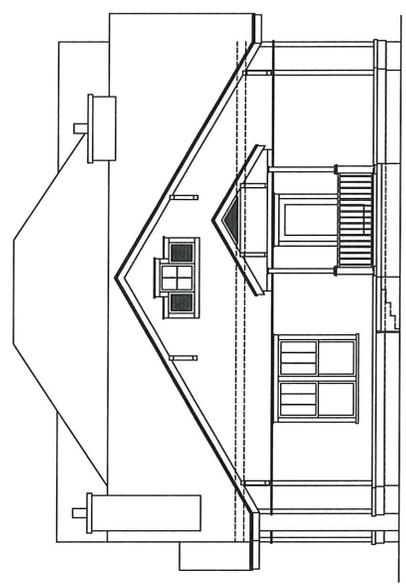
4. PROPOSED RIGHT SIDE ELEVATION  
 LEFT SIDE ELEVATION MIRROR IMAGE  
 1/4" = 1'-0"



3. EXISTING RIGHT SIDE ELEVATION  
 1/4" = 1'-0"



2. PROPOSED FRONT ELEVATION  
 1/4" = 1'-0"



1. EXISTING FRONT ELEVATION  
 1/4" = 1'-0"

KNAUFF  
 RESIDENCE  
 612 E. TREMONT

CHARLOTTE, NC

FRONT  
 PORCH STEPS  
 ADDITION  
 ELEVATIONS  
 4/25/19

A1