



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCRMI-2019-00160

DATE: 19 July 2019

ADDRESS OF PROPERTY: 708 East Tremont Avenue

TAX PARCEL NUMBER: 12109212

HISTORIC DISTRICT: Dilworth

OWNER: Nate Sittema

APPLICANT: Mike Doyne, Chris Luke

**DETAILS OF APPROVED PROJECT: Rear Addition.** The project is a rear addition that does not raise the original main ridge on the house. The addition ridge is approximately 11" taller than the main ridge and bumps out slightly on the right side. Materials include brick foundation, wood shake siding, wood trim/brackets, and wood windows with Simulated True Divided Lights (STDL) in a 1/1 pattern to match existing. Windows to be re-used, restored, and replaced are noted on the plans. The proposal also includes the reconstruction of the front left corner of the house which is failing, all new materials (siding, windows, trim, etc.) will match existing. Post-construction the rear yard will be 41% impervious. See attached plans and tree protection plans.

The project was approved by the HDC May 8, 2019.

Contact staff prior to making any changes to this approval. Any deviation from the work/materials approved in this COA may result in 1.) a Notice of Violation and Stop Work Order, and 2.) required removal or replacement to bring the work into compliance with this COA and the Charlotte Historic District Design Guidelines.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street

Charlotte, NC 28202-2853

PH: (704)-336-2205

FAX: (704)-336-5123



SITTEMA RESIDENCE ADDITION  
708 EAST TREMONT AVE., CHARLOTTE, NC 28203

**F&D | in+EGRA**  
an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
[www.kinlegra.com](http://www.kinlegra.com)

---

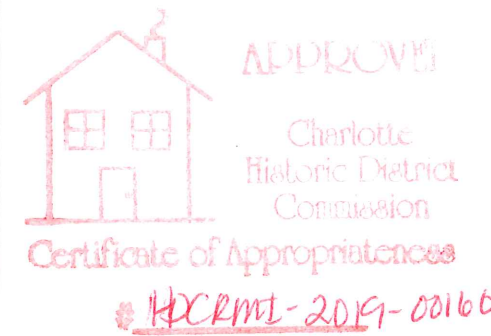
THE DRAWINGS & WRITTEN MATERIAL HEREIN  
CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, &  
AS INTELLECTUAL PROPERTY & INSTRUMENTS OF  
SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE  
MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED  
OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN  
CONSENT OF THE ARCHITECT

© F&D | in+EGRA



Seals: XXX/XXX/XXX

HDC SUBMITTAL NUMBER:  
HDCRMI-2019-00160



**BUILDING SUMMARY:**

MAIN FLOOR:	1891.78 SF	HEATED
FRONT PORCH:	130.00 SF	UNHEATED
SCREEN PORCH:	180.00 SF	UNHEATED
LOWER FLOOR:	1327.52 SF	HEATED
REAR PATIO:	121.5 SF	UNHEATED

MAIN FOOTPRINT: 2319.23 GROSS SF  
LOWER FOOTPRINT: 2189.23 GROSS SF

## 2018 ENERGY CODE SUMMARY:

**PRESCRIPTIVE:**

<b>ZONE 3A</b>	
WALL INSULATION	R-15 BATT INSULATION
CEILING INSULATION	R-38 BATT INSULATION
WINDOWS:	
DOUBLE PANELOW E.	U-0.35
SHGC (CLEAR)	0.35
DOORS:	
WOOD/NO GLAZING	U-0.35 INSULATED, NONMETAL EDGE.
MAX 45% GLAZING,	
ANY GLAZING DOUBLE PANE	U-0.35
FLOOR:	
CRAWLSPACE	R-19
CRAWLSPACE WALL:	R-13 CONTINUOUS INSULATION POLYISOCYANURATE FOR CRAWLSPACE WALLS

## TREE PROTECTION REQUIREMENTS

## WILLOW OAK 1

- IN SPRING 2019, MONITOR AND TREAT THE LOWER 6' OF MAIN STEM AND ROOT COLLAR FOR ACTIVE AMBROSIA BEETLE POPULATIONS.
- USE DESTRUCTIVE, WOOD-ROTTING FUNGI TO DECONTAMINATE TREES UNDERSTRESS, AND HAVE MULTIPLE GENERATIONS/LIFE CYCLES IN A SINGLE GROWING SEASON. PREVENTATIVE TREATMENT PROGRAMS ARE RECOMMENDED TO BEGIN IN EARLY SPRING (APRIL/FORSTHYIA BUDS OPEN) AND CONTINUED AT 90-90 DAY INTERVALS THROUGH NOVEMBER.
- IN SPRING 2019, ADMINISTER A NATURAL, LIQUID-INJECTED SOIL CONDITIONER (ARBOREXCEL) DIRECTLY TO THE ROOT ZONE TO INCREASE THE COLLAR/ROOT ZONE'S RESISTANCE TO AMBROSIA BEETLE AND WORM CASTINGS. THIS LOW-INTOXICANT MATERIAL IMPROVES THE SOIL STRUCTURE, ALLEVIATES DROUGHT STRESS, AND INCREASES PLANT VIGOR.
- IN FALL 2019, APPLY A SYSTEMIC TREE GROWTH REGULATOR ("CAMBISTAT") SOIL DRENCH TO MAXIMIZE RESOURCE EFFICIENCY. THIS MATERIAL REALLOCATES ENERGY WITHIN THE VASCULAR SYSTEM TO RELOCATE SLIGHTLY SMALLER LEAVES AND SHORTER BRANCHES TO SUPPORT GROWTH OF THE FEWER BUT LARGER LEAF PRODUCTION. THIS PROCESS DEVELOPES A STRONGER COLLAR/ROOT SYSTEM WITH LESS CANOPY SURFACE AREA TO SUPPORT (INCREASING STORAGE ENERGY WIGOR). THIS MATERIAL HAS A LOW TOXICITY RESIDUAL EFFECT AND SHOULD NOT BE REAPPLIED BEFORE SPRING 2022.
- PRIOR TO CONSTRUCTION, PRUNE LOWER CANOPY TO PROVIDE 6-8' HUEY CLEARANCE. REDUCE HORIZONTAL CANOPY (WEIGHT) TO MINIMIZE RISK OF BRANCH FAILURE. REMOVE BRANCHES WITH LARGE CUPS, REMOVE HAZARDOUS DEAD BRANCHES 2" DIAMETER AND LARGER.
- PRIOR TO CONSTRUCTION, INSTALL A HIGHLY VISIBLE BARRIER FENCE TO PROTECT THE CRITICAL ROOT ZONE FROM STRESS DURING CONSTRUCTION, DISTURBANCE/COMPACTION. THE FENCING IS RECOMMENDED TO PROTECT AS MUCH OF THE CALCULATED 11.5' RADIUS OF THE ROOT ZONE.
- PRIOR TO CONSTRUCTION, USE AN "AIR KNIFE" (COMPRESSED AIR TOOL) TO CREATE A TRENCH (12-18" DEEP) SPANNING WITHIN THE OUTERMOST PERIMETERS OF THE TREE PROTECTION FENCING (HUEY-SIDE). PRUNE ANY EXPOSED ROOTS WITHIN THE TRENCH AND COVER IMMEDIATELY WITH MULCH.
- PRIOR TO CONSTRUCTION, INSTALL A 2-4" LAYER OF WOOD CHIPS WITHIN THE TREE'S PROTECTIVE BARRIER FENCE TO BUFFER THE SOIL AND CRITICAL ROOT ZONE FROM STRESS DURING CONSTRUCTION.
- IN FALL 2019, ADMINISTER A NATURAL, LIQUID-INJECTED SOIL CONDITIONER (ARBOREXCEL) DIRECTLY TO THE ROOT ZONE TO INCREASE THE CRITICAL ROOT ZONE TO SUPPORT FEEDER ROOT PRODUCTION.

## WILLOW OAK 2

- IN SPRING 1929, MONITOR AND TREAT THE LOWER 6" OF MAIN STEM AND ROOT COLLAR FOR ACTIVE ARMORIAE BEEBLE POPULATIONS. THIS DESTRUCTIVE, WOOD-BORING PEST IS TREATED TO TREES UNDER STRESS, AND HAS MULTIPLE PREVENTATIVE TREATMENT PROGRAMS IN A SINGLE GROWING SEASON. PREVENTATIVE TREATMENT PROGRAMS ARE RECOMMENDED TO BEGIN IN EARLY-SPRING (APRIL/EARLY MARCH BLOOM), AND CONTINUED AT 60-90 DAY INTERVALS THROUGH NOVEMBER.
- IN SPRING 1929, ADMINISTER A NATURAL, LIQUID-INJECTED SOIL CONDITIONER (ARBOREXCEL) DIRECTLY TO THE ROOT ZONE TO SUPPORT BROWN EXPANSION, IMPROVED PRIMARIES, SEA KILP AND WORM CASTINGS. THIS (LOW-NITROGEN) MATERIAL IMPROVES THE SOIL STRUCTURE, ALLEVIATES DROUGHT STRESS, AND INCREASES PLANT VIGOR
- PRIOR TO CONSTRUCTION, INSTALL A HIGHLY VISIBLE BARRIER FENCE TO PROTECT THE CRITICAL ROOT ZONE FROM ROAD DISTURBANCE. ROADWAY COMPACTING, THE FENCING IS COMMANDED TO PROTECT THE CALCULATED (MINIMUM) 12" RADIUS FROM THE ROOT COLLAR
- PRIOR TO CONSTRUCTION, INSTALL A 2-4" LAYER OF WOOD CHIPS WITHIN THE TREE'S PROTECTIVE BARRIER FENCE TO BUFFER THE SOIL AND CRITICAL ROOT ZONE FROM STRESS AND SOIL COMPACTION
- IN FALL 2019, ADMINISTER A NATURAL, LIQUID-INJECTED SOIL CONDITIONER (ARBOREXCEL) DIRECTLY TO THE CALCULATED 12" CRITICAL ROOT ZONE TO SUPPORT FLOOD ROOT PRODUCTION

THE LISTED RECOMMENDATIONS ARE BASED ON THE TREE CONDITIONS AT THE TIME OF THE ASSESSMENT. IT IS ADVISED TO HAVE A QUALIFIED ARBORIST ASSESS THE TREE AND SITE CONDITIONS THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT, ANNUALLY THEREAFTER, AND AFTER ANY SIGNIFICANT WEATHER EVENTS THAT COULD AFFECT THE TREE'S HEALTH OR STRUCTURAL INTEGRITY. THE LISTED SERVICES ARE RECOMMENDED AS RISK MITIGATION AND DO NOT ENTIRELY REMOVE RISK OF TREE DECLINE, DEATH, OR FAILURE.

## GENERAL NOTES

NOTE: "CONTRACTOR REQUIREMENTS" AS USED BELOW SHALL APPLY TO SUBS AS WELL.

CODES, REGULATIONS LAWS AND OBJECTIVES:

- 1 THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND SHALL AT ALL TIMES TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE EXISTING PROPERTY, THE PERSONNEL OF THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PRECAUTIONS OF FEDERAL, STATE AND MUNICIPAL, SAFETY LAWS AND BUILDING CONSTRUCTION CODES. CONTRACTOR IS TO REPORT ALL EXISTING CONDITIONS BEFORE COMMENCING WORK. CONTRACTOR IS RESPONSIBLE TO RECTIFY ANY EXISTING CONDITIONS IF NOT ACCEPTABLE.
- 2 ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE. CONTRACTOR SHALL SUBMIT FOR AND OBTAIN THE REQUIRED BUILDING PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, DIRECTING AND WORKING WITH ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE REVIEW OF PERMITS, INSPECTIONS AND APPROVALS AS WELL AS RECEIVING THE FINAL CERTIFICATE OF OCCUPANCY AT THE COMPLETION OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY INFORMATION TO ALL AFFECTED AGENCIES AND AGENCIES INVOLVED AS WELL AS ALL PREVAILING LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS. ALL WORK IS TO BE DONE IN A PROFESSIONAL MANNER TO A HIGH LEVEL OF QUALITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS. CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN BEFORE ANY CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROVAL FOR COMPLIANCE WITH CERTIFICATE OF APPROPRIATENESS IS REQUIRED.
- 3 CONTRACTOR SHALL FOLLOW THE APPROVED HOD REQUIREMENTS AND DESIGN AND USE ONLY HOD APPROVED MATERIALS. CONTRACTOR IS REQUIRED TO MEET OR EXCEED THESE REQUIREMENTS. ANY MATERIALS OR PRODUCTS THE CONTRACTOR WISHES TO USE THAT IS NOT AN APPROVED MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO TEST HOD APPROVAL.

### SITE CONDITIONS

1. THIS PROJECT IS AN EXISTING FREESTANDING HOME WHICH IS BEING REFINISHED AND SECOND FLOOR ADDED. CONTRACTOR SHALL CONFIRM PROJECT SITE IS FREE OF ANY UNDERGROUND OR OVERHEAD UTILITIES. CONTRACTOR WILL NEED TO STAKE OUT BUILDING FOOTPRINT AND EXISTING FOUNDATION. CONTRACTOR SHALL OBTAIN ALL NECESSARY EXCISE IN SQUARE UNDER THE PROPOSED STRUCTURE. MAKE ARCHITECT AWARE SO AN APPROPRIATE DESIGN DECISION CAN BE MADE.
2. ACCURACY OF DIMENSIONS, ROOF, SLOPE, SITES OR OTHERS OBTAINED AT THE SITE ARE THE RESPONSIBILITIES OF THE CONTRACTOR. THERE WILL BE NO COMPENSATION FOR ERRORS OR OMISSIONS OF ANY KIND. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO COORDINATE THE TWO (2) ANY DISCREPANCIES AND REQUIRED MODIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO OBTAIN DRAWINGS OF THE PROPOSED PROJECT AND THE CONTRACTOR SHALL WORK TO RESOLVE ANY VARIATIONS, PERMUTATIONS OR DEVIATIONS. CORRECTNESS OF GRASSES/ELEVATION SHALL BE ASSURED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN EXCAVATION FOR FOOTINGS OR ESTABLISHING ANY FINISH FLOOR ELEVATIONS OR GRADIES.

### SCHEDULE

1. TIME IS OF THE ESSENCE AND CONTRACTOR SHALL EXECUTE WORK AS EXPEDITIOUSLY AS POSSIBLE SO AS TO MINIMIZE PROJECT DURATION AND OWNER INCONVENIENCE. SCHEDULE CHANGES MUST BE APPROVED BY THE OWNER. CONTRACTOR SHALL SUBMIT A PROPOSED DRAFT PROJECT SCHEDULE ALONG WITH THEIR PROPOSAL INDICATING THEIR PROJECTED START DATE, WEATHERED-IN DATE AND COMPLETION DATE. (RECOGNIZING THIS IS SUBJECT TO CHANGE.)

### LOGISTICS:

3. CONTRACTOR SHALL APPLY FOR, SUBMIT, AND PAY FOR THE BUILDING PERMIT
4. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS. GRASS, PAPER, PAPER PAIL, CLEANERS, THINNERS, SOLVENTS, ETC MUST NOT BE STORED INSIDE THE HOUSE OVERNIGHT OR THROUGH THE WEEKENDS. PROVE DISMISSED AS REQUIRED.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND NEWLY INSTALLED MATERIALS AND FINISHES FROM DIRT AND DAMAGE DURING THE PROJECT. ANY ITEMS DAMAGED BY THE CONTRACTOR AND ITS FORCES SHALL BE REPLACED OR REPAIRED AT THE COST TO THE OWNER.
6. THE CONTRACTOR SHALL COORDINATE WITH THE SUBS ALL SITE ACCESS, MATERIAL DELIVERY, STAGING AREA, AND TRASH COLLECTION REQUIRED BY ITS FORCES ON THE SITE THROUGHOUT THE PROJECT. THE SITE IS ON A RESIDENTIAL STREET THAT IS SUBJECT TO REGULAR TRAFFIC FLOW. DELIVERIES MUST BE STAGED TO PREVENT ANY BLOCKAGE OF TRAFFIC.
7. DELIVERY OF CONCRETE, CONTRACTOR OR SUB SHALL PLAN ON PUMPING CONCRETE FROM STREET TO SITE. CONCRETE SUPPLIER SHALL PUMP WASTE ELSEWHERE - NO FLAGE TO SITE ON THIS SITE.
















## INSURANCE

1. CONTRACTOR SHALL COORDINATE INSURANCE. CONTRACTOR SHALL BE COVERED BY A GENERAL LIABILITY INSURANCE POLICY, PROVIDE BUILDERS RISK COVERAGE FOR THE PROJECT. CONTRACTOR SHALL PROVIDE TO THE OWNER CERTIFICATES OF INSURANCE FOR ALL COVERAGES.

### SAFETY, SECURITY AND LIMITATIONS

4. THERE WILL BE NO TOBACCO (SMOKING OR OTHERWISE) PRODUCTS USED ON THIS SITE AT ANY TIME DURING THIS PROJECT. WORKERS CAUGHT SMOKING WILL BE REMOVED FROM THE PROJECT AND CONTRACTOR OR SUB CONTRACTOR WILL BE IN DANGER OF LOSING THEIR CONTRACT.
5. CONTRACTOR SHALL INSTALL SAFETY RAILS, TEMPORARY LIGHTING AND POWER ETC ALL AS REQUIRED TO CREATE A SAFE WORK ENVIRONMENT.
6. WELDING, SOLDERING USE OF VOC CONTAINING SOLVENTS, ETC SHALL ONLY BE DONE IN A WELL VENTILATED AREA. PROTECT ALL ADJACENT AREAS FROM SPARKS AND EMBERS WHEN WELDING AND GRINDING.
7. NO ALCOHOL, DRUGS WILL BE USED BY THE WORKERS WHILE ON SITE OR PRIOR TO THEIR ARRIVAL.
8. NO WEAPONS WILL BE ALLOWED ON SITE OR IN VEHICLES OF WORKERS EMPLOYED ON THIS PROJECT.
9. SECURITY OF THE SITE, MATERIALS, TOOLS ETC ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THEIR SUBS, SUPPLIERS AND VENDORS. OWNER ASSUMES NO RESPONSIBILITY FOR ACTS OF THEFT, VANDALISM OR OTHER ACTIONS DETRIMENTAL TO THE PROGRESS OF THE PROJECT.
10. OWNER HAS THE RIGHT TO ACCESS THE SITE AT ANY TIME.
11. CONTRACTOR SHALL PROTECT THE EXISTING HOUSE FROM WEATHER THROUGHOUT THE DURATION OF THE PROJECT. THE STRUCTURE SHALL BE TAILED W/HER FROM RAIN IS REMOVED UNTIL STRUCTURE IS DRYED AND THERE IS NO MORE TRAIL OF RAIN OR ANY SORT OF MOISTURE ENTERING THE EXISTING STRUCTURE.
12. TEMPORARY SHELTER IS REQUIRED ON THIS PROJECT. FADINETAGRE AND SEED SHALL ASSUME NO RESPONSIBILITY FOR THE SHORING CONSTRUCTION OR DESIGN. DESIGN SHALL BE PROVIDED BY CONTRACTOR WHO SHALL ENGAGE A LICENSED ENGINEER TO DESIGN THE SHORING SYSTEM.

### SYMBOL LEGEND

	<u>DETAIL TAG</u> DETAIL NUMBER ON SHEET SHEET NUMBER		COLUMN LINE TAG
	<u>ELEVATION TAGS</u> DETAIL NUMBER ON SHEET SHEET NUMBER		DOOR TAG
	<u>ELEVATION TAG</u> DETAIL NUMBER ON SHEET SHEET NUMBER		WINDOW SYMBOL TAG
	<u>ELEVATION TAG</u> DETAIL NUMBER ON SHEET SHEET NUMBER		REVISION TRIANGLE
	<u>ELEVATION TAG</u> DETAIL NUMBER ON SHEET SHEET NUMBER		CENTERLINE
	SIM. ← INDICATES SECTION IS SIMILAR		KEYED CONSTRUCTION NOTE
	OPP. ← INDICATES SECTION IS MIRRORED		KEYED DEMOLITION NOTE
	TYP. ← INDICATES SECTION IS TYPICAL		

## Revisions:

Number	Date	Description
--------	------	-------------

Project Title:

**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

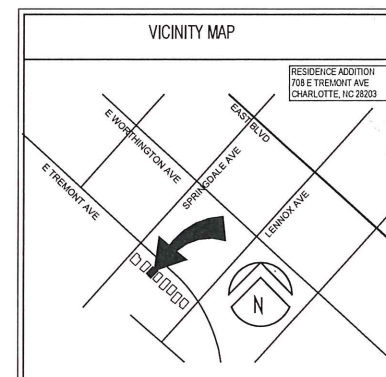
Project No.:

Drawing Title:  
**COVERSHEET, SITE  
PLAN, SHEET INDEX**

SET ISSUE DATE  
▶ JUNE 9, 2019 ◀

Sheet:

# CS1.0



## DRAWING INDEX

<b>ARCHITECTURAL</b>	
CS.1	COVER SHEET, SITE PLAN AND SHEET INDEX
A10.0	FIRST FLOOR DEMOLITION PLAN
A20.0	DEMOLITION ELEVATIONS
A1.0	MAIN FLOOR PLAN
A2.0	LOWER FLOOR PLAN
A3.0	ROOF PLAN
A4.0	NEW ELEVATIONS
A4.1	NEW ELEVATIONS
A4.2	WINDOWS & DOORS
A4.3	SECTIONS & DETAILS
A4.4	SECTIONS & DETAILS
<b>STRUCTURAL</b>	
S01	GENERAL NOTES
S01	STANDARD DETAILS
S1.0	FOUNDATION PLANS
S2.0	FIRST FLOOR FRAMING PLANS
S3.0	SECOND FLOOR FRAMING PLANS
S4.0	ROOF FRAMING PLAN



SITE

1. ANY EXISTING LANDSCAPING, PAVEMENT AND PLANTINGS THAT MAY NEED TO BE REMOVED NEEDS TO BE COORDINATED WITH THE OWNER. PROTECT TREES (AND SHRUBS IF POSSIBLE) AS DESCRIBED ON THE TREE PROTECTION PLAN APPROVED BY HDC.
2. THE AREA OF THE SITE THAT IS DAMAGED BY CONSTRUCTION MUST BE REBUILT AND REPLANTED. WHERE SOIL IS DAMAGED BY CONSTRUCTION VEHICLES, REMOVE CLAY AND UNACCEPTABLE SOILS AND IMPORT 8 INCHES OF TOPSOIL AND PLACE. COMPACT SOILS TO AN APPROPRIATE DEGREE AND RESOD THE FRONT LAWN AREA WITH FESCUE. MULCH PLANT BEDS.

3. CONFIRM 2,000 LB SOIL BEARING CAPACITY, OR AS REQUIRED BY STRUCTURAL DWGS.

CONCRETE

1. ALL CONCRETE SHALL BE MINIMUM 3000 PSI NORMAL WEIGHT CONCRETE. ALL EXTERIOR FLAT CONCRETE WORK SHALL BE AIR ENTRAINED.

MASONRY VENEER

1. THE EXTERIOR MASONRY WILL BE RUNNING BOND MASONRY APPEARANCE AND BOND TO MATCH EXISTING AS CLOSELY AS POSSIBLE. BRICK SHALL COMPLY WITH ASTM C216.

2. ALL MASONRY SHALL REST IN A FULL MORTAR BED. ALL HEAD JOINTS SHALL BE FULLY BUTTERED. REINFORCE MASONRY AS REQUIRED NORTH CAROLINA CODE.

3. CLEAN ALL MASONRY WITH BRICK MANUFACTURER RECOMMENDED CLEANING AGENT. DO NOT PRESSURE WASH THE EXPOSED MASONRY UNLESS THE PSI IS LOW ENOUGH TO NOT DAMAGE OR REMOVE THE FINISH. OUTER LAYER OF THE BRICK'S BODY CLEANING SHALL BE DONE ONLY BY TRAINED AND QUALIFIED INDIVIDUALS WITH APPROPRIATE CHEMICALS.

4. COMPLETELY PROTECT (WITH PLASTIC SHEATHING) THE SURROUNDING WINDOWS, SIDING, GUTTERS, AND FLASHING AND DOWNSPOUTS PRIOR TO CLEANING PROCESS. WASH OFF ANY OVERSPRAY IMMEDIATELY.

METALS

1. STRUCTURAL STEEL MAY BE AS REQUIRED TO ACCOMMODATE SOME SPANS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS FOR POTENTIAL STRUCTURAL STEEL OR MISCELLANEOUS STEEL DETAILS.

WOOD PRODUCTS

1. PROVIDE WOOD STUDS OF GRADE AND AT FREQUENCY REQUIRED ON THE STRUCTURAL DRAWINGS. ASSUME 16 INCHES ON CENTER THROUGHOUT THE PROJECT. AS WALL STUDS ARE INSTALLED, THEY WILL BE REVIEWED FOR TRUENESS, ALIGNMENT WITH ADJACENT STUDS, ETC.

2. EXTERIOR TRIM AND SIDING SHALL BE WOOD.

3. ALL LUMBER IN CONTACT WITH MASONRY OR POURED IN PLACE CONCRETE SHALL BE PRESSURE-TREATED.

DOORS AND HARDWARE

CONTRACTOR SHALL FURNISH AND INSTALL DOOR HARDWARE COMPONENTS IN QUANTITY, QUALITY AND FINISH CONSISTENT WITH HOUSES IN DILWORTH.

- PROVIDE WALLBASE MOUNTED DOOR STOP/BUMPERS.
- SEE HARDWARE NOTES FOR MORE INFORMATION.
- SEE DRAWINGS FOR DOOR ELEVATIONS AND DESCRIPTION.

MOISTURE PROTECTION

1. ROOF SHINGLES SHALL BE ARCHITECTURAL ASPHALT SHINGLES. THEY SHALL BE INSTALLED IN AN APPROPRIATE AND WORKMANLIKE MANNER WHICH WILL BE WARRANTED (20 YEAR PRO-RATED WARRANTY) BY THE MANUFACTURER. (NO ROOF MATERIALS MAY BE STAPLED.) PROPOSED MATERIAL, COLOR SHALL BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE OWNER AND THE ARCHITECT. APPLY OVER 30 LB ASPHALT ROLL GOODS.

2. LOWER, PERIMETER EDGE OF ENTIRE ROOF SHALL CONSIST OF A STARTER COURSE OF SHINGLES OVERLAIN WITH THE FINAL SHINGLES. ALL MATERIALS SHALL BE ATTACHED WITH HOT DIPPED GALVANIZED ROOFING NAILS AS REQUIRED BY CODE AND/OR SHINGLE MANUFACTURER, WHICHEVER IS MORE STRINGENT.

3. PROVIDE A DRIP EDGE ALONG ANY GABLES OR EDGES WHERE THERE IS NO GUTTER. PROVIDE A SELF-SEALING SNOW AND ICE BARRIER WITH A SELF-ADHERING BACKING WHERE INDICATED ON THE ROOF PLAN. ROOFING FELT SHALL BE TWO LAYERS OF 15 LB FELT OR ONE LAYER OF 30 LB FELT LAPPED A MINIMUM OF 16-18 INCHES AND APPLIED UNDER THE DRIP-EDGE WHERE THE RAKE IS EXPOSED ALONG THE GABLE EDGES OF THE HOUSE.

4. SEALANTS: PROVIDE AND INSTALL AN EXTERIOR GRADE PAINTABLE URETHANE SEALANT AT THE JUNCTURE OF VERTICAL WOOD TRIM AND HORIZONTAL SIDING AND TRIM. PROVIDE AND INSTALL PAINTABLE SILICONE SEALANT AT THE JUNCTURE OF MASONRY AND WOOD TRIM. PROVIDE CLOSED CELL BACKER RODS WHERE CONDITIONS WOULD MERIT. TOOL JOINTS TO A CONCAVE FINISH. REMOVE ANY OVERAGE ON ADJACENT SURFACES.

5. PROVIDE SHINGLE ROOF ON LOW SLOPE ROOFS. COVER ENTIRE LOW SLOPE ROOF SHEATHING AND VALLEYS WITH SELF-ADHESIVE SNOW AND ICE SHIELD. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

SPECIFICATIONS

WEATHER/AIR BARRIER

1. TYVEK AIR BARRIER "HOME WRAP" ROLL MATERIAL IS ACCEPTABLE. (CONTRACTOR MAY USE TYVEK FLUID APPLIED AIR BARRIER AT THEIR OPTION.) WHICHEVER PRODUCT IS APPLIED IT MUST:

- a. BE INSTALLED IN FULL COMPLIANCE WITH THE MANUFACTURERS INSTALLATION DETAILS AND INSTRUCTIONS.
- b. PROVIDE A CONTINUOUS, UNINTERRUPTED AIR BARRIER.
- c. NOT HAVE CUTS, TEARS OR VERTICAL JOINTS THAT HAVE NOT BEEN FULLY TAPED AND SEALED.
- d. OVERLAP ADJACENT TYVEK, WINDOW FRAMES, FLASHING ETC AND IT SHALL BE CONSTRUCTED SO AS TO POSITIVELY SHED WATER. EACH BAND OF TYVEK SHALL OVERLAY THE LOWER BAND.
- e. UTILIZE THE MANUFACTURER (DUPOIN) APPROVED FULLY ADHERED FLEXWRAP AND STRAIGHTFLASH TO PROPERLY AND TIGHTLY SEAL THE AIR BARRIER AROUND EACH WALL, OPENING ETC. INSTALL PER MANUFACTURERS REQUIREMENTS.

2. THE OVERLAPPING RELATIONSHIP OF THE AIR BARRIER TO FLASHING ETC MUST BE SUCH THAT IT FORCES WATER TO THE OUTSIDE OF THE BUILDING ENVELOPE AT ALL TERMINATION POINTS OR EDGES. (SHINGLE THE APPLICATION.)

FLASHING

1. PAINTED FLASHING WILL BE REQUIRED AT ALL WINDOW, DOOR AND OTHER OPENING HEADS AND SILLS.
  - a. PRODUCT SHALL BE 22 GA PREFINISHED ALUMINUM U.N.O.
  - b. FLASHING SHALL BE FABRICATED SO THAT THE EXPOSED EDGE IS HEMMED AND PROJECTS 3/8" BEYOND THE SURROUNDING FACE OF MATERIALS AND IN THE CASE OF TRIM OVER THE TOP OF THE EXPOSED WOOD WITH A HEMMED EDGE.
  - c. FLASHING SHALL BE ANCHORED WITH COMPATIBLE FASTENERS.

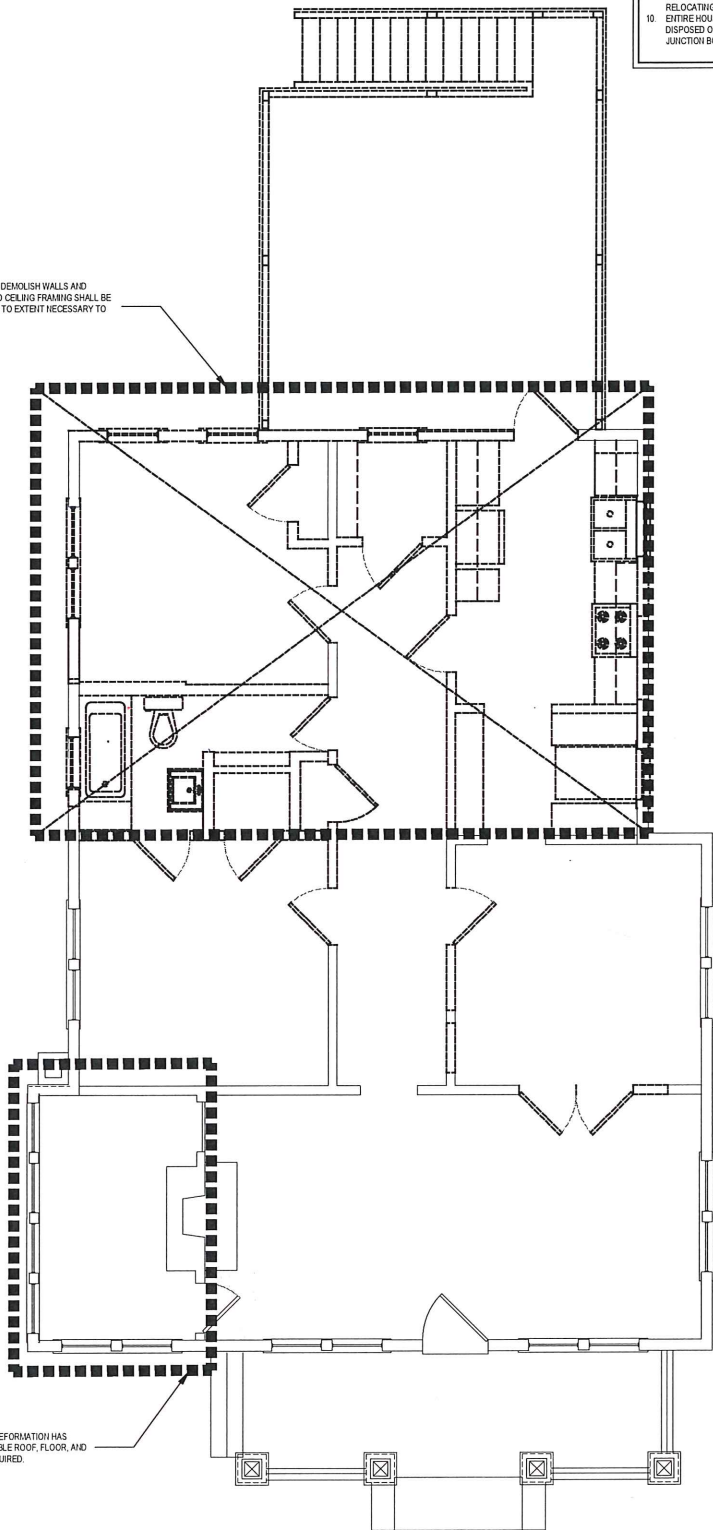
WINDOWS

1. NEW DOUBLE HUNG WINDOWS SHALL BE SIERRA PACIFIC CUSTOM PAINT WOOD DOUBLE HUNG WINDOWS TO MATCH THE EXISTING IN PROFILE, TRIM, GLAZED OPENING SIZE, AND WINDOW STOP. LOW E WINDOWS AND CASEMENT WHERE INDICATED. GLASS LITES IN THE NEW WINDOWS AND DOORS SHALL BE INSULATING DOUBLE GLAZED WITH LOW E COATING. WINDOW SCHEDULE SHOWS ELEVATION AND WINDOW RAISER. PROVIDE WINDOWS WITH REQUIRED SAFETY FEATURES TO COMPLY WITH THE 2018 NC RESIDENTIAL BUILDING CODE. PROVIDE TEMPERED GLAZING WHERE REQUIRED. FIELD MEASURE EXISTING WINDOWS TO ACHIEVE A MATCH.
2. INTERIOR OF THE WINDOW ASSEMBLY SHALL BE PRIMED WOOD.
3. PROVIDE AND INSTALL WINDOW TRIM TO MATCH EXISTING.
4. WINDOW SHALL BE FULLY OPERABLE.
5. "HAILING FLANGE" WINDOWS ARE NOT ALLOWED.

GENERAL FRAMING

1. REFER TO FRAMING NOTES ELSEWHERE IN THESE DOCUMENTS. THE FRAMING DESIGN NOTES ARE THE MINIMUMS. ACTUAL DESIGN OF THE FRAMED STRUCTURE IS TO BE PROVIDED BY THE CONTRACTOR AND THE DESIGN SHALL COMPLY WITH THE 2018 NC RESIDENTIAL BUILDING CODE. CONTRACTOR SHALL PROVIDE STRUCTURAL ENGINEERING IF REQUIRED BY CHARLOTTE MECKLENBURG BUILDING STANDARDS.
2. THE EXTERIOR WALL STUDS SHALL BE 2 X 4 MINIMUM DIMENSIONS AT NOT MORE THAN 16 INCHES ON CENTER UNLESS NOTED OTHERWISE.
3. AT THE LARGE, MULTIPLE WINDOW ASSEMBLIES PROVIDE TRIPLE STUDS ON EITHER SIDE OF THE OPENING WITH SINGLE JACK STUDS. (SEE STRUCTURAL.)
4. ALL SILL PLATES (ANYTHING IN CONTACT WITH MASONRY OR CONCRETE) SHALL BE PRESSURE TREATED.
  - a. ANCHORS FOR THE WOOD SILL PLATE TO EITHER THE MASONRY OR CONCRETE FOUNDATION WALL SHALL CONSIST OF 1/2" DIAMETER STAINLESS STEEL ANCHOR BOLTS, WASHERS AND NUTS. THEY SHALL BE INSTALLED PER CODE. HOT DIPPED GALVANIZED WILL BE ACCEPTED IF THE GALVANIZATION IS DOCUMENTED AS COMPLYING WITH DEFINITION OF HEAVY DUTY SO AS TO RESIST THE CORROSIVE QUALITY OF THE PRESSURE TREATED LUMBER.
5. PROVIDE HURRICANE STRAPPING AT ROOF JOISTS AND AT FLOOR FRAMING PER CODE.

IN THIS AREA, CONTRACTOR SHALL DEMOLISH WALLS AND FRAMING AS INDICATED. ROOF AND CEILING FRAMING SHALL BE DEMOLISHED AND REPLACED ONLY TO EXTENT NECESSARY TO ACHIEVE FINAL DESIGN.



SEVERE SETTLING AND STRUCTURAL DEFORMATION HAS OCCURED AT THIS CORNER. DISASSEMBLE ROOF, FLOOR, AND WALL FRAMING. SHORE HOUSE AS REQUIRED.

SCALE: 1/4" = 1'-0"

GENERAL DEMO NOTES

1. THE HOUSE WILL NOT BE OCCUPIED DURING RENOVATIONS, HOWEVER, THE OWNER RESERVES THE RIGHT TO VISIT THE SITE AT ANY TIME.
2. PENDANTS, AND ALL OTHER DECORATIVE LIGHT FIXTURES, THAT ARE LOCATED IN THE DEMO AREAS, ARE TO BE REMOVED. OWNER HAS THE OPTION TO KEEP THESE FIXTURES. COORDINATE WITH THE OWNER.
3. PROTECT ALL EXISTING MATERIALS AND FINISHES TO REMAIN DURING THE DURATION OF THE PROJECT. ALL EXISTING HARDWOOD FLOORS, THAT ARE TO REMAIN, SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION.
4. PROTECT ALL INTERIORS FROM OUTSIDE WEATHER AND CONDITIONS WHEN OPENING UP EXTERIOR BARRIERS OF THE HOUSE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY SHORING TO SUPPORT THE EXISTING STRUCTURE DURING THE ENTIRE PROJECT.
6. COORDINATE ALL DEMOLITION WORK WITH NEW WORK INDICATED AND WITH STRUCTURAL DRAWINGS.
7. CONTRACTOR SHALL REMOVE AND RESTORE EXISTING CEILINGS AS NECESSARY TO ACHIEVE A HIGH QUALITY FINAL CEILING APPEARANCE. CONTRACTOR SHALL DESIGN, PROVIDE AND INSTALL ANY STRUCTURAL SHORING AND BRACING AS NECESSARY TO PROTECT AND MAINTAIN THE INTEGRITY OF THE STRUCTURE WHILE THE ROOF AND FRAMING ARE REMOVED AND REFRAMED AS WELL AS DURING ANY OTHER STRUCTURAL WORK.
8. CONTRACTOR SHALL REMOVE AND RESTORE EXISTING CEILINGS AS NECESSARY TO ACHIEVE A HIGH QUALITY FINAL CEILING APPEARANCE. CONTRACTOR SHALL DESIGN, PROVIDE AND INSTALL ANY STRUCTURAL SHORING AND BRACING AS NECESSARY TO PROTECT AND MAINTAIN THE INTEGRITY OF THE STRUCTURE WHILE THE ROOF AND FRAMING ARE REMOVED AND REFRAMED AS WELL AS DURING ANY OTHER STRUCTURAL WORK.
9. ENTIRE HOUSE FLASHING AND WASTE SYSTEMS SHALL BE REMOVED AND REPLACED WITH NEW. REPLACE EXISTING MAIN SHUTOFF VALVE, RELOCATING IT TO WHERE IT IS READILY ACCESSIBLE.
10. ENTIRE HOUSE ELECTRICAL SYSTEM SHALL BE REMOVED AND DISPOSED OF. REMOVE ALL ELECTRICAL DEVICES, CONDUCTORS AND JUNCTION BOXES.
11. ALL MATERIALS BEING DEMOLISHED SHALL BE DISPOSED OF PER LOCAL AND STATE LAWS PERTAINING TO THESE MATERIALS. RECYCLE MATERIALS TO THE GREATEST EXTENT POSSIBLE.
12. CONTRACTOR IS RESPONSIBLE FOR SECURING THE HOUSE AND SITE DURING THE PROJECT DEMOLITION AND CONSTRUCTION.
13. ANY MATERIAL REMOVED WHICH CAN BE SALVAGE AND REUSED TO MATCH EXISTING FINISHES SHALL BE STORED OUT OF THE WEATHER AND KEPT DRY.

LEGEND

- EXISTING ELEMENT TO REMAIN
- EXISTING ELEMENT TO REMOVE
- NEW ELEMENT TO CONSTRUCT/INSTALL
- NEW FOUNDATION/BASEMENT WALL

NOTE TO CONTRACTOR:  
MATERIALS, ELEMENTS, COMPONENTS AND EQUIPMENT SHOWN IN A DASHED LINE ACCORDING TO THE LEGEND ABOVE ARE TO BE DEMOLISHED AND REMOVED. COORDINATE WITH THE NEW FLOOR PLANS FOR MORE DETAIL. TO DETERMINE THE EXTENT TO BE REMOVED AND TO DETERMINE IF SHORING IS REQUIRED TO COMPLETE THE DEMOLITION AND THE NEW WORK.



THE DRAWINGS & WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, & AS INTELLECTUAL PROPERTY & INSTRUMENTS OF SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT OF THE ARCHITECT  
© FDI+INTEGRA



Seals: XXXXXX

Revisions:		
Number	Date	Description

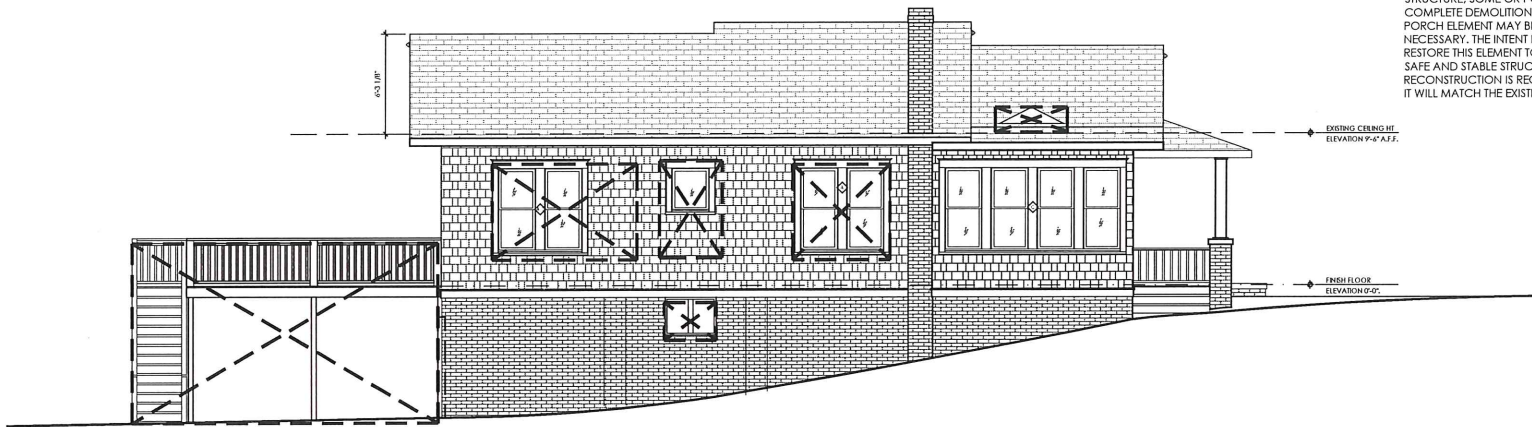
Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**MAIN FLOOR  
DEMOLITION PLAN**

SET ISSUE DATE  
JUNE 9, 2019

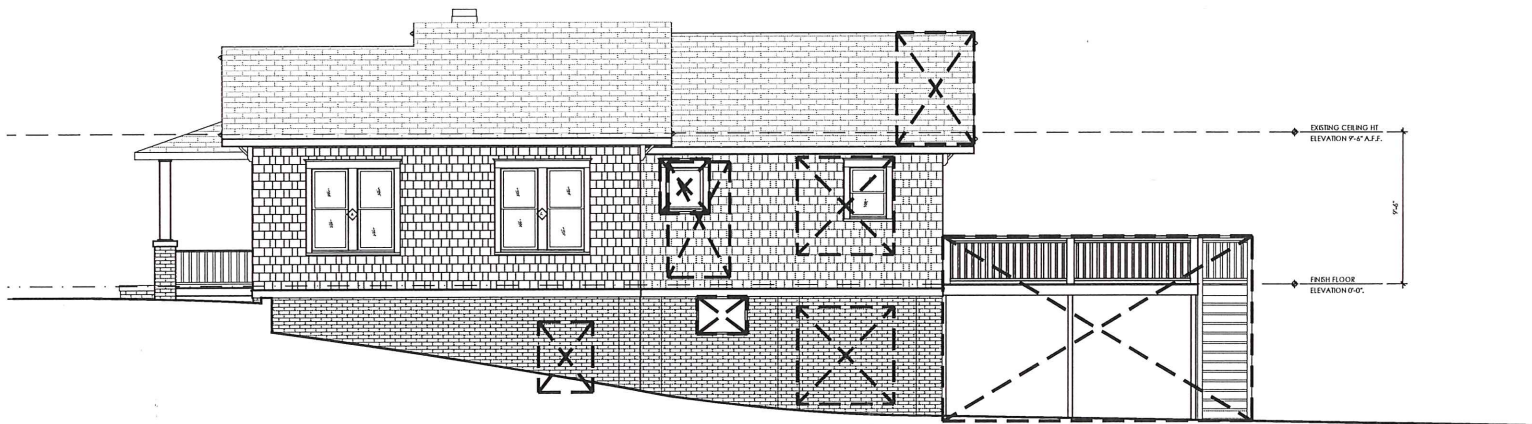
Sheet:  
**AD1.0**





SCALE: 3/16" = 1'-0"

ELEVATION 04



SCALE: 3/16" = 1'-0"

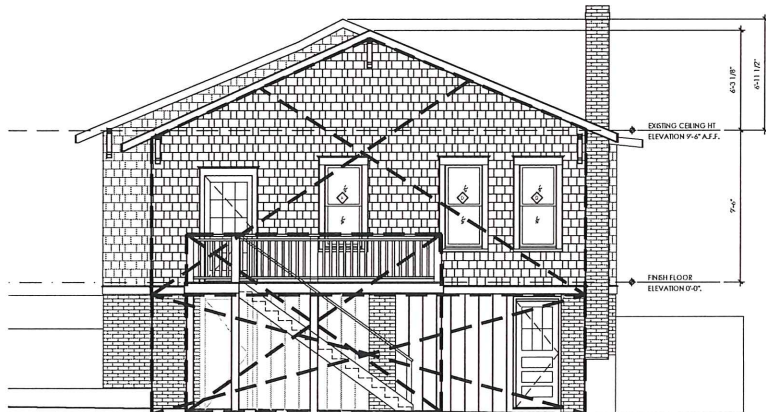
ELEVATION 02

WHAT WOULD APPEAR TO BE A PORCH THAT WAS ENCLOSED AT SOME POINT HAS DROPPED APPROX. 5" BELOW FINISHED FLOOR. NOT KNOWING THE EXTENT OF THE REQUIRED REPAIR TO LEVEL THE EXISTING STRUCTURE, SOME OR POSSIBLY COMPLETE DEMOLITION OF THIS PORCH ELEMENT MAY BE NECESSARY. THE INTENT IS TO RESTORE THIS ELEMENT TO A SAFE AND STABLE STRUCTURE. IF RECONSTRUCTION IS REQUIRED, IT WILL MATCH THE EXISTING.



SCALE: 3/16" = 1'-0"

ELEVATION 03



SCALE: 3/16" = 1'-0"

ELEVATION 01

APPROVED  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
# HDCRME-2019-02160

F&D|in+EGRO

an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
www.fandinegra.com

THE DRAWINGS & WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, & AS INTELLECTUAL PROPERTY & INSTRUMENTS OF SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT OF THE ARCHITECT  
©F&D|INTEGRA



Seals: XXXXXXXX

Revisions:		
Number	Date	Description

Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**DEMOLITION  
ELEVATIONS**

SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**AD2.0**



DOOR SCHEDULE							
NO	ROOM	DOOR SIZE	TYPE	MATERIAL	FINISH	FRAME MATERIAL	FINISH
100	SITTING	3'-0 3/4" X EXISTING	A	WOOD		WOOD	
101	OFFICE 2	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
102	OFFICE 1	(2) 2'-6" X EXISTING	M	GLASS		WOOD	PAINT
103	COAT	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
104	POWDER	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
105	MASTER BEDROOM	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
106	MASTER BATH	2'-8" X EXISTING POCKET	G	WOOD	PAINT	WOOD	PAINT
107	MASTER TOILET	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
108	MASTER CLOSET	2'-8" X EXISTING POCKET	G	WOOD	PAINT	WOOD	PAINT
109	PANTRY	2'-0" X EXISTING POCKET	J	WOOD	PAINT	WOOD	PAINT
110	SUNROOM	(2) 3'-0" X EXISTING	K	GLASS		WOOD	PAINT
111	OUTSIDE STAIR	2'-8" X EXISTING	C.1	WOOD	PAINT	WOOD	PAINT
200	CRAWLSPACE	3'-0" X EXISTING	B	WOOD	PAINT	WOOD	PAINT
201	STORAGE	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
202	STORAGE	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
203	CLOSET	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
204	CLOSET	(2) 2'-0" X EXISTING	N	WOOD	PAINT	WOOD	PAINT
205	BEDROOM #3	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
206	BDRM #3 TO BATH #3	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
207	CLOSET	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
208	BEDROOM #2	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
209	CLOSET	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
210	BDRM #2 TO BATH #2	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
211	BATH #2	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
212	STORAGE	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
213	STORAGE	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
214	MUDROOM	(2) 2'-8" X EXISTING	L	GLASS		WOOD	PAINT
215	BEDROOM #1	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
216	CLOSET	(2) 2'-0" X EXISTING	N	WOOD	PAINT	WOOD	PAINT

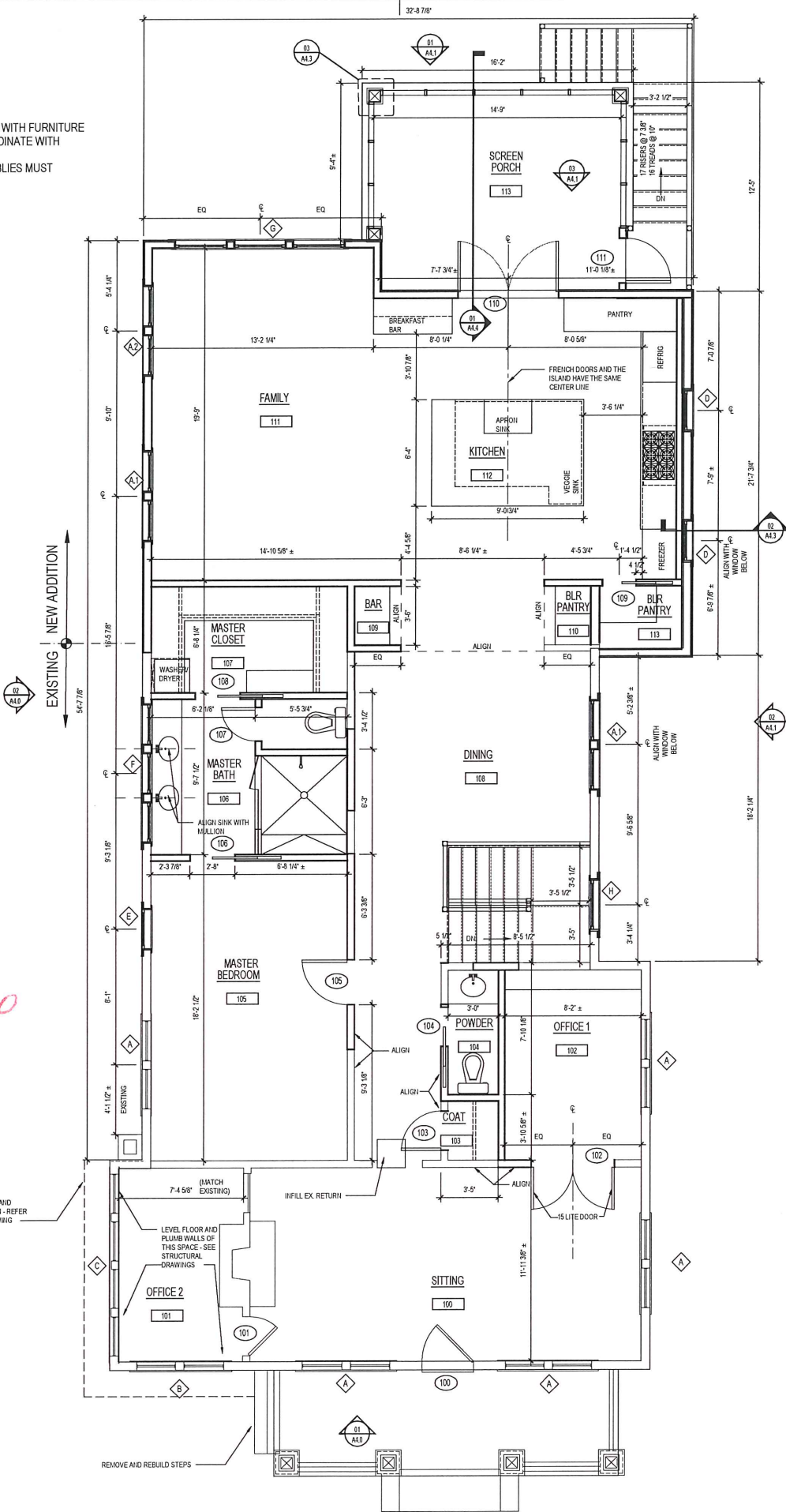


NOTES:

1. OUTLETS TO BE COORDINATED WITH FURNITURE LAYOUT AND PER CODE. COORDINATE WITH OWNER AT TIME OF ROUGH-IN.
2. PER HDC, ALL WINDOW ASSEMBLIES MUST MATCH EXISTING.

NEWLY FRAMED WALL AND MODIFIED FOUNDATION - REFER TO STRUCTURAL DRAWING

REMOVE AND REBUILD STEPS

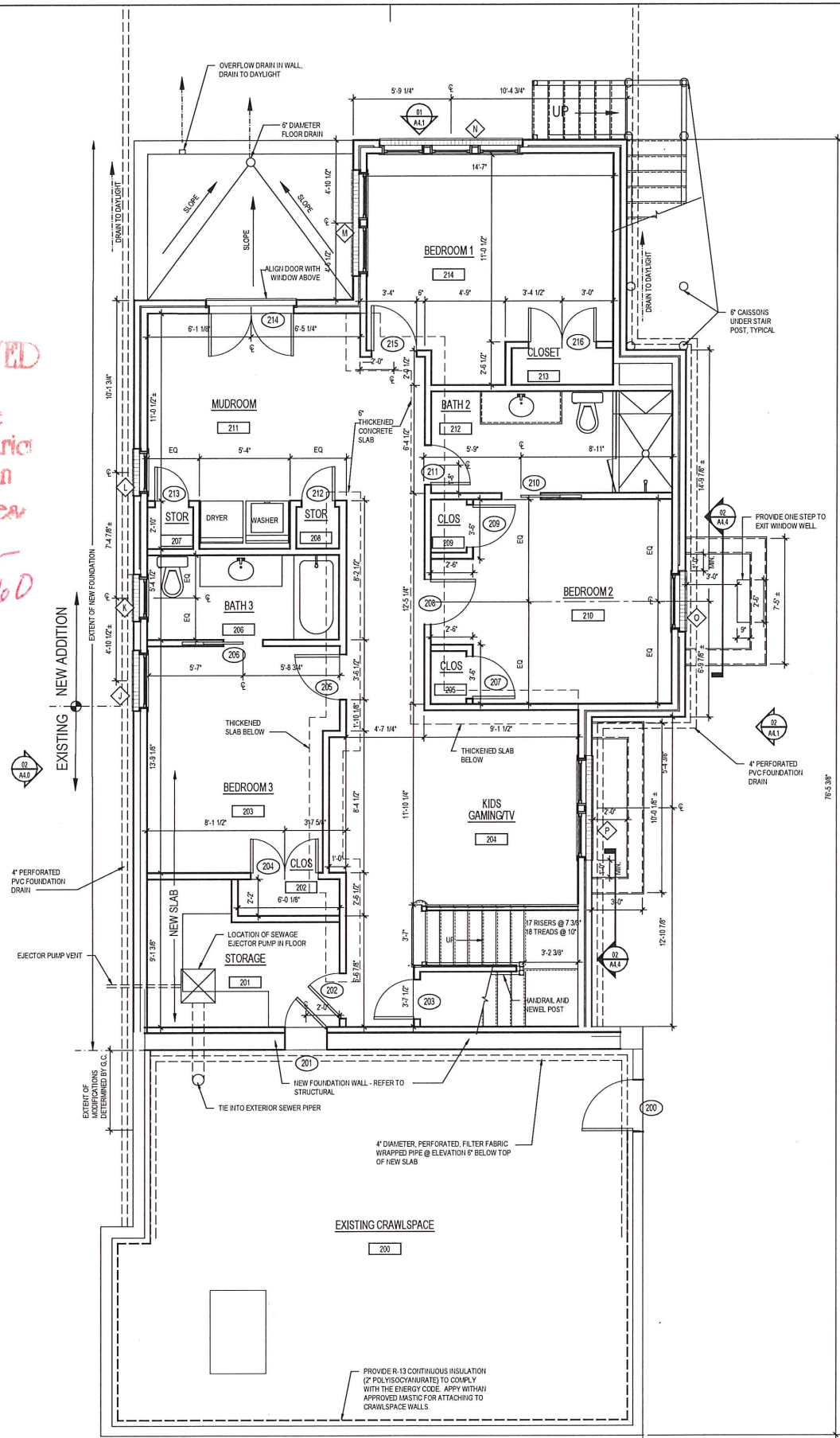
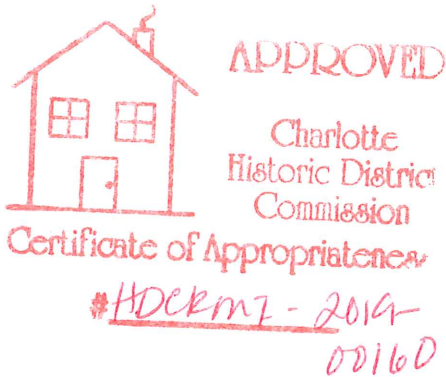




DOOR SCHEDULE							
NO	ROOM	DOOR SIZE	TYPE	MATERIAL	FINISH	FRAME MATERIAL	FINISH
100	SITTING	3'-0 3/4" X EXISTING	A	WOOD			
101	OFFICE 2	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
102	OFFICE 1	(2) 2'-5" X EXISTING	M	GLASS		WOOD	PAINT
103	COAT	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
104	POWDER	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
105	MASTER BEDROOM	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
106	MASTER BATH	2'-8" X EXISTING POCKET	G	WOOD	PAINT	WOOD	PAINT
107	MASTER TOILET	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
108	MASTER CLOSET	2'-8" X EXISTING POCKET	G	WOOD	PAINT	WOOD	PAINT
109	PANTRY	2'-0" X EXISTING POCKET	J	WOOD	PAINT	WOOD	PAINT
110	SUNROOM	(2) 3'-0" X EXISTING	K	GLASS		WOOD	PAINT
111	OUTSIDE STAIR	2'-8" X EXISTING	C.1	WOOD	PAINT	WOOD	PAINT
200	CRAWLSPACE	3'-0" X EXISTING	B	WOOD	PAINT	WOOD	PAINT
201	STORAGE	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
202	STORAGE	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
203	CLOSET	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
204	CLOSET	(2) 2'-0" X EXISTING	N	WOOD	PAINT	WOOD	PAINT
205	BEDROOM #3	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
206	BDRM #3 TO BATH #3	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
207	CLOSET	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
208	BEDROOM #2	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
209	CLOSET	2'-6" X EXISTING	D	WOOD	PAINT	WOOD	PAINT
210	BDRM #2 TO BATH #2	2'-4" X EXISTING POCKET	H	WOOD	PAINT	WOOD	PAINT
211	BATH #2	2'-4" X EXISTING	E	WOOD	PAINT	WOOD	PAINT
212	STORAGE	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
213	STORAGE	2'-0" X EXISTING	F	WOOD	PAINT	WOOD	PAINT
214	MUDROOM	(2) 2'-8" X EXISTING	L	GLASS		WOOD	PAINT
215	BEDROOM #1	2'-8" X EXISTING	C	WOOD	PAINT	WOOD	PAINT
216	CLOSET	(2) 2'-0" X EXISTING	N	WOOD	PAINT	WOOD	PAINT

NOTES:

1. OUTLETS TO BE COORDINATED WITH FURNITURE LAYOUT AND PER CODE. COORDINATE WITH OWNER AT TIME OF ROUGH-IN.
2. PER HDC, ALL WINDOW ASSEMBLIES MUST MATCH EXISTING.



Revisions:		
Number	Date	Description

Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**LOWER FLOOR PLAN**


SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A2.0**



File: F:\VD-Projects\Sittema Residence\DWGS\CD\A3.0; Plotted: 7/9/2019 9:41 AM by CHRIS; Saved: 7/9/2019 9:37 AM by CHRIS

Sheet Template ID: OPEF-07-B

 **APPROVED**  
Charlotte  
Historic District  
Commission  
Certificate of Appropriateness  
# HDCRMI-2019-00160

- GENERAL ROOF NOTES:  
1. PROVIDE SPRAY INSULATION IN SEALED ATTIC DUE TO LACK OF VENTILATION. SPRAY INSULATION SHALL MEET MIN. R-30 (U-0.035).  
2. PROVIDE SELF ADHESIVE SNOW AND ICE SHIELD ON ALL LOW SLOPE ROOFS TO COMPLETELY COVER ROOF SHEATHING.  
3. PROVIDE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES. SHINGLES SHALL HAVE ALGAE RESISTANT WARRANTY.  
4. PROVIDE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES WITH 30LB FELT PAPER ON OTHER ROOF SLOPES NOT CONSIDERED AS LOW SLOPE. SHINGLES SHALL HAVE ALGAE RESISTANT WARRANTY.  
5. PROVIDE SELF ADHESIVE SNOW AND ICE SHIELD AT THE BOTTOM 36" OF ROOF AND AT ALL VALLEYS AND CRICKETS. TURN SNOW AND ICE SHIELD UP SIDE OF DORMERS MIN. 18"  
6. PROVIDE PRE-FINISHED ALUM. STEP FLASHING AT DORMERS AND AT CHIMNEY.  
7. GABLE VENTS ARE NON-VENTING VENTS.

1/2" X 4" T&G V-GROOVE BOARD  
SHEATH TYP.

1/4" T&G OSB ROOF SHEATHING, TYP.

CONTINUOUS SNOW & ICE SHIELD TO  
WALL, TURN UP MIN. 18"

36" SNOW & ICE SHIELD, FULLY  
ADHERED, TYP.

1/2" OSB ROOF SHEATHING, TYP.

CONTINUOUS  
SNOW & ICE SHIELD  
TO WALL, TURN UP  
MIN. 18"

SCALE: 1/4" = 1'-0"

ROOF PLAN 01

**F&D in+EGRA**  
an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
www.fdin+egra.com

THE DRAWINGS & WRITTEN MATERIAL HEREIN  
CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, &  
AS INTELLECTUAL PROPERTY & INSTRUMENTS OF  
SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE  
MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED  
OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN  
CONSENT OF THE ARCHITECT  
© F&D/INTEGRA



Seals: XXXXXXXX

Revisions:		
Number	Date	Description

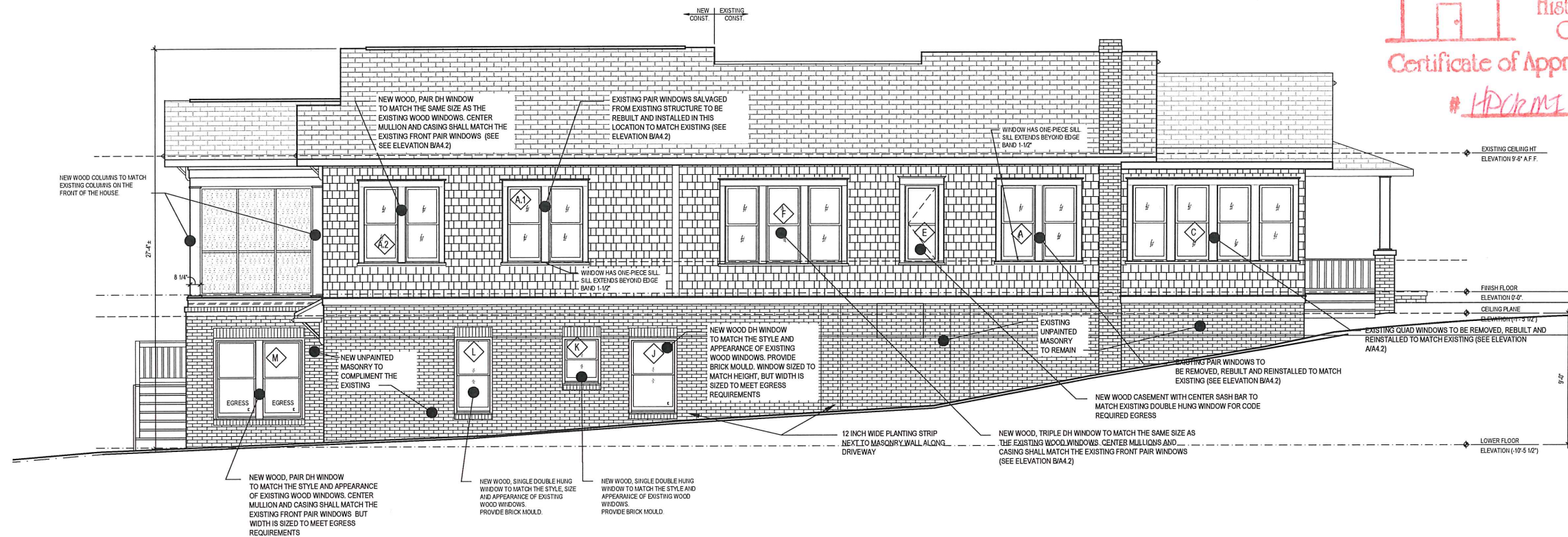
Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**ROOF PLAN**

SET ISSUE DATE  
▶ JUNE 9, 2019 ◀

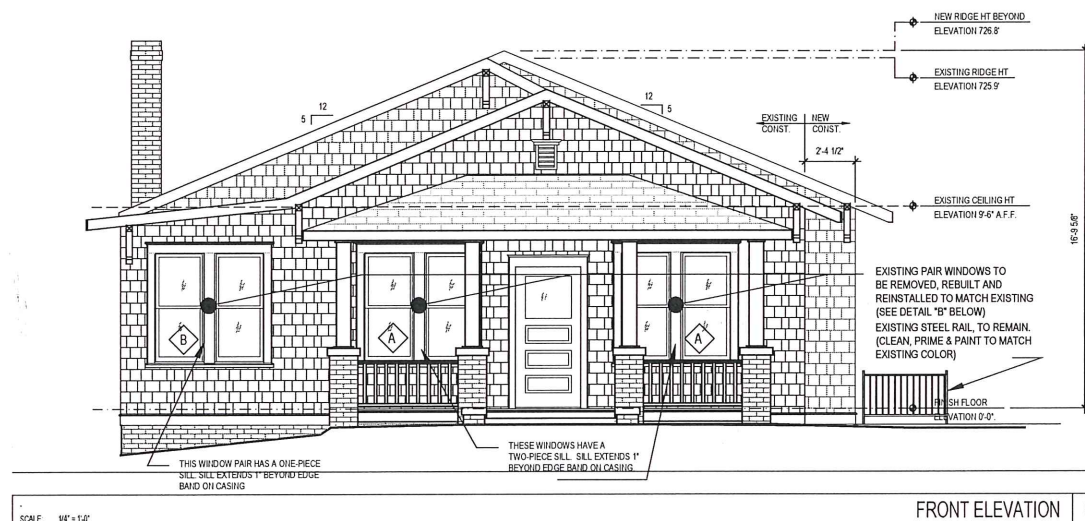
Sheet:  
**A3.0**





SCALE: 1/4" = 1'-0"

LEFT ELEVATION 02



SCALE: 1/4" = 1'-0"

FRONT ELEVATION 01



APPROVAL

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# HPC/MI-2019-02160

FD|in+EGRA

an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
www.fdin+egra.comTHE DRAWINGS & WRITTEN MATERIAL HEREIN  
CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, &  
AS INTELLECTUAL PROPERTY & INSTRUMENTS OF  
SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE  
MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED  
OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN  
CONSENT OF THE ARCHITECT  
©FD|INTEGRATE

Seals: XXXXXXXX

Revisions:			
Number	Date	Description	

Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**NEW ELEVATIONS**

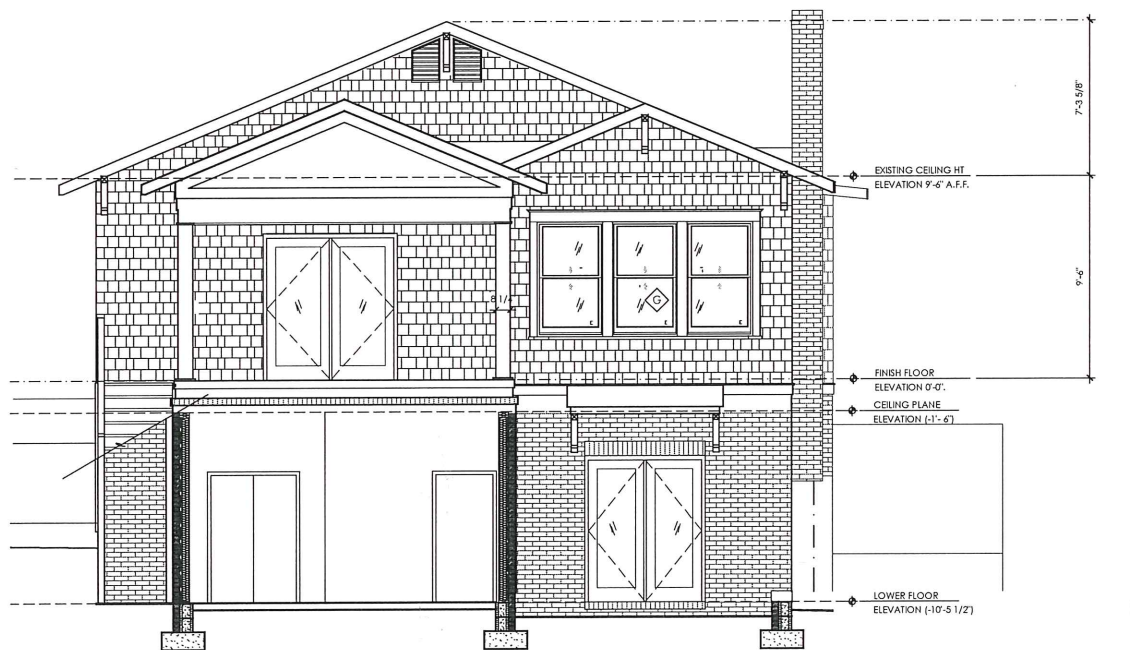
SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A4.0**



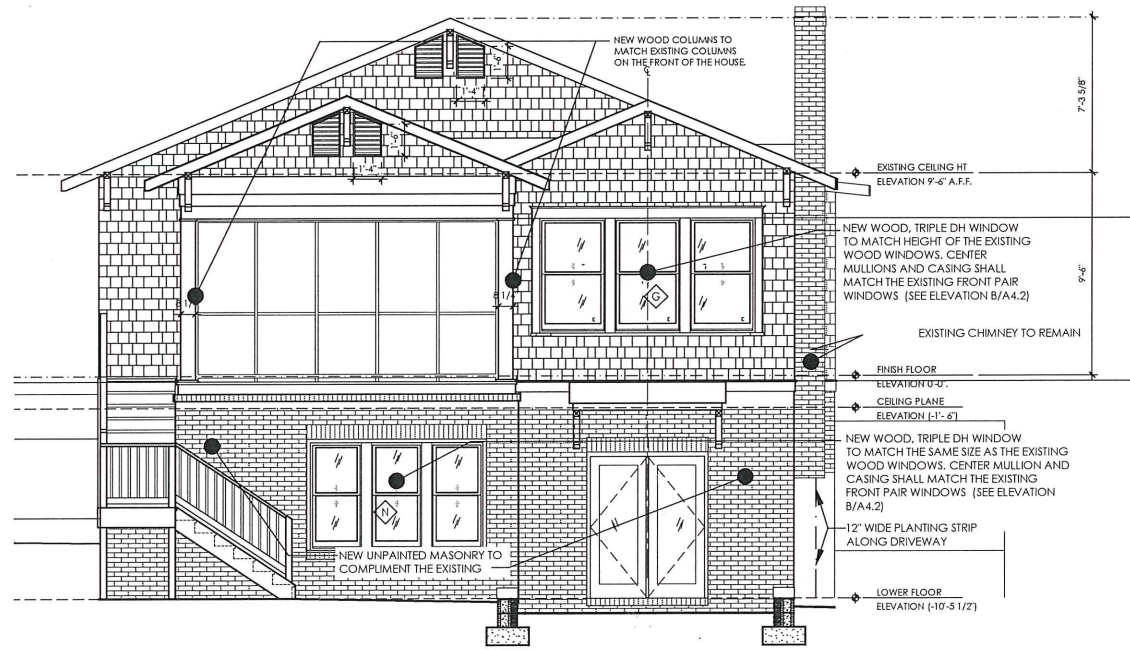
File: F:\VD-Projects\Sittema Residence\DWGS\_CD\A4.1; Plotted: 7/9/2019 9:42 AM by CHRIS; Saved: 7/9/2019 9:36 AM by CHRIS

Sheet Template ID: OPEF-07-B



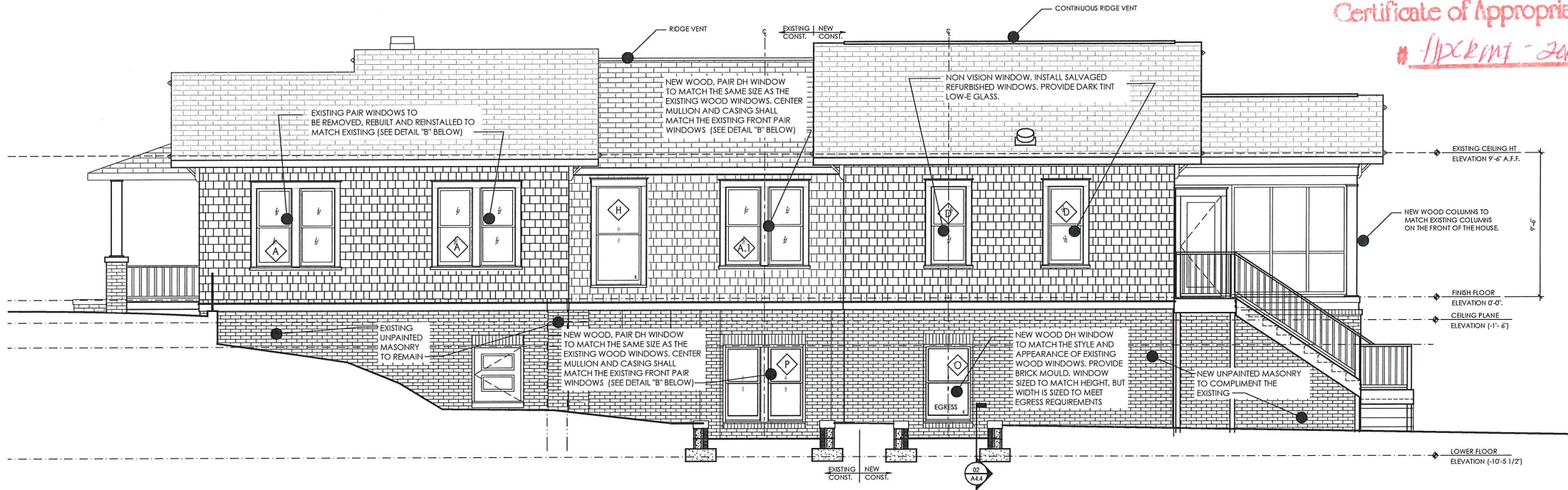
REAR ELEVATION - SUNROOM 03

SCALE: 1/4" = 1'-0"



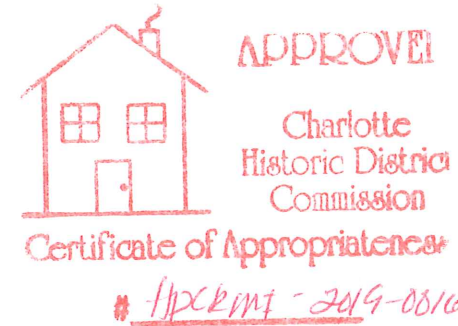
REAR ELEVATION 01

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION 02

SCALE: 1/4" = 1'-0"



**FD in+TEGRA**  
an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
www.kinlogra.com

THE DRAWINGS & WRITTEN MATERIAL HEREIN  
CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, &  
AS INTELLECTUAL PROPERTY & INSTRUMENTS OF  
SERVICE ARE SUBJECT TO COPYRIGHT & MAY NOT BE  
MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED  
OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN  
CONSENT OF THE ARCHITECT  
©FDINTEGRA



Seals: XXXXXXXX

Revisions:		
Number	Date	Description

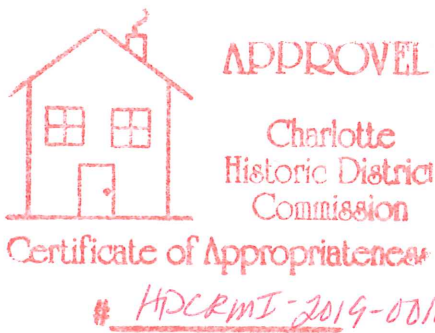
Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**NEW ELEVATIONS**

SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A4.1**

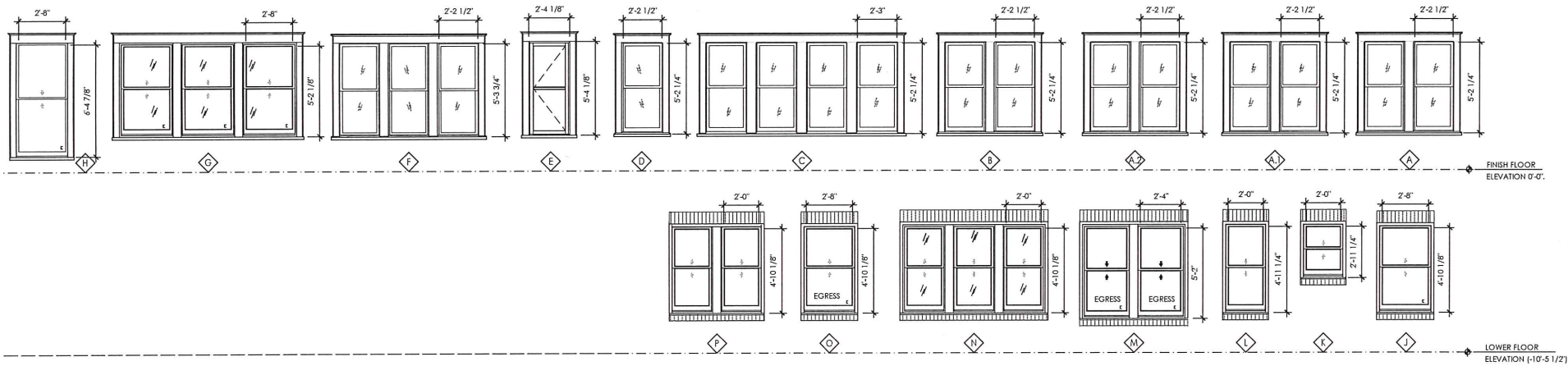




- GENERAL NOTES:
1. ALL NEW WINDOWS ARE ALL WOOD CONSTRUCTION WINDOWS FROM SIERRA PACIFIC. WINDOWS WILL BE CUSTOM BUILT TO MATCH THE SIZE OF THE EXISTING WINDOWS WHERE NOT DICTATED BY BUILDING CODE OR A BATHROOM.
  2. ALL CASING AND MULLION TRIM WILL MATCH THE PAIR WINDOWS ON FRONT OF HOUSE (SEE DETAIL "B").
  3. NEW WINDOWS IN BRICK OPENING SHALL BE ALL WOOD CONSTRUCTION WITH BRICK MOULD. CENTER MULLION TRIM WHERE PROVIDED SHALL MATCH EXISTING PAIR FRONT WINDOWS (SEE DETAIL "B").

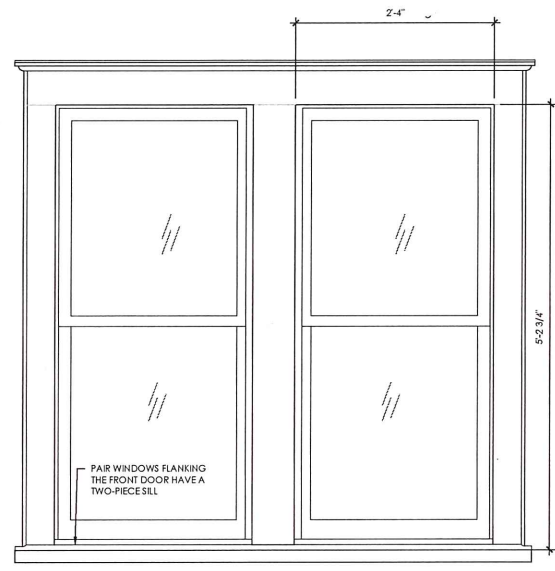


Seals: XXXXXXXX



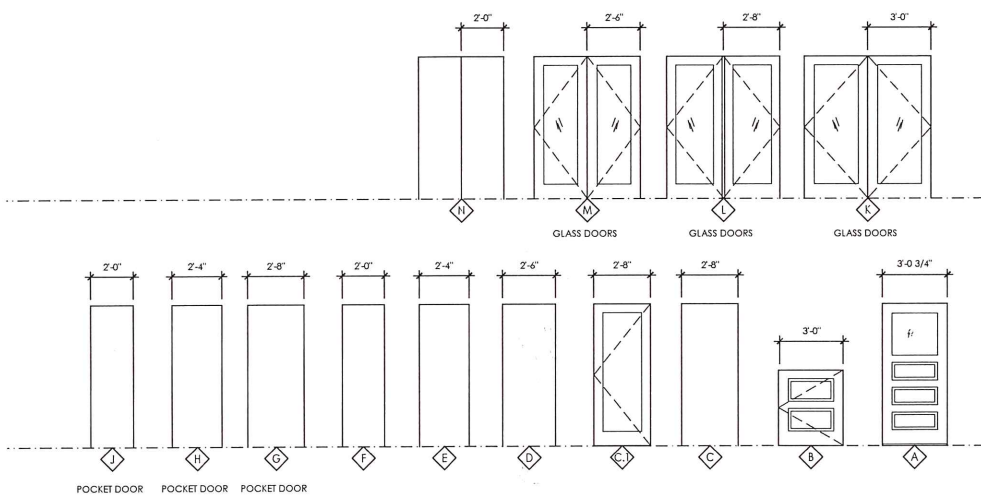
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE 02



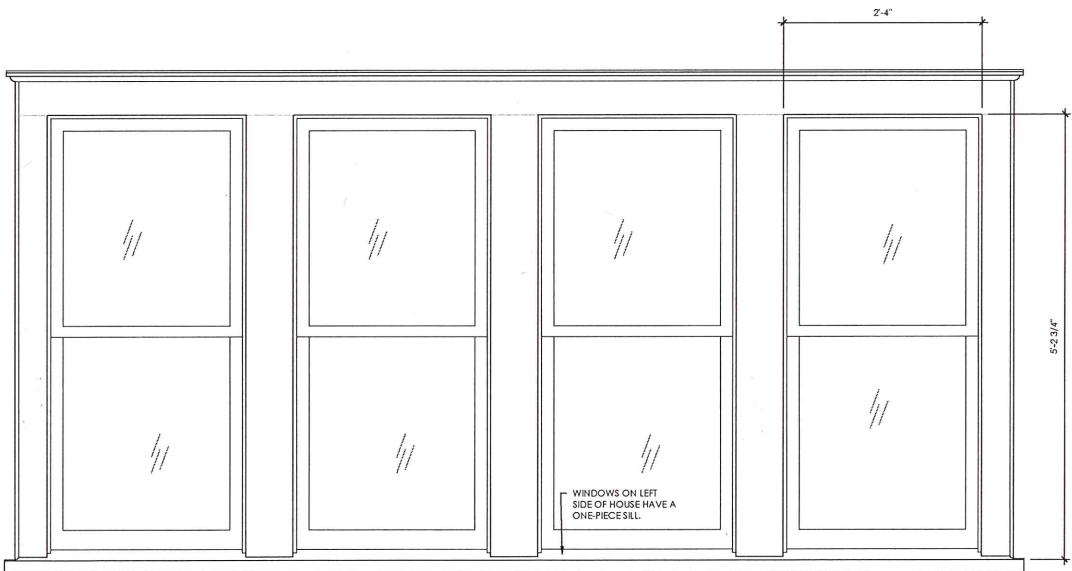
EXISTING PAIR FRONT WINDOWS B

NOTE: THIS ELEVATION REPRESENTS THE EXISTING WINDOW ON THE FRONT PORCH FACING THE STREET. THIS IS THE MODEL WINDOW.



SCALE: 1/4" = 1'-0"

DOOR SCHEDULE 01



EXISTING SIDE QUAD WINDOW A

NOTE: THIS ELEVATION REPRESENTS THE EXISTING WINDOW ON THE SIDE PORCH FACING THE DRIVEWAY. THE CENTER MULLION TRIM IS WIDER THAN THE TYPICAL TRIM ON THE REST OF THE HOUSE. CONTRACTOR MUST REPLICATE THIS WINDOW ASSEMBLY. SASHES, TRIM, ETC MUST EITHER BE RESTORED/REPAIRED OR REPLACED TO MATCH EXISTING.

Revisions:		
Number	Date	Description

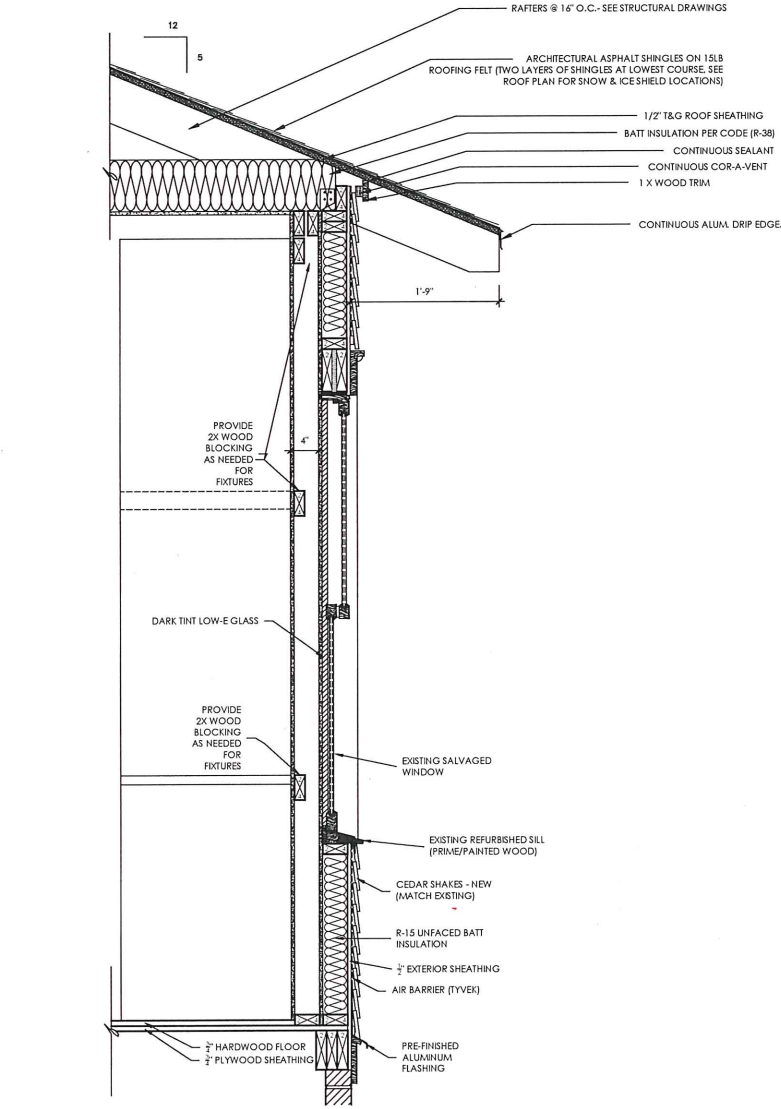
Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**WINDOWS AND DOORS**

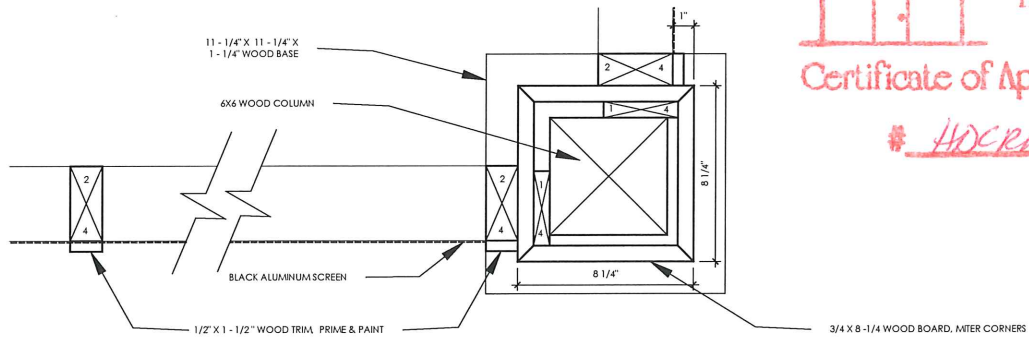
SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A4.2**

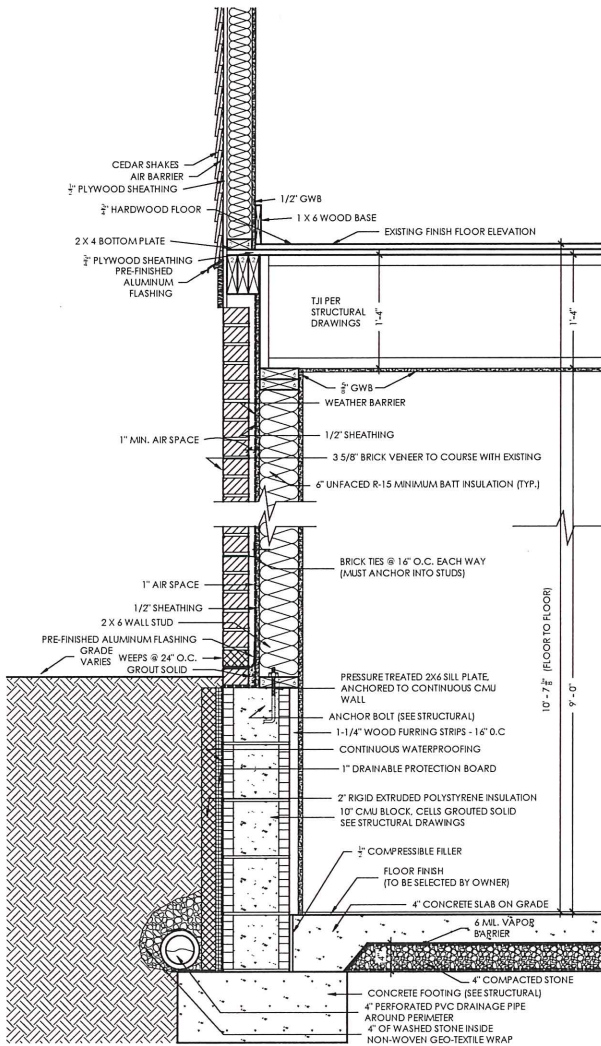




KITCHEN 02



PORCH COLUMN 03



FOUNDATION 01



Seals: XXXXXXXX

Revisions:		
Number	Date	Description

Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**SECTIONS & DETAILS**

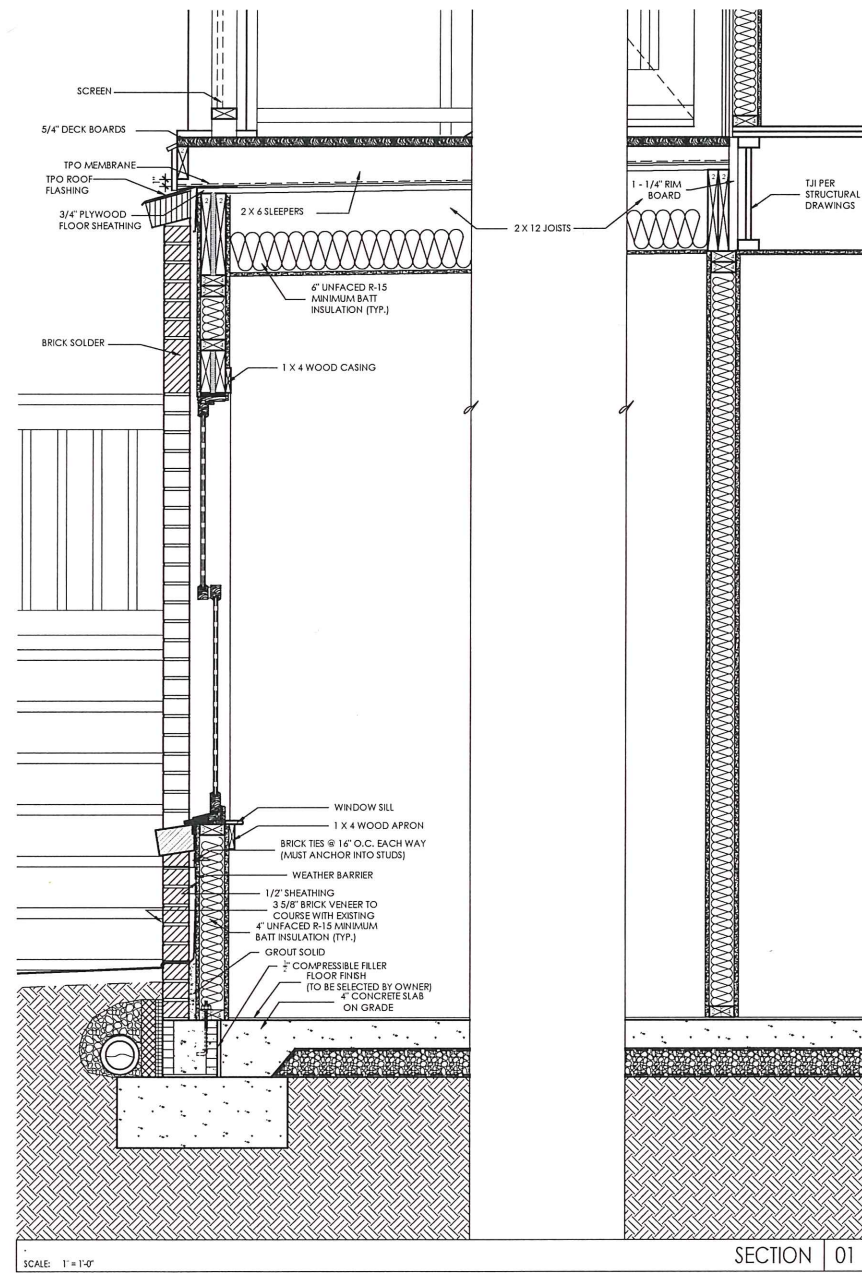
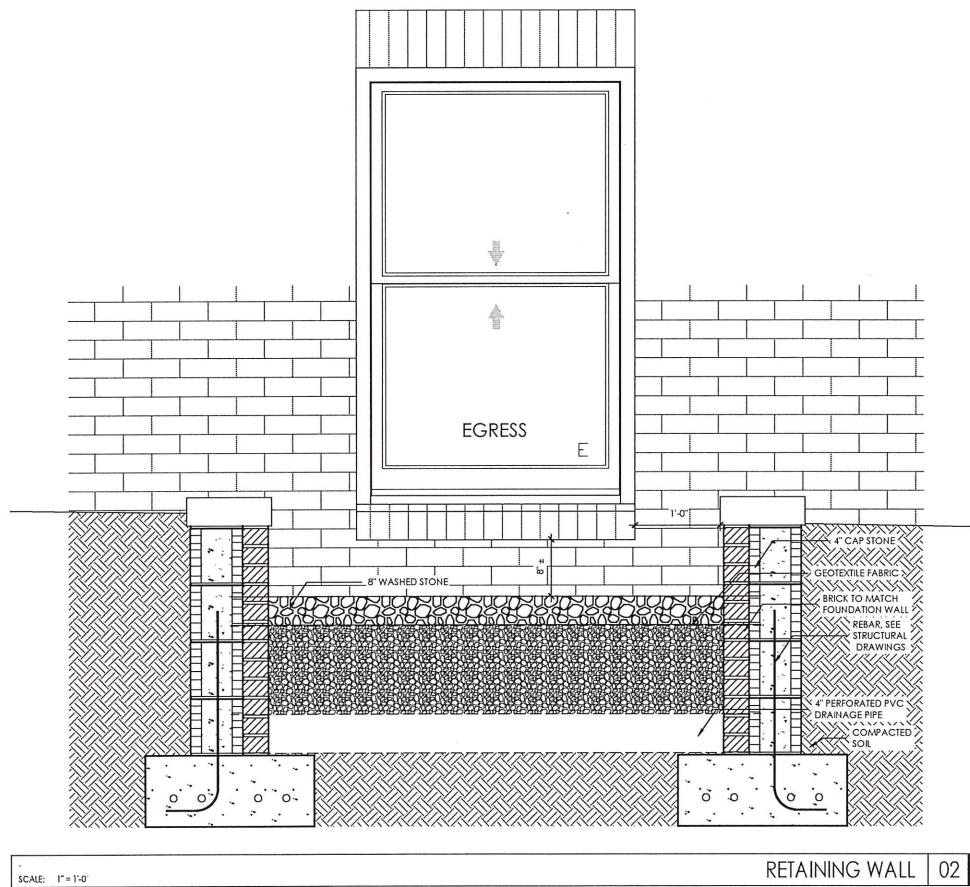
SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A4.3**



File: F:\VD-Projects\Sittema Residence\DWGS\_CD\A4.4; Plotted: 7/9/2019 9:44 AM by CHRIS; Saved: 7/9/2019 9:32 AM by CHRIS

Sheet Template ID: OPE-F-07-B



# HDCRMZ-2019-00160

**F&D in+EGRA**  
an Integra Architecture, PLLC DBA  
118 East Kingston Avenue, Ste. 20  
Charlotte, NC 28203  
704.372.0001  
www.fidintegra.com

THE DRAWINGS & WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT, & AS INTELLECTUAL PROPERTY & INSTRUMENTS OF SERVICE, ARE SUBJECT TO COPYRIGHT & MAY NOT BE MODIFIED, PUBLISHED, DISTRIBUTED, REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT OF THE ARCHITECT  
© F&D/INTEGRA



Seals: XXXXXXXX

Revisions:		
Number	Date	Description

Project Title:  
**SITTEMA RESIDENCE**  
708 EAST TREMONT AVE  
CHARLOTTE, NC 28203

Project No.:  
Drawing Title:  
**SECTIONS & DETAILS**

SET ISSUE DATE  
JUNE 9, 2019

Sheet:  
**A4.4**





Dear Historic District of Charlotte,

On Wednesday April 24, 2019, Santigie Kabia (ISA TRAQ Certified Arborist with Heartwood Tree Service) was asked to assess the health and structural integrity of a shared 34" Willow Oak growing along the right rear perimeter of 708 E. Tremont Ave., 28203.

A limited visual inspection revealed a large stressed canopy growing on the assumed property line. The canopy has vigorous growth expanding uniformly to the tips/towards sun exposure; however, there are isolated limbs with aggressive dieback and evidence of Hypoxylon Canker (indicator of severe stress/decline/dead tissue).

Santigie was advised of a potential new home construction project to take place in close proximity of the mature Willow Oak which could severely affect the tree's health and structural integrity. As an attempt to mitigate the potential stresses incurred from construction, Santigie was asked to compose a management plan to preserve the tree's long-term health and structural integrity for as long as possible..

The following mitigation actions and services are strongly recommended (as listed) to assist in the tree's preparation for and recovery from soil and root disturbance:

- In spring 2019, monitor and treat the lower 6' of main stem and root collar for active Ambrosia Beetle populations. This destructive, wood-boring pest is attracted to trees under stress, and has multiple generations/life cycles in a single growing season. Preventative treatment programs are recommended to begin in early-spring (April/Forsythia bloom), and continued at 60-90 day intervals through November.
- In spring 2019, administer a natural, liquid-injected soil conditioner ("ArborPlex") directly to the root zone to support bloom/leaf expansion. Comprised primarily of sea kelp and worm castings, this (low-Nitrogen) material improves the soil structure, alleviates drought stress, and increases plant vigor.
- In spring 2019, apply a systemic tree growth regulator ("Cambistat") soil drench to maximize resource efficiency. This material reallocates energy within the vascular system to produce slightly smaller leaves and shorter annual twig growth, while increasing feeder root (volume) production. This process develops a stronger collection root system with less canopy surface area to support (increasing stored energy/vigor). **This material has a 36-month residual effect and should not be re-applied before spring 2022.**
- Prior to construction, prune lower canopy to provide 6-8' house clearance. Reduce horizontal canopy (weight) to mitigate risk of branch/stem failure (1-3" diameter pruning cuts). Remove hazardous dead branches 2" diameter and larger.

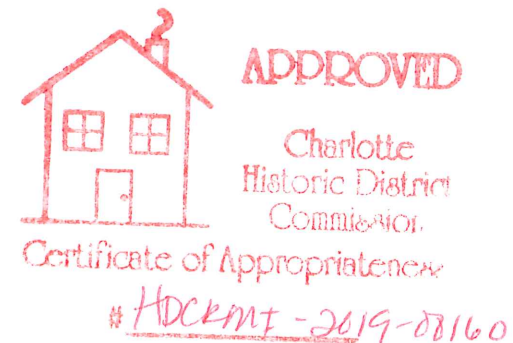




- Prior to construction, install a highly visible barrier fence to protect the critical root zone from root disturbance/soil compaction. The fencing is recommended to protect as much of the calculated 11.5' radius of the root collar.
- Prior to construction, use an "Air Knife" (compressed air tool) to create a trench (12-18" deep) spanning within the **outermost** perimeters of the tree protection fencing (house-side). Prune any exposed roots within the trench and backfill immediately to avoid root system dehydration.
- Prior to construction, install a 2-4" layer of wood chips within the tree's protective barrier fence to buffer the soil and critical root zone from stress during construction.
- In fall 2019, administer a natural, liquid-injected soil conditioner ("ArborPlex") directly to the calculated 11.5' critical root zone to support feeder root production..

The listed recommendations are based on the tree conditions at the time of the assessment. It is advised to have a qualified arborist assess the tree and site conditions throughout the duration of the construction project, annually thereafter, and after any significant weather events that could affect the tree's health or structural integrity. The listed services are recommended as risk mitigation and do not entirely remove risk of tree decline, death, or failure.

Best Regards,  
Santigie ("Tig") Kabia  
ISA TRAQ Certified Arborist & Municipal Specialist (MA-4553AM)





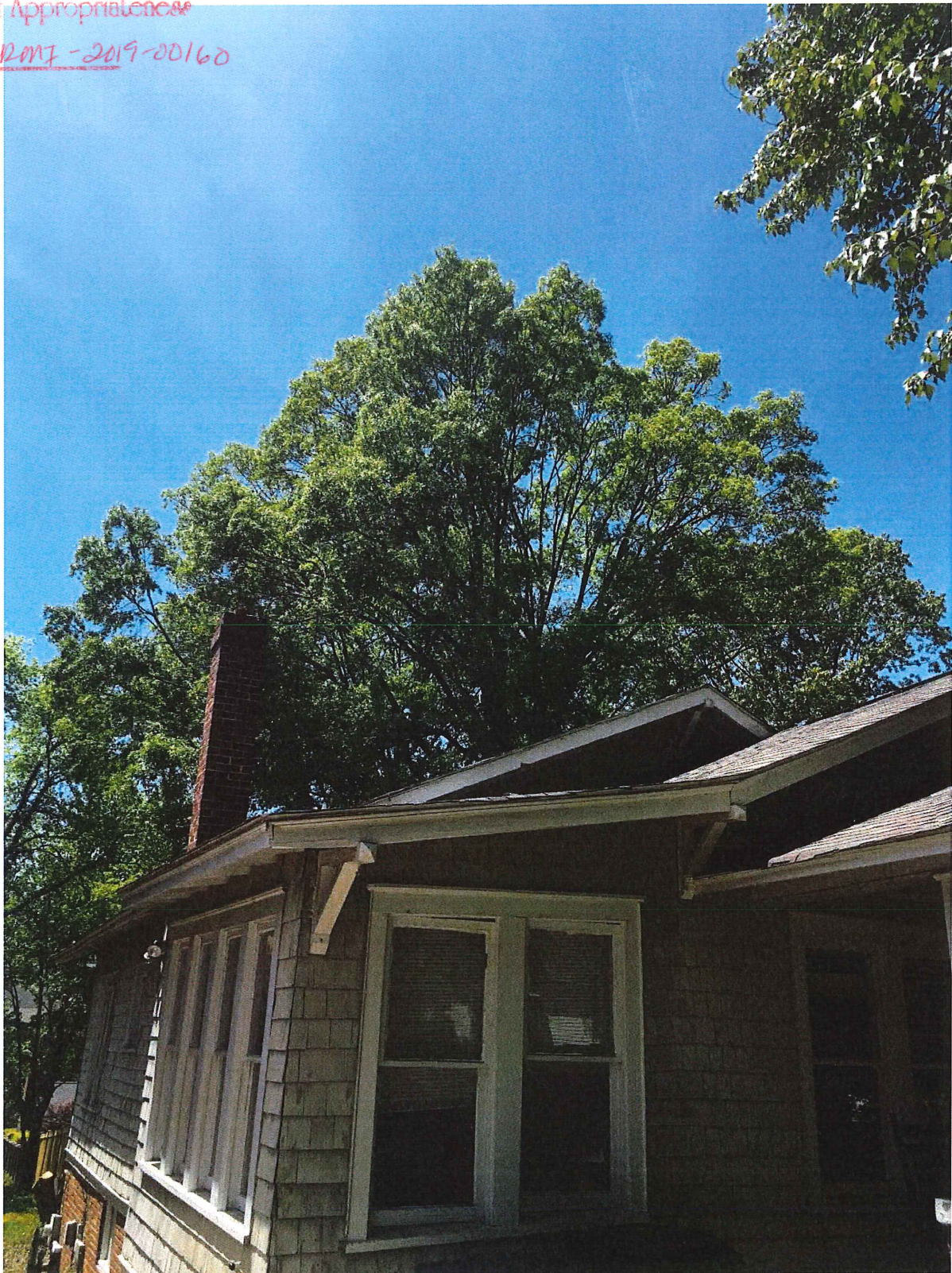


APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# ADCR017-2019-00160







APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness



# HDC  
RMT

2619-  
00160

