

**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1936 Park Road

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Debra Glennon

### **Details of Proposed Request**

#### *Existing Conditions*

The existing structure is a 2-story Victorian constructed in 1905. It was converted to a multi-family use many years ago and remains so today. Architectural details include a shed porch on square posts and scalloped frieze boards. It also has polygonal bay windows on the front. Adjacent structures are 1 and 1.5 story single family buildings. A porch addition was approved in December 2013 (2013-186) and reaffirmed as part of the May 11, 2016 approval.

#### *Proposal*

The project is the repair of the side entrance, replacement of a gable roof with a flat roof on the left side toward the rear and a front porch addition. The hand rail on the new side roof deck will match existing hand rails. Other features include new entry doors, repair or replacement of stairs and siding on the first floor. On the second floor a new shed roof replaces a gable dormer with new windows and doors. A French door is proposed to replace a window on the rear elevation. On the right elevation a second story window is replaced with two smaller windows.

The project was approved as drawn by the HDC May 11, 2016. There have been no changes to the project scope. The COA has expired and the applicant is requesting the HDC reaffirm its previous decision.

### **Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

### **Staff Recommendation**

1. The project is not incongruous with the district and meets guidelines for Additions, page 7.2
2. Staff Recommends full approval for meeting all the Guidelines, per 10.4.1 of the Rules for Procedure.
3. If requested by a Commission member, or if an interested party has signed up to speak in opposition, then the HDC shall open the application for a full hearing.



HDC-2019-00261

PID: 12108705

LOCAL HISTORIC DISTRICT: DILWORTH

PROPOSED PROJECT: CONSENT AGENDA

June Meeting 2019





## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** 2016-072

**DATE:** May 12, 2016

**ADDRESS OF PROPERTY:** 1936 Park Road

**TAX PARCEL NUMBER:** 12108705

**HISTORIC DISTRICT:** Dilworth

**OWNER(S):** Debra and Kerry Glennon

**DETAILS OF APPROVED PROJECT:** The project is the repair of the side entrance, replacement of a gable roof with a flat roof on the left side toward the rear and a front porch addition. The hand rail on the new side roof deck will match existing hand rails. Other features include new entry doors, repair or replacement of stairs and siding on the first floor. On the second floor a new shed roof replaces a gable dormer with new windows and doors. A French door is proposed to replace a window on the rear elevation. On the right elevation a second story window is replaced with two smaller windows.

The project was approved by the HDC May 11, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

GLENNON  
RENOVATION

1336 Park Road  
Charlotte, NC 28203

DATES:

Existing  
·  
Schematics (front porch)  
11 Nov 2013  
HDC (front porch)  
22 Nov 2013  
02 Dec 2013  
Progress Drawings  
(front porch)  
28 Mar 2014  
14 Apr 2014  
Progress Drawings  
(rear porch)  
25 Apr 2014  
20 May 2014  
16 Mar 2016  
24 Mar 2016  
HDC  
21 Apr 2016  
Final Pricing  
·  
Revisions  
·

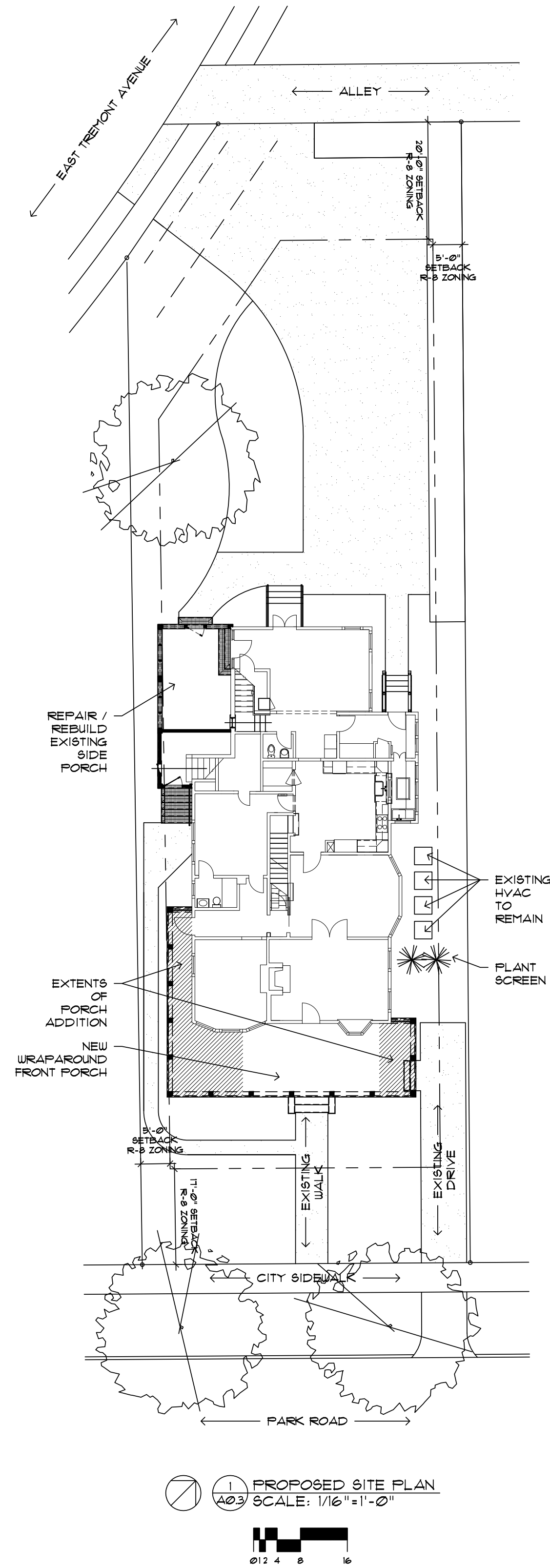
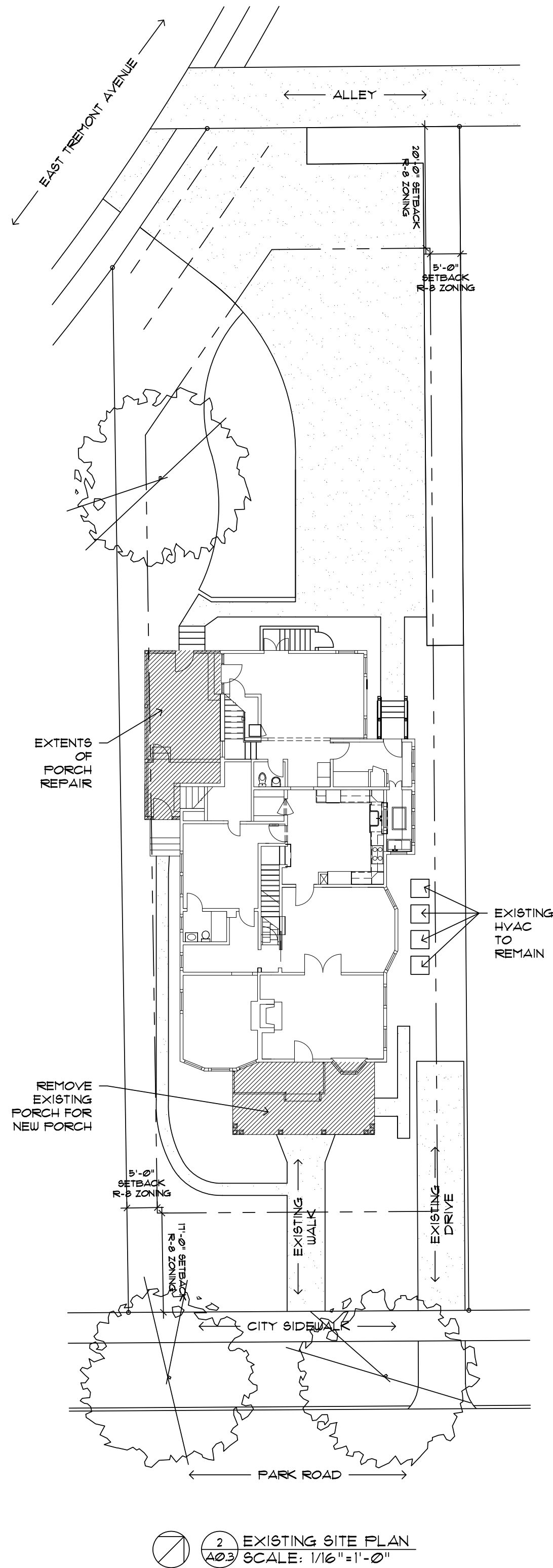
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SITE PLAN

A0.3



DATES:

Existing  
11 Nov 2013  
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HDC  
21 Apr 2016  
Final Pricing  
Revisions

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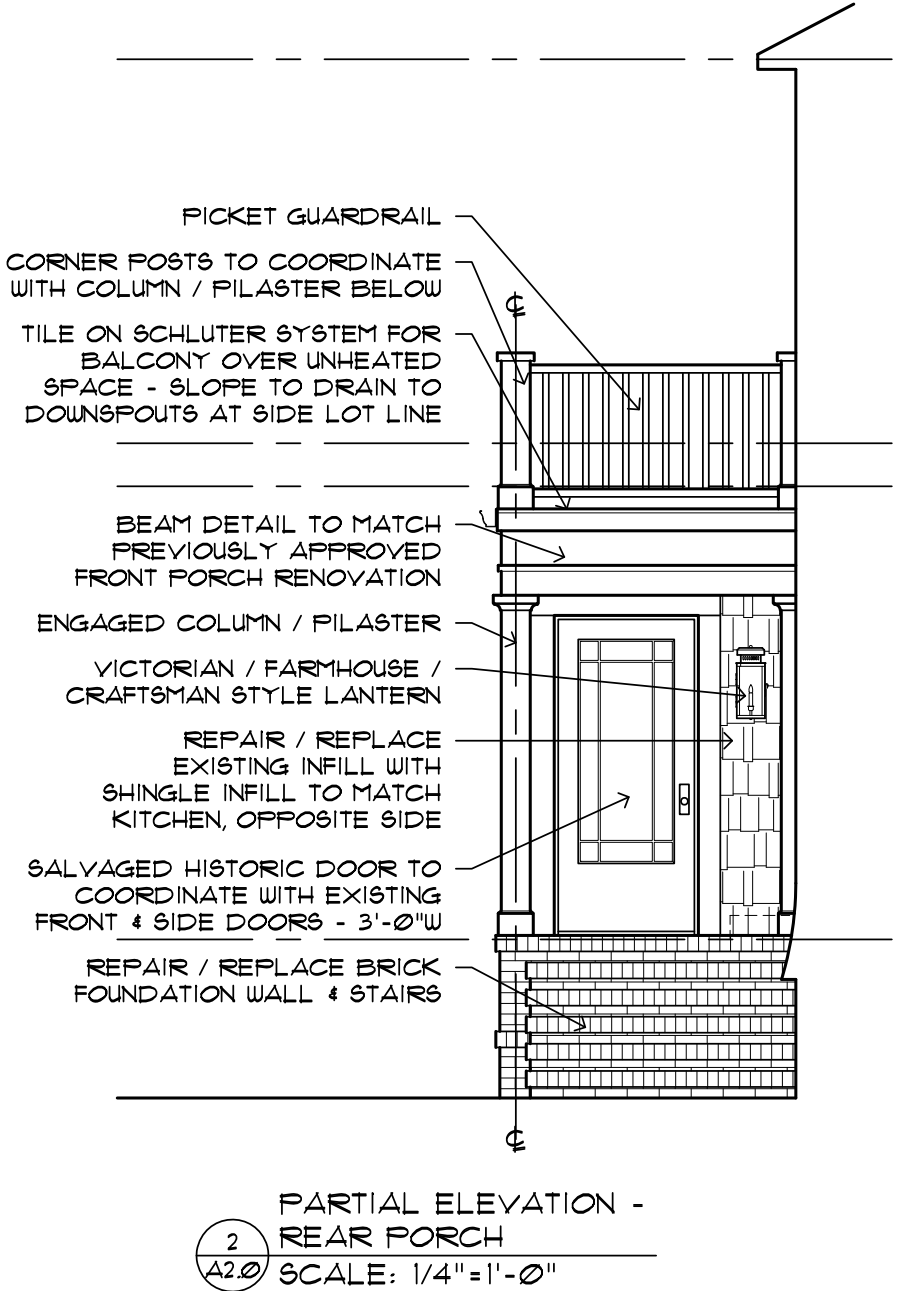
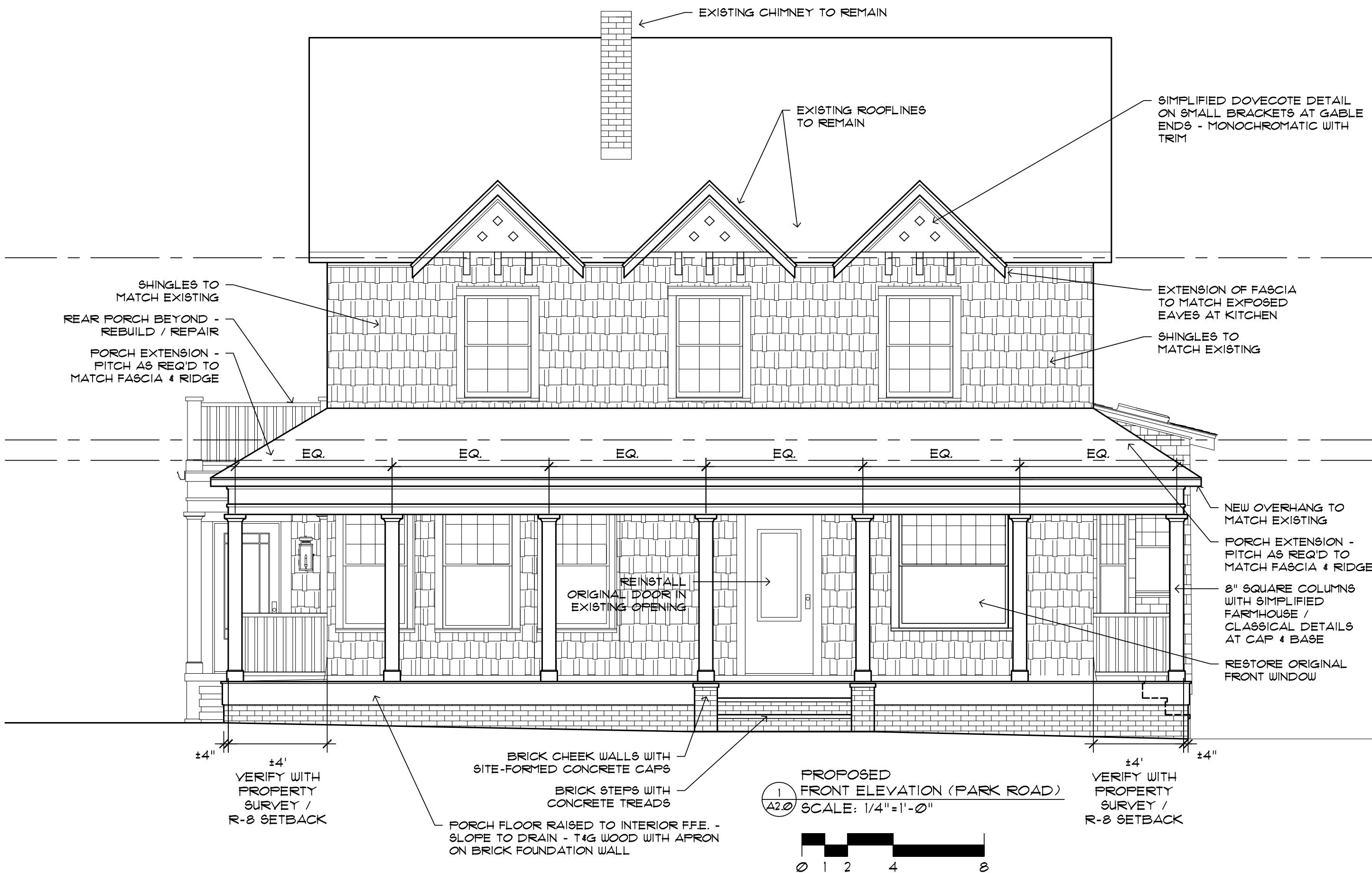
ELEVATIONS

FRONT  
(EAST)

A2.0



FRONT PORCH RENOVATION & REPAIRS - APPROVED BY HDC DEC. 2, 2013





DATES:

Existing  
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Revisions  
-

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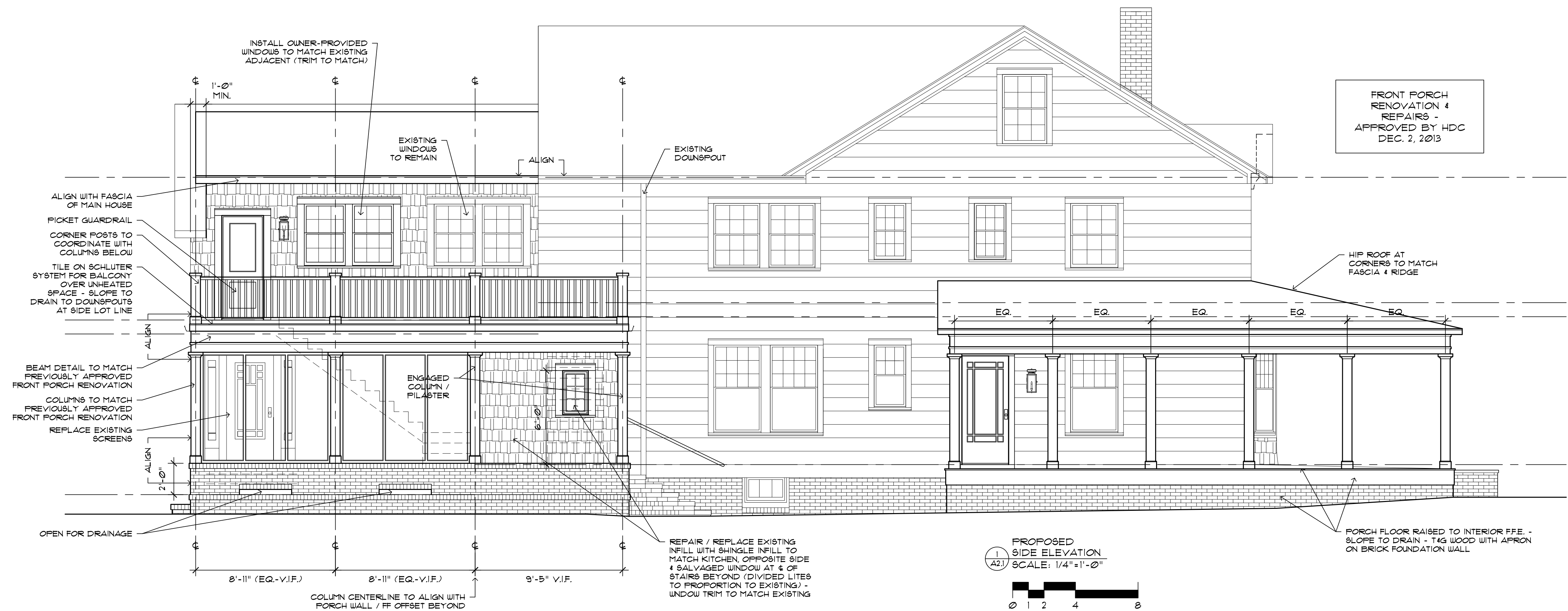
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ELEVATIONS

LEFT  
(SOUTH)

A2.1



GLENNON  
RENOVATION

1336 Park Road  
Charlotte, NC 28203

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Revisions  
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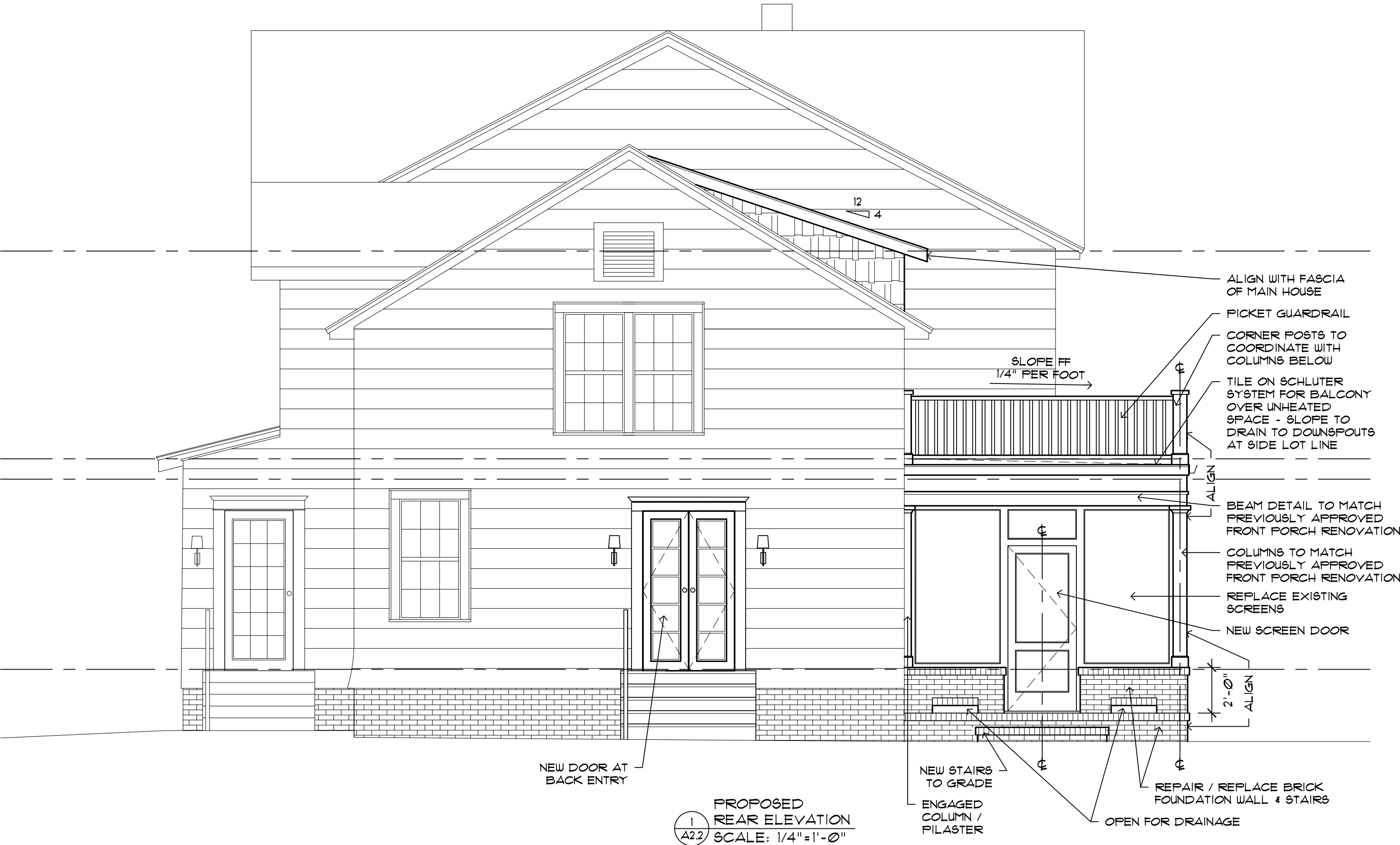
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ELEVATIONS

REAR  
(WEST)

A2.2



GLENNON  
RENOVATION

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Charlotte, NC 28203

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Revisions  
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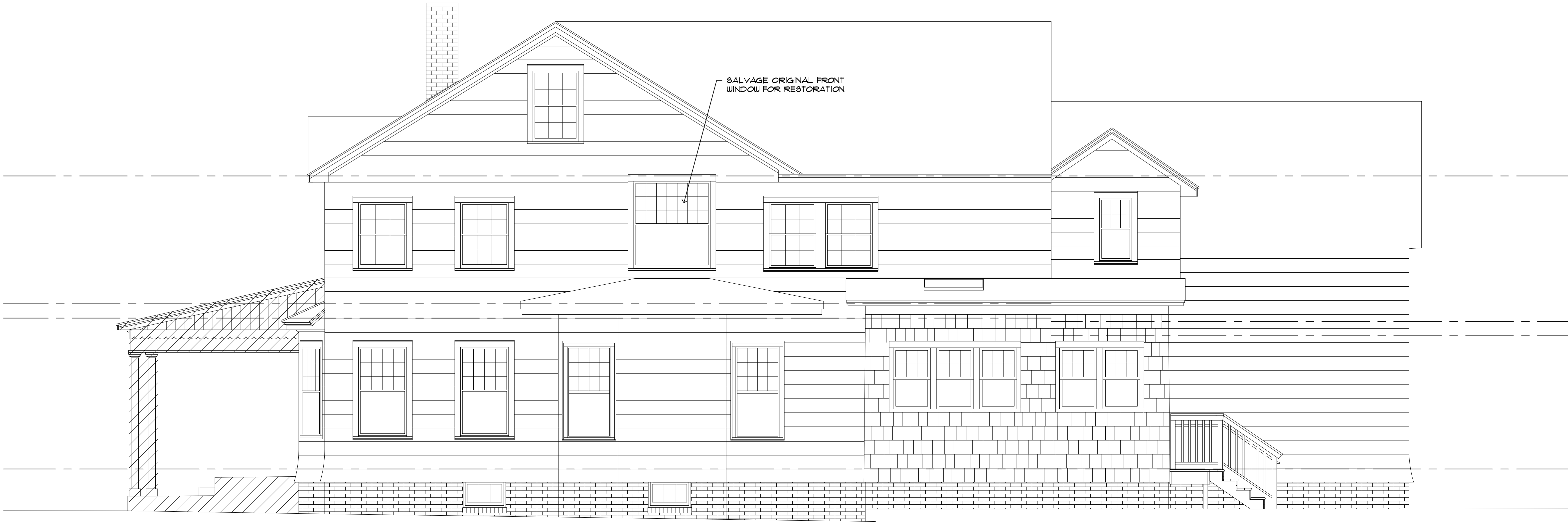
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ELEVATIONS

RIGHT  
(NORTH)

A2.3



EXISTING  
SIDE ELEVATION  
SCALE: 1/4"=1'-0"



PORCH FLOOR RAISED TO INTERIOR F.F.E. -  
SLOPE TO DRAIN - T&G WOOD WITH APRON  
ON BRICK FOUNDATION WALL

PROPOSED  
SIDE ELEVATION  
SCALE: 1/4"=1'-0"





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02 Dec 2013

Progress Drawings  
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14 Apr 2014

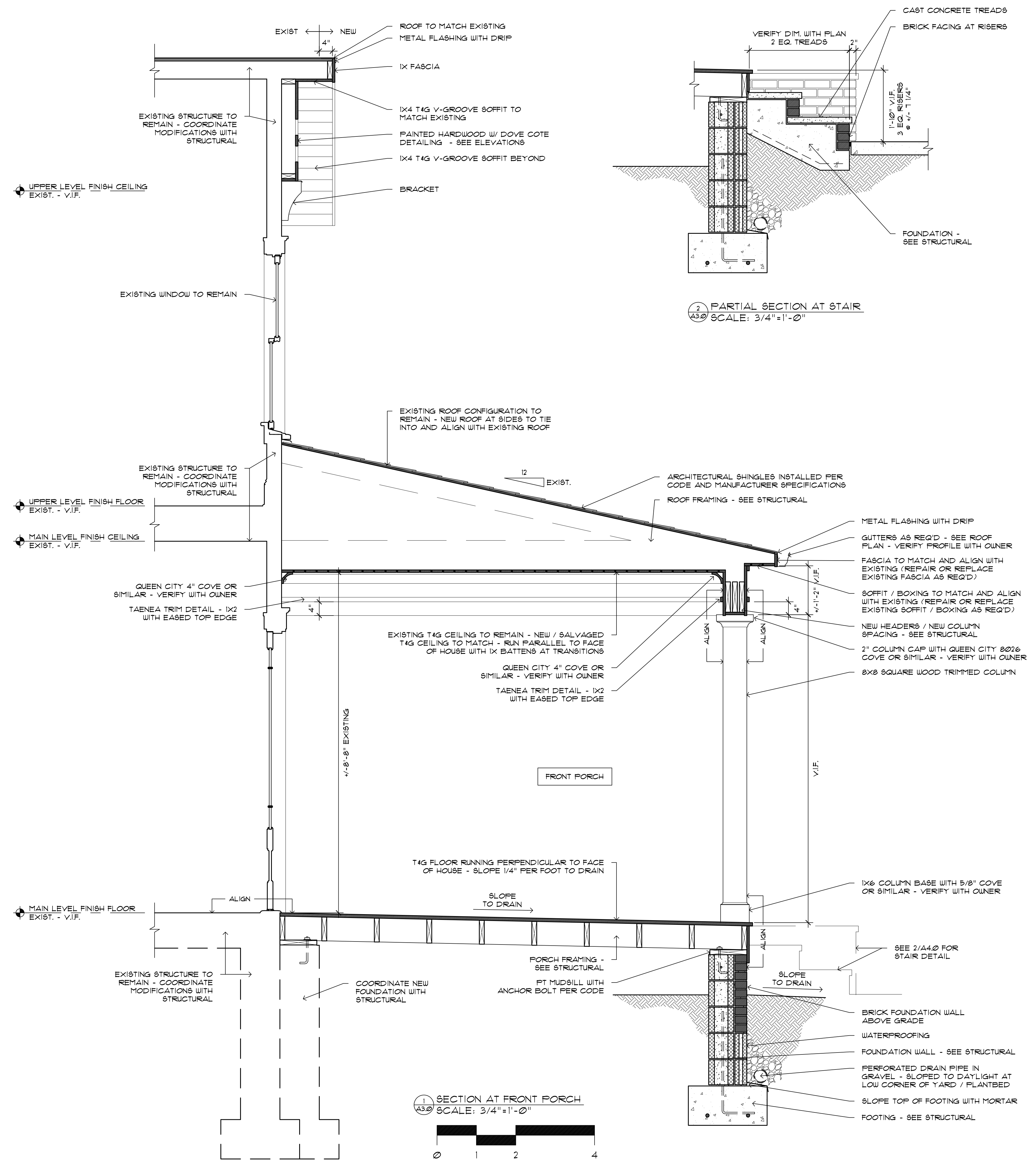
Progress Drawings  
(rear porch)  
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24 Mar 2016

HDC  
21 Apr 2016

Final Pricing  
-

Revisions  
-

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Revisions  
-

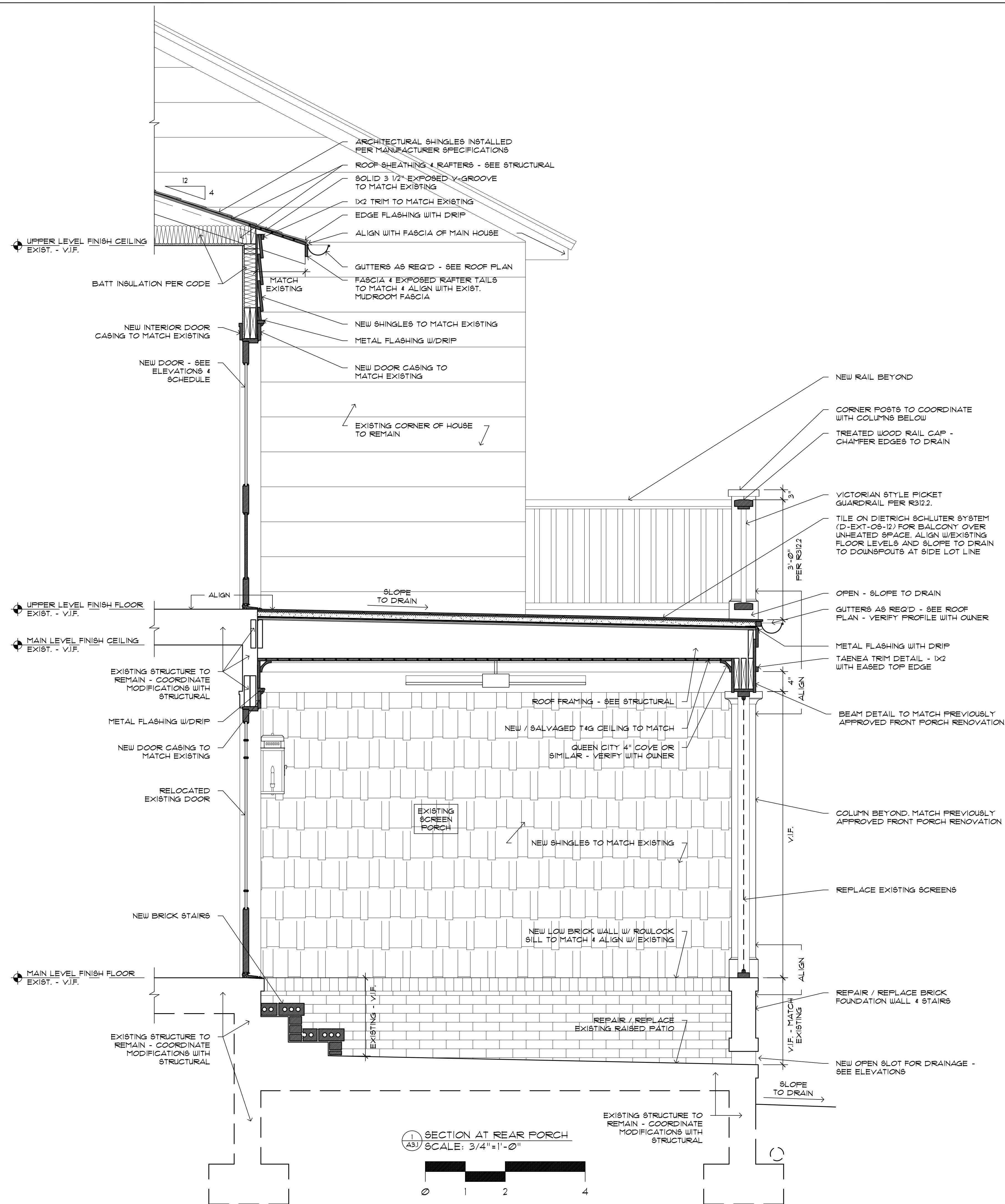
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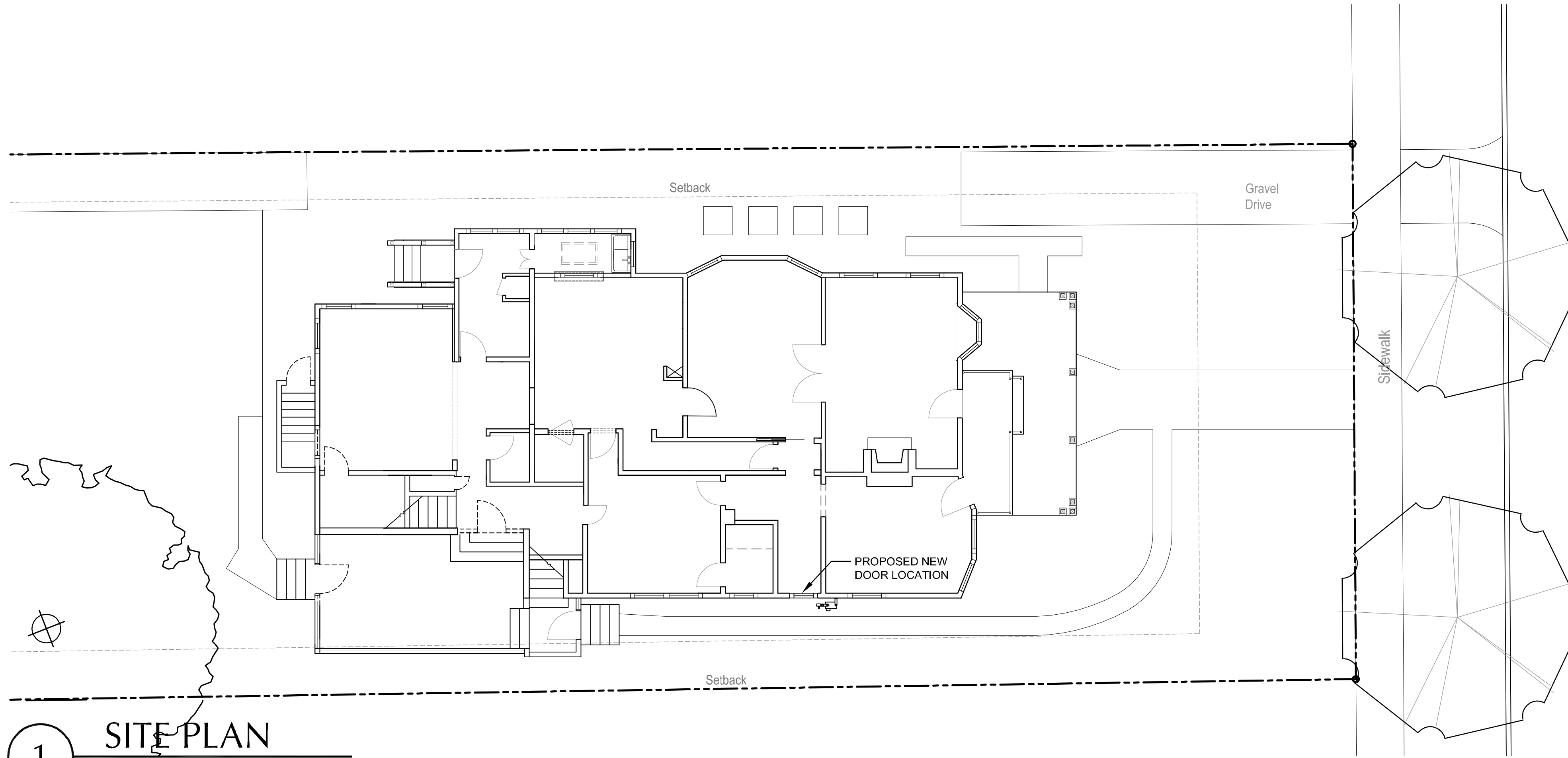
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REAR  
PORCH  
SECTION

A3.1





1 SITE PLAN  
Scale: 1/8"=1'-0"



3 FRONT - SECTION THROUGH PORCH  
Scale: 3/4"=1'-0"

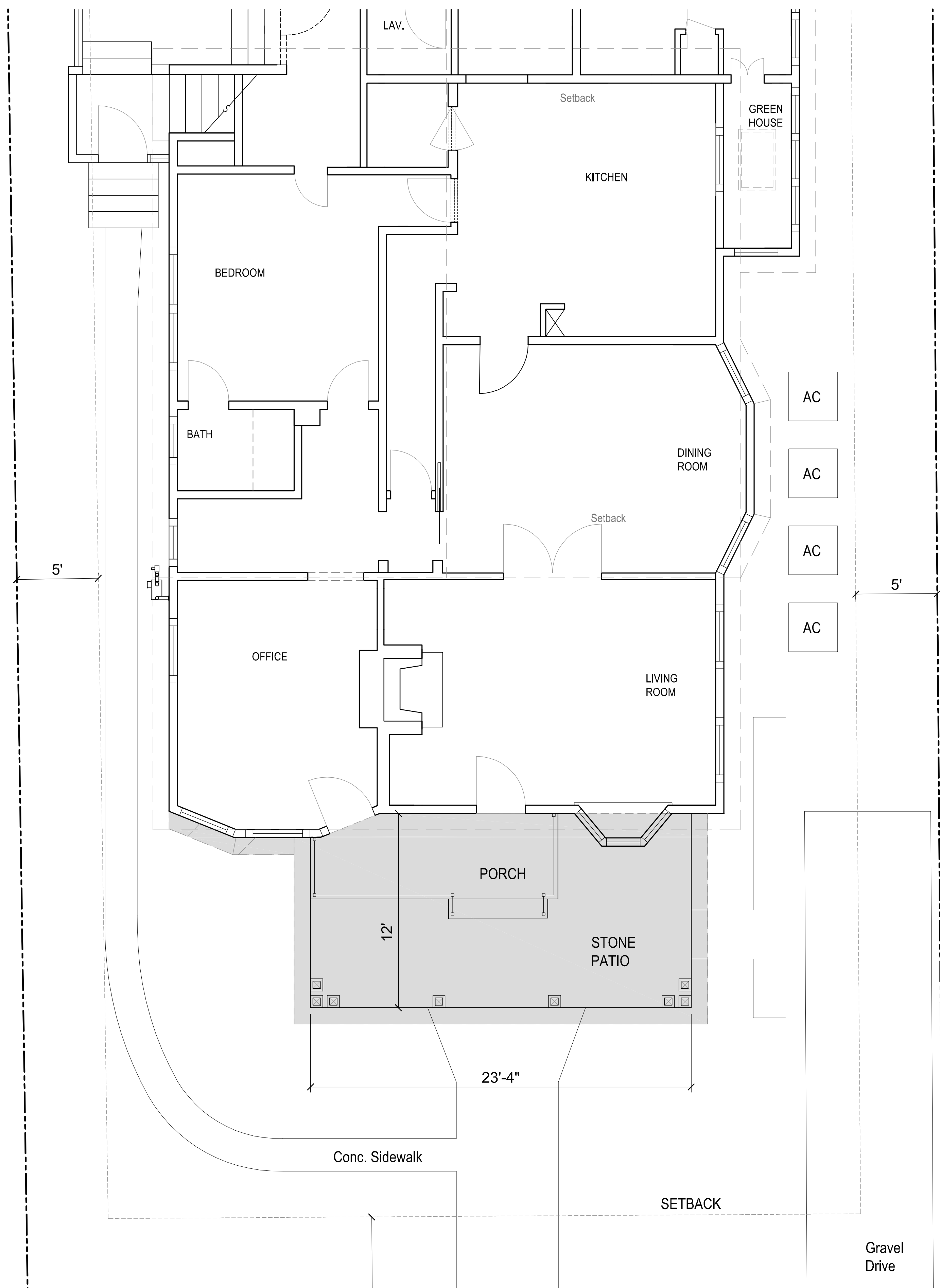


2 LEFT SIDE  
Scale: 1/4"=1'-0"

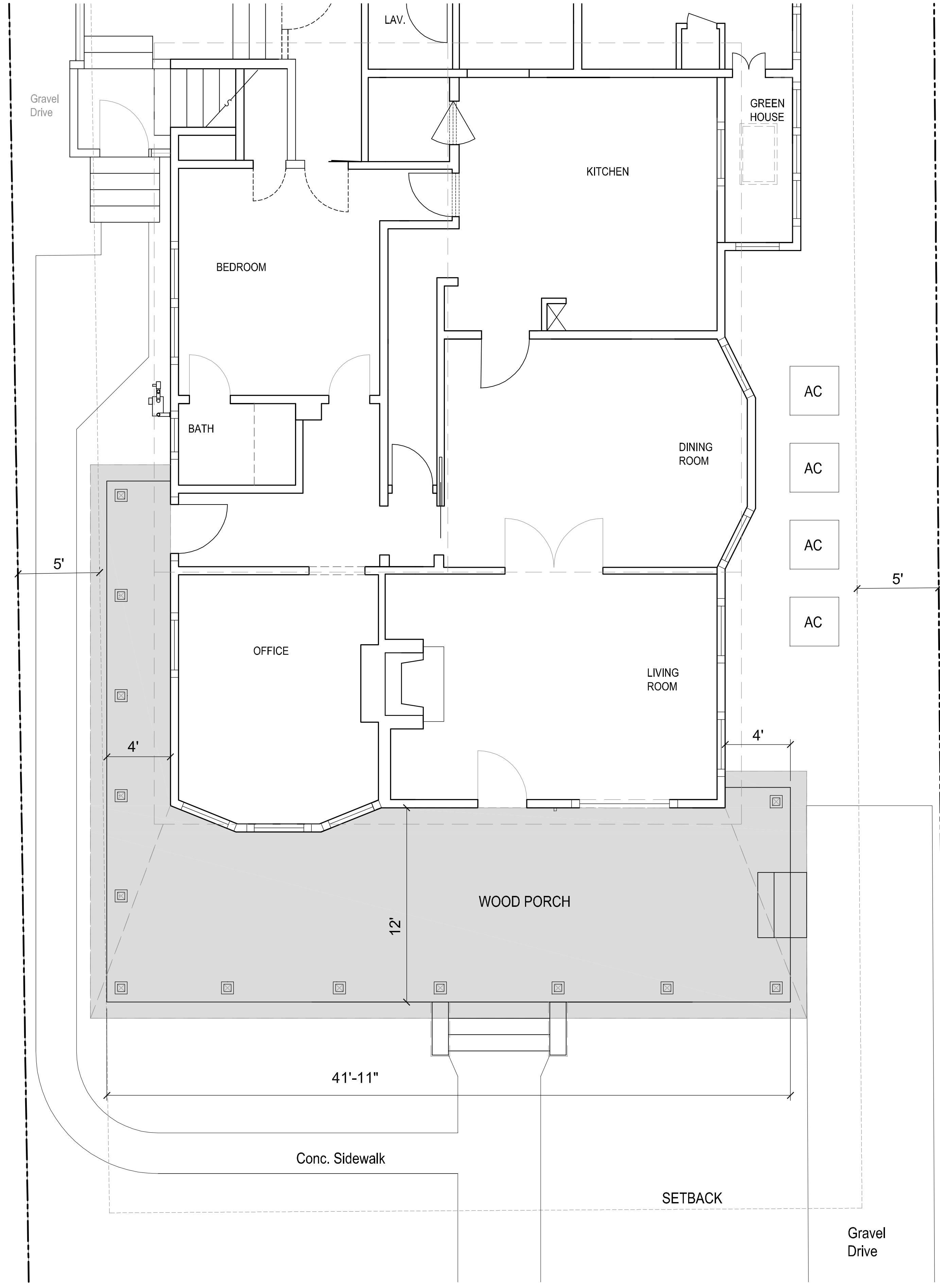


4 FRONT - WITH PORCH  
Scale: 3/4"=1'-0"

# EXISTING CONDITIONS



1 EXISTING PORCH  
Scale: 1/4"=1'-0"



1 PROPOSED PORCH  
Scale: 1/4"=1'-0"

## GLENNON RESIDENCE

1936 Park Road  
Charlotte, NC 28203

## Porch Renovation

### REVISIONS

No.	Description	Date
2		
1		

### Detail Site Plans

Project Number:	2010-01
Scale:	
Drawn By:	DLG
Checked By:	KPG
Date:	2 Dec 2013
Sheet No.	A2.0



GLENNON  
RENOVATION  
1936 Park Road  
Charlotte, NC  
28203

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Final Pricing -

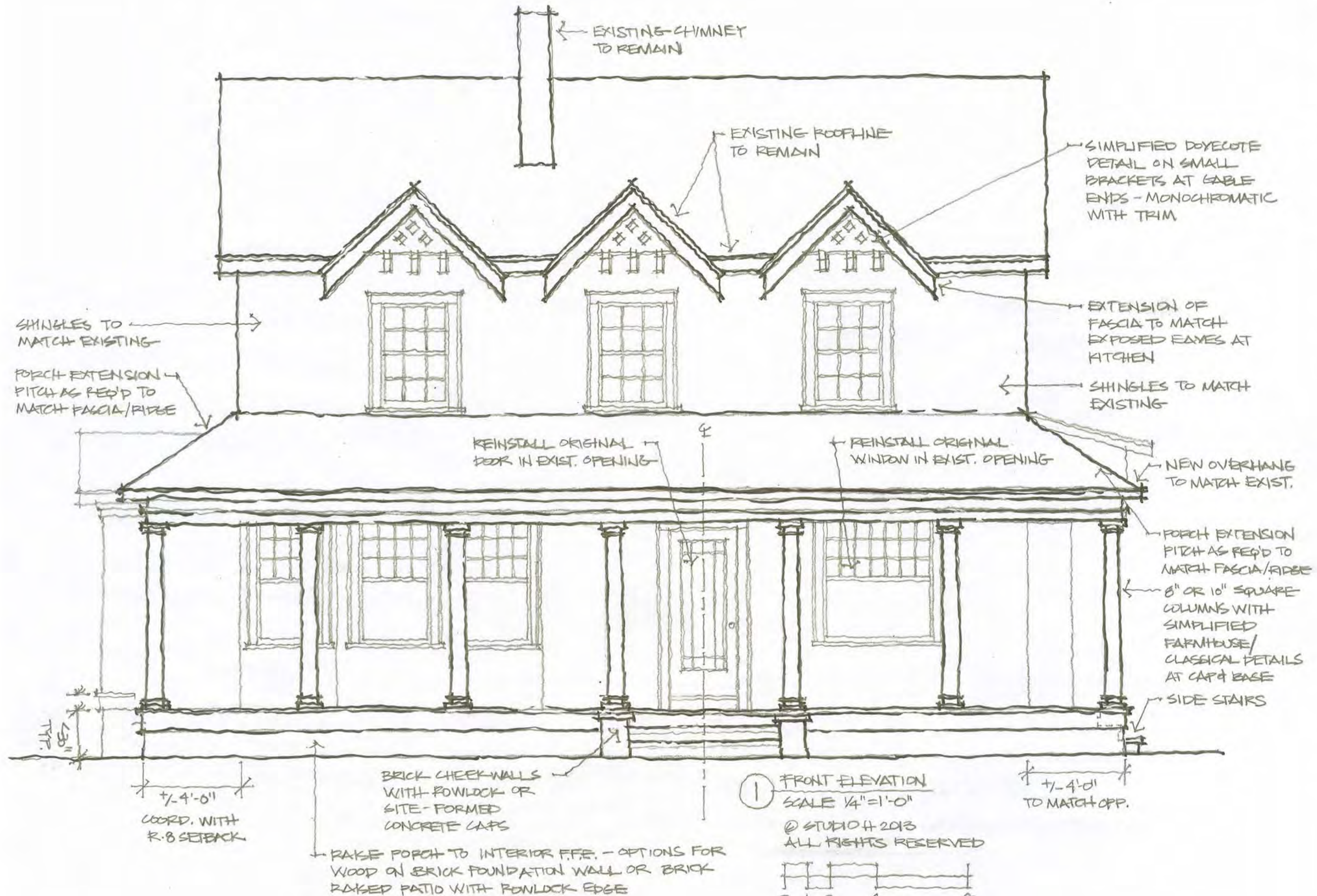
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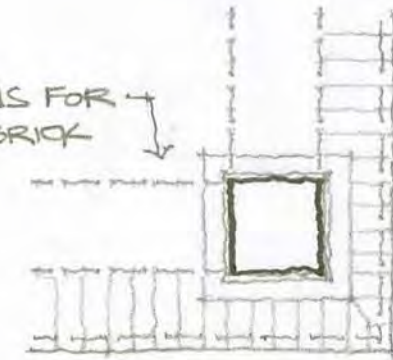
FRONT  
ELEVATION -  
PARK RD

A1.0

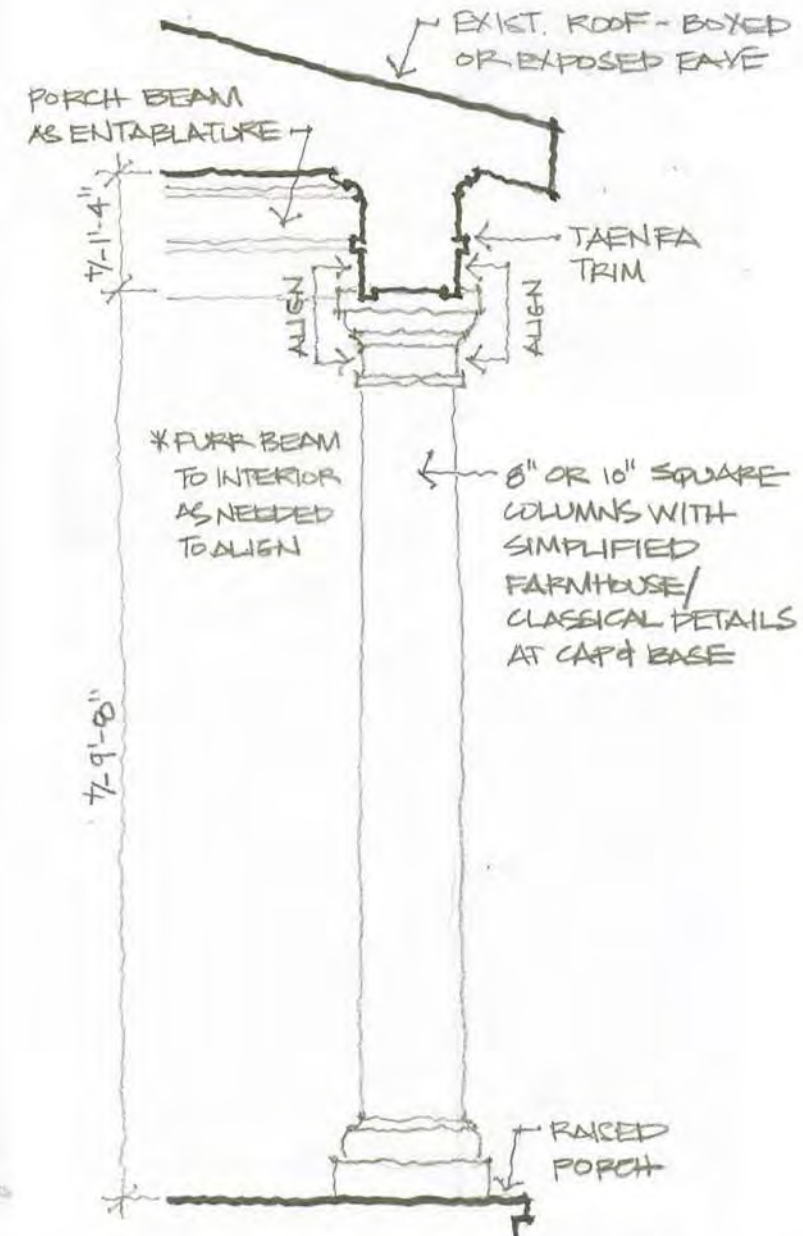




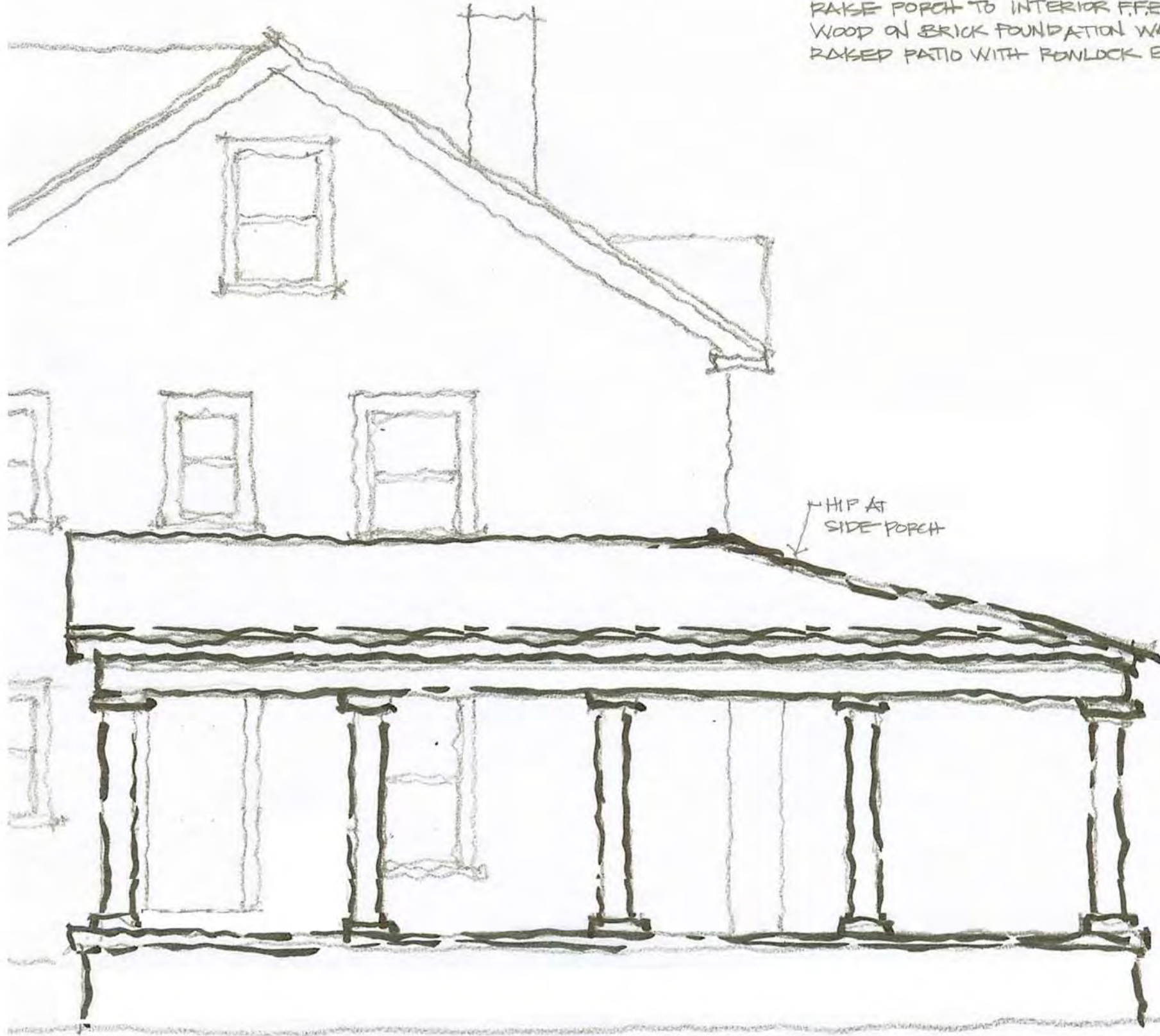
RAISE PORCH TO INTERIOR F.F.E. - OPTIONS FOR  
WOOD ON BRICK FOUNDATION WALL OR BRICK  
RAISED PATIO WITH PONDLOCK EDGE



3 PLAN  
SCALE 1/2" = 1'-0"



2 SECTION  
SCALE 1/2" = 1'-0"



1 SIDE ELEVATION  
SCALE 1/4" = 1'-0"

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RENOVATION  
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COLUMN  
SECTION &  
SIDE  
ELEVATION

A1.1