
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 612 East Tremont Avenue

SUMMARY OF REQUEST: Front stoop changes

APPLICANT/OWNER: Gray Stout, applicant / Maribeth Knauf, owner

Details of Proposed Request

Existing Conditions

The existing property 1.5 story Craftsman bungalow constructed in 1915, according to the National Register nomination. Architectural features include a cross gable roof, brackets, and Dutch-lap siding. The original front porch was converted to heated space prior to Dilworth's designation as a local district.

Proposal

The proposal is a minor design change to an existing front stoop, which is the relocation of the brick steps from the left side to the front. No other porch elements will be changed. A new concrete front walkway will be added from the sidewalk to the front steps. No trees will be impacted by this project.

Design Guidelines – Additions, page 7.2

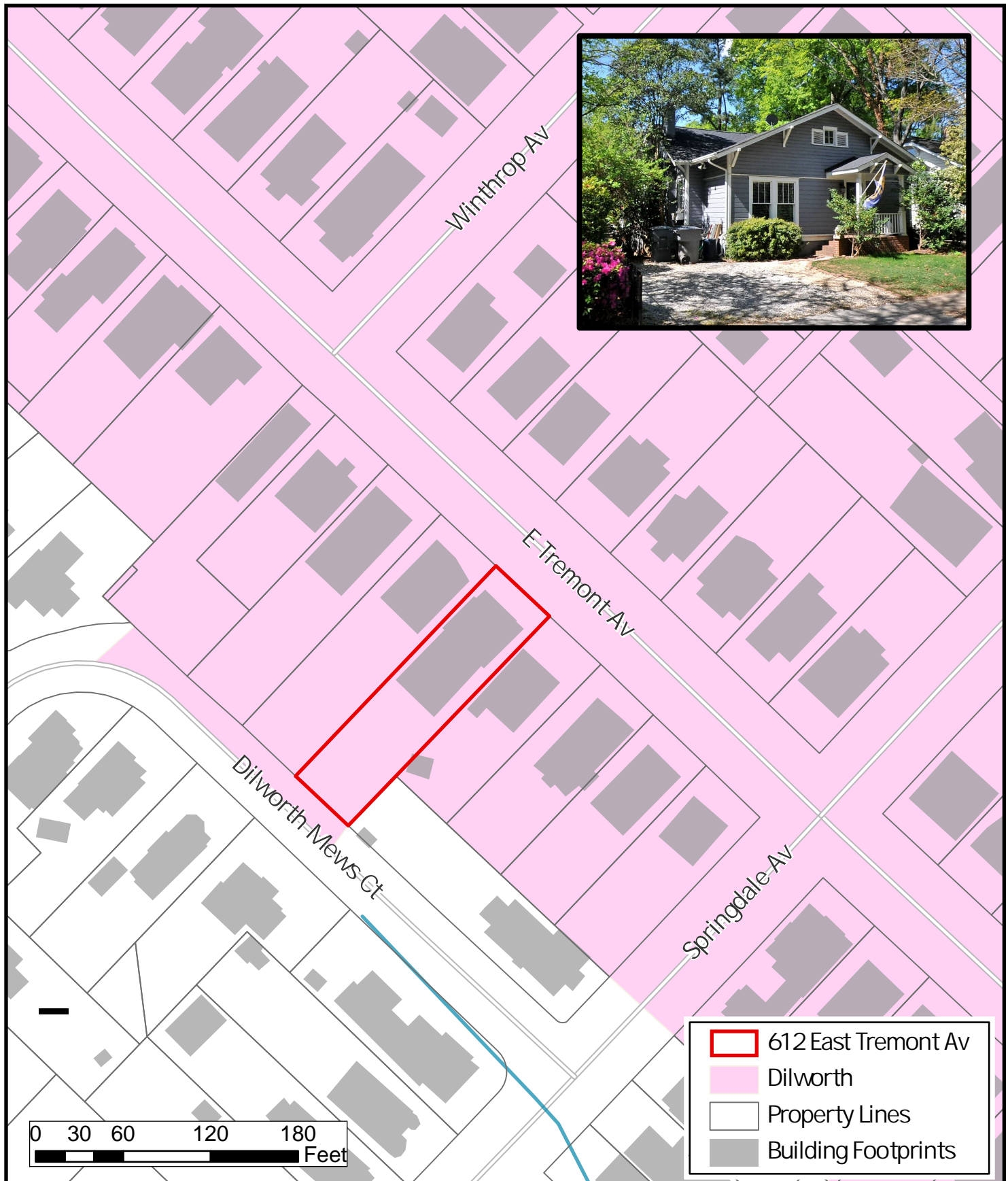
1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

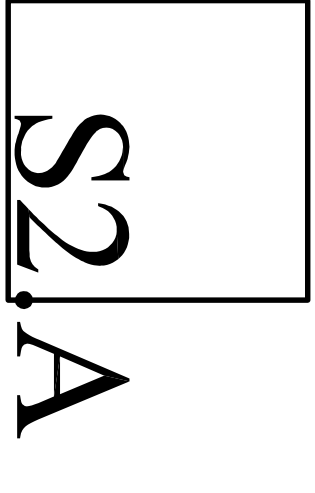
| All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria | | | Page # |
|---|---|--|---------|
| Setback | in relationship to setback of immediate surroundings | | 6.2 |
| Spacing | the side distance from adjacent buildings as it relates to other buildings | | 6.3 |
| Orientation | the direction of the front of the building as it relates to other buildings in the district | | 6.4 |
| Massing | the relationship of the buildings various parts to each other | | 6.5 |
| Height and Width | the relationship to height and width of buildings in the project surroundings | | 6.6 |
| Scale | the relationship of the building to those around it and the human form | | 6.7 |
| Directional Expression | the vertical or horizontal proportions of the building as it relates to other buildings | | 6.8 |
| Foundations | the height of foundations as it relates to other buildings in project surroundings | | 6.9 |
| Roof Form and Materials | as it relates to other buildings in project surroundings | | 6.10 |
| Cornices and Trim | as it relates to the stylistic expression of the proposed building | | 6.11 |
| Doors and Windows | the placement, style and materials of these components | | 6.12 |
| Porches | as it relates to the stylistic expression of the proposed building and other buildings in the district. | | 6.14 |
| Materials | proper historic materials or approved substitutes | | 6.15 |
| Size | the relationship of the project to its site | | 6.2 & 3 |
| Rhythm | the relationship of windows, doors, recesses and projections | | 6.12 |
| Context | the overall relationship of the project to its surroundings. | | 6.1-16 |
| Landscaping | a tool to soften and blend the project with the district | | 8.1-11 |

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for Additions, 7.2.
2. Minor revisions may be reviewed by staff.





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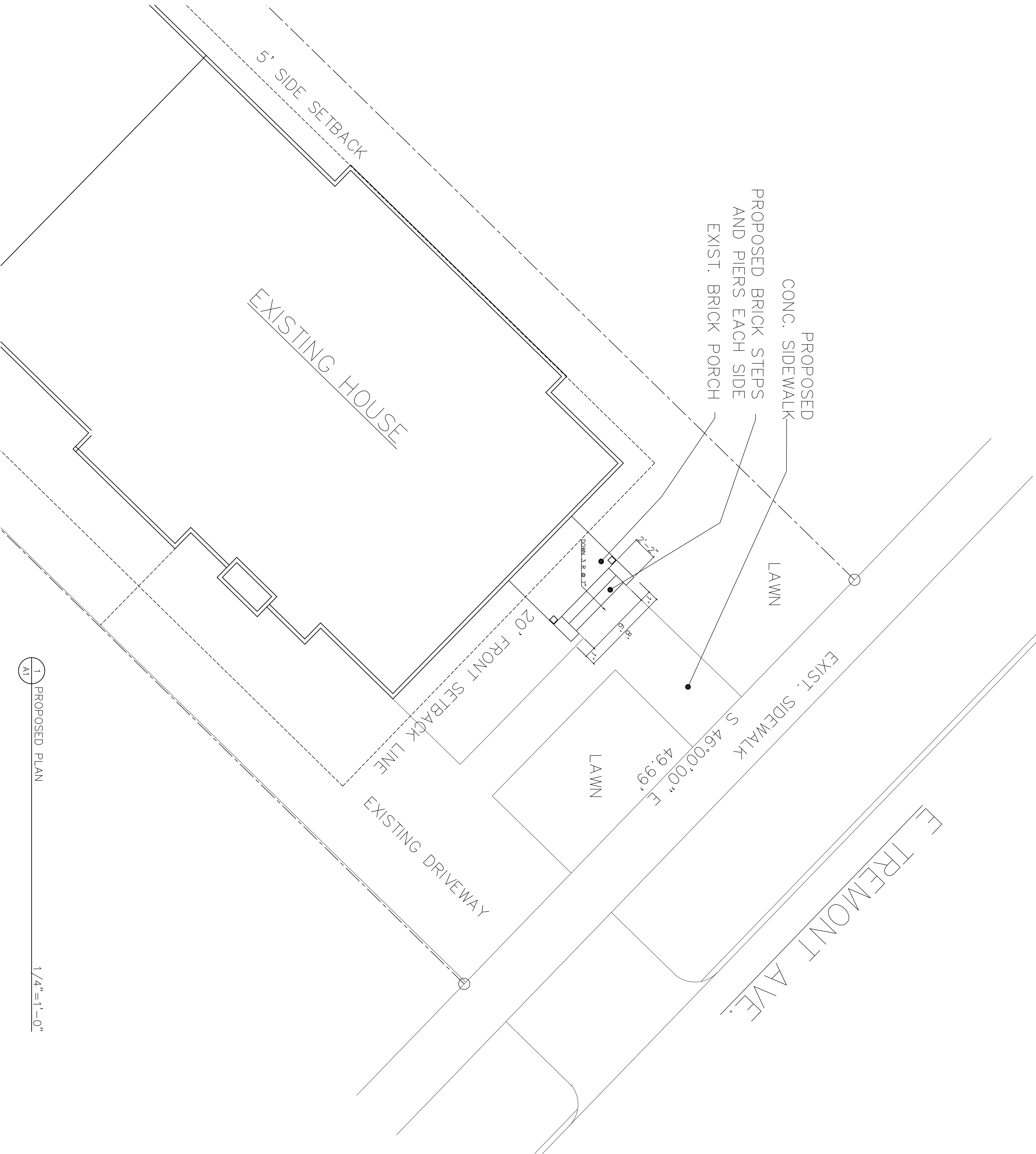
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KNAUFF
 RESIDENCE
 612 E. TREMONT

CHARLOTTE, NC

FRONT
PORCH STEPS
ADDITION
PLAN

4/25/19



1
A1

$$\underline{1/4'' = 1' - 0''}$$

AI



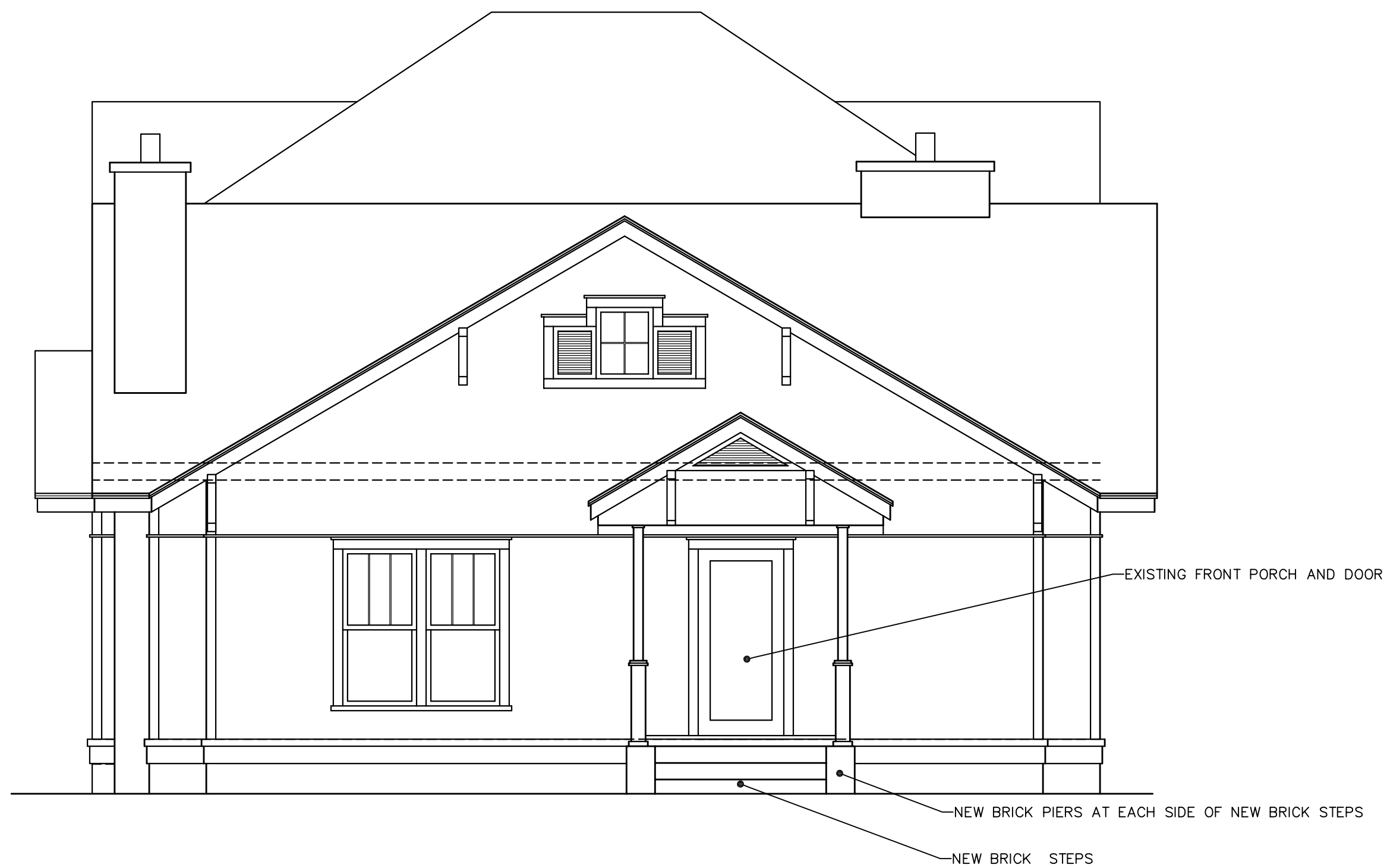
4 PROPOSED RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION MIRROR IMAGE 1/4"=1'-0"



3 EXISTING RIGHT SIDE ELEVATION 1/4"=1'-0"

KNAUFF
RESIDENCE
612 E. TREMONT

CHARLOTTE, NC



2 PROPOSED FRONT ELEVATION 1/4"=1'-0"



1 EXISTING FRONT ELEVATION 1/4"=1'-0"

FRONT
PORCH STEPS
ADDITION
ELEVATIONS

4/25/19



600 E Tremont Ave



608 E Tremont



620 E Tremont



612 E Tremont



616 E Tremont



612 E Tremont Current Photo











