
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1751 Merriman Avenue

SUMMARY OF REQUEST: Non-traditional materials

APPLICANT/OWNER: Morgan McGrann

Details of Proposed Request

Existing Conditions

The house is a one-story American Small House with Tudor Revival elements constructed in 1949. Exterior features include a prominent brick chimney, fixed diamond pane window, small engaged front porch, wood windows in a 1/1 pattern, and German-lap wood siding.

Proposal

The proposed project request is to remove the original German-lap wood siding from the main house and install new Nichiha Savannah Smooth fiber cement siding on both the main house and the rear addition. All window trim, corner boards, roof trim, etc. is also proposed to be changed from wood to fiber-cement on both the original house and the addition. Requesting painted brick foundation on the rear addition to match existing painted foundation on the original house. A new driveway measuring approximately 18' wide + 2' of decorative pavers and 51.3" long is also proposed.

Due to size and location, the rear addition itself is eligible for Administrative approval; however, the siding/trim material changes to the main house, proposed driveway, and painted brick foundation on the addition all require HDC approval.

Design Guidelines – Building Materials: Wood, page 5.2.

Properly maintained wood can last decades and even centuries.

1. Retain wood as one of the dominant framing, cladding, and decorative materials.
2. Retain wood features that define the overall character of the building.
3. Repair rotted or missing sections rather than replace the entire element.
4. Use new or salvaged wood, epoxy consolidants, or fillers to patch, piece, or consolidate parts.
5. New wood components (siding, trim, columns, etc.) should not have visible knots and markings once painted.
6. Match existing historic materials and details.
7. Replace wood elements only when they are rotted beyond repair. Do not use cementitious, vinyl, aluminum, composite, engineered wood, or fiberglass siding to replace original irreparable wood siding.
8. Match the original in material and design or use surviving material.
9. Base the design of reconstructed wood elements on pictorial or physical evidence from historic sources.
10. Do not use synthetic siding, such as vinyl or aluminum to cover existing wood.

Design Guidelines –New Construction, Materials page 6.15

1. Use compatible traditional materials such as brick, stucco, stone, and wood. Avoid split-faced block, and any material, color, or texture that is in stark contrast to the historic context.
2. While wood is the most appropriate material for new houses, non-grained cementitious siding may be permitted for new construction. Smooth cementitious or composite siding that matches the traditional dimension of wood siding is permitted for new accessory buildings. Additions to historic structures using non-traditional materials will be evaluated on a case by case basis.
3. Vinyl, cellular PVC, particle board/engineered wood, aluminum or other metal sidings are not allowed on either existing buildings or new construction in the historic districts.
4. While wood is the first choice for elements such as trim, porch elements, and other decorative features, substitute materials may be considered for trim details on new construction.

Design Guidelines – Sidewalks and Parking, page 8.2

For Residential Projects:

1. Retain existing historic walkways
2. Walks and walkways in front and side yards or those that are substantially visible from the street in new construction should follow the historic design precedents of their surrounding environment.
3. Retain existing historic driveways.
4. Driveways made of twin parallel paved strips are considered important historic features and should be maintained where possible. This type of driveway design can be used in new construction where appropriate.
5. For new construction, provide driveways to the side of the new building. New driveways should be as narrow as possible.
6. Do not place paved areas for parking in the front yard. In smaller-scale residential parcels, driveways that stop at the original building façade are viewed as front yard parking pads, and thus are prohibited. All driveways for residential uses should extend to at least the rear building line.
7. Repair damaged areas with materials that match the original paving in color, size, texture, and finish. Ensure any new paving material is compatible with the character of the context of the project. Asphalt paving is not allowed for sidewalks, curb cuts, and aprons.
8. Do not pave up to the foundation. A planting strip approximately 6"-12" wide should be left between the drive and house.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Staff Recommendation

1. The Commission will determine the appropriate course of action for non-traditional material use, the proposed driveway, and the painting of the rear addition foundation.
2. Minor revisions may be reviewed by staff.

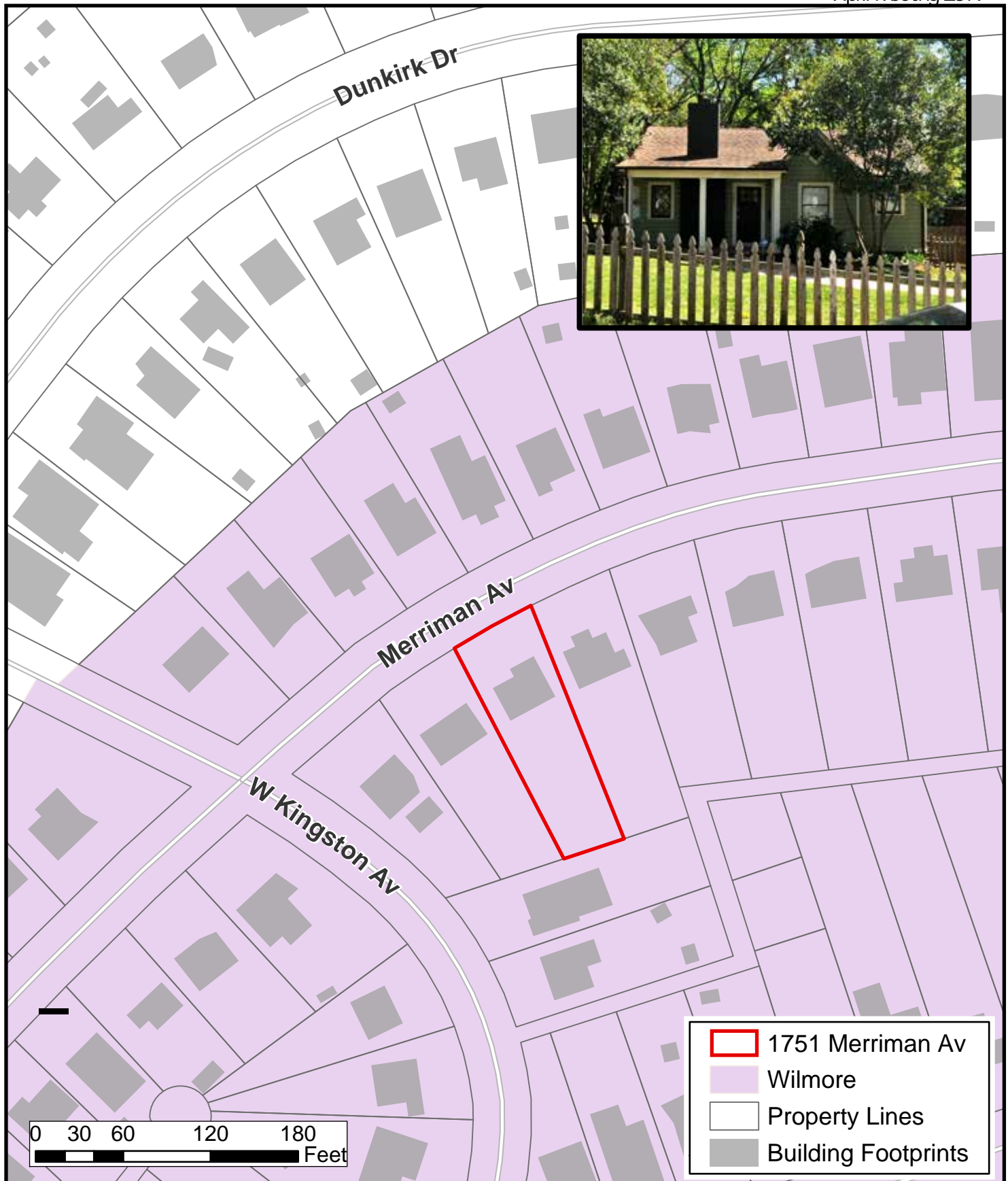


HDC-2019-00157

PID: 11909529

LOCAL HISTORIC DISTRICT: WILMORE
PROPOSED PROJECT: ALTERNATIVE MATERIALS

April Meeting 2019



1751 Merriman Ave
Charlotte, NC 28203

Addition and remodel

Existing
Conditions:





Adjacent Structures:



Adjacent Structures

REAR YARD CALCULATION:

Rear yard = 5069

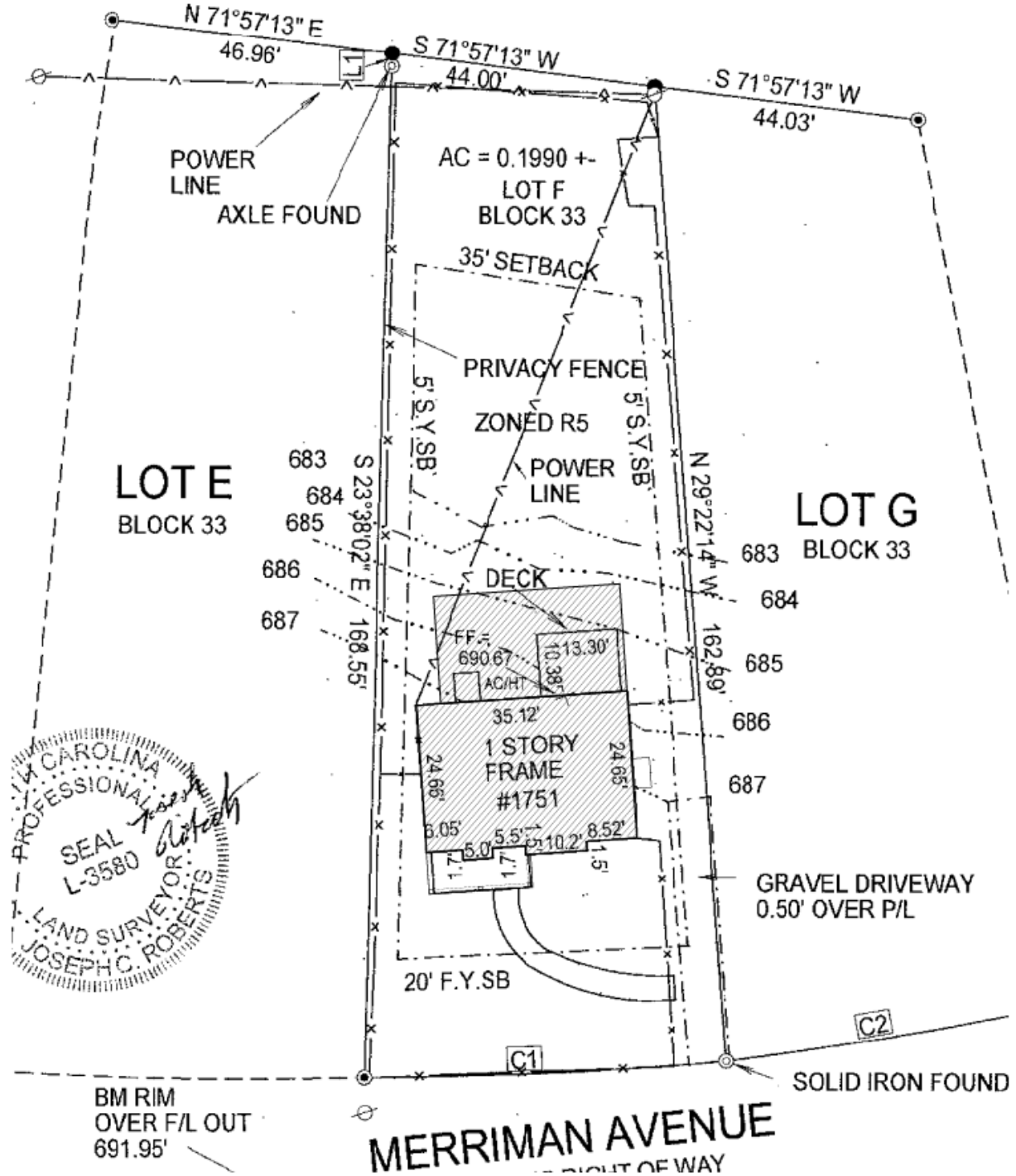
18' deep addition and
31'3" wide = 558 sq ft

$5069 - 558 = 4511 \text{ sqft}$

Post completion
Permeable 89%

Site Plan:
Existing and
Proposed

The existing deck will be
removed to make space
for the addition off the
back of the house



Front Elevations
(no change)

Original



Siding will be Nichiha Smooth: fiber cement through the addition and the existing structure.
7.25"

FRONT
SCALE : 1/4" = 1'-0"

Painted brick foundation to match current painted brick

Proposed

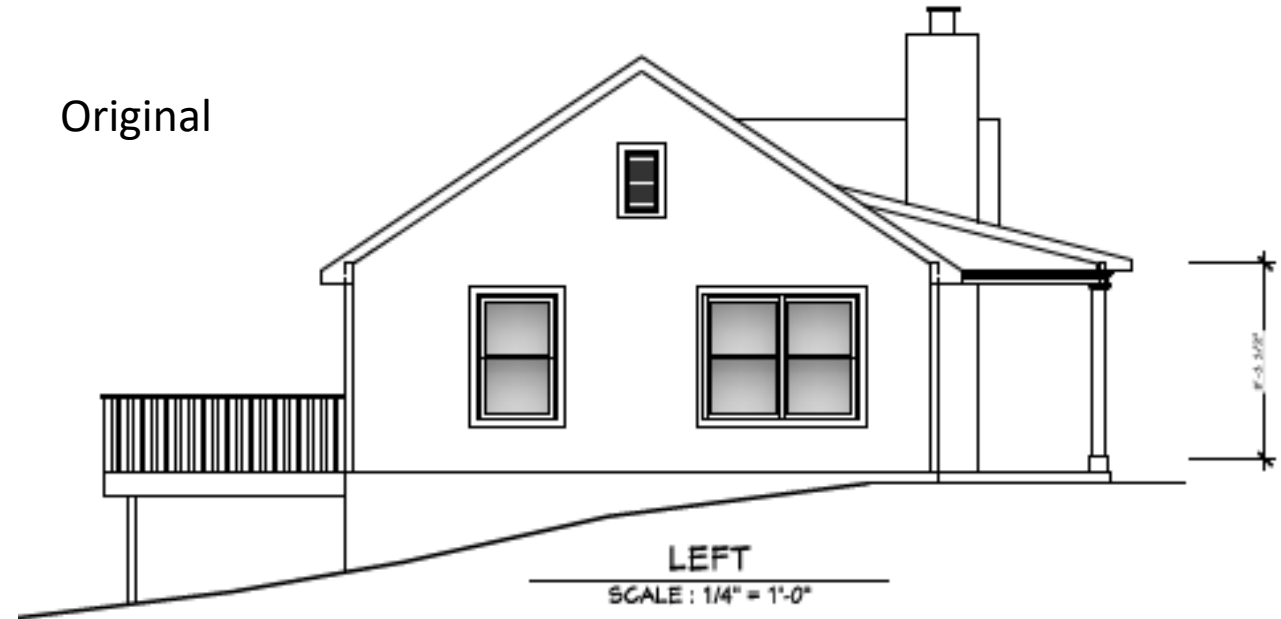


Current gutters will be extended on addition to match

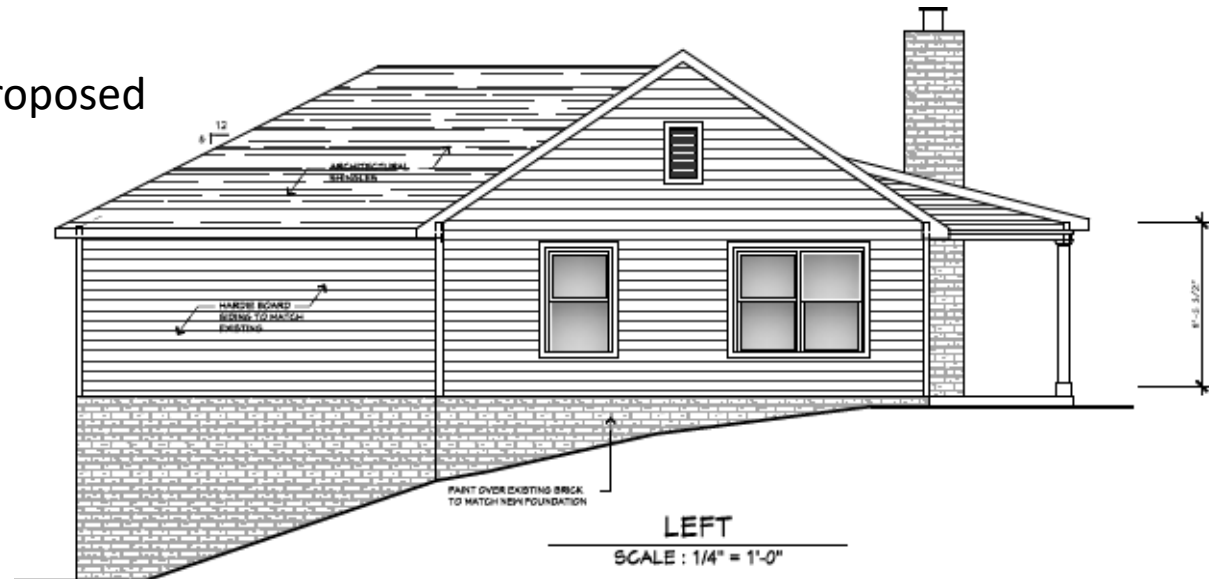
FRONT
SCALE : 1/4" = 1'-0"

Left side: existing and proposed

Original



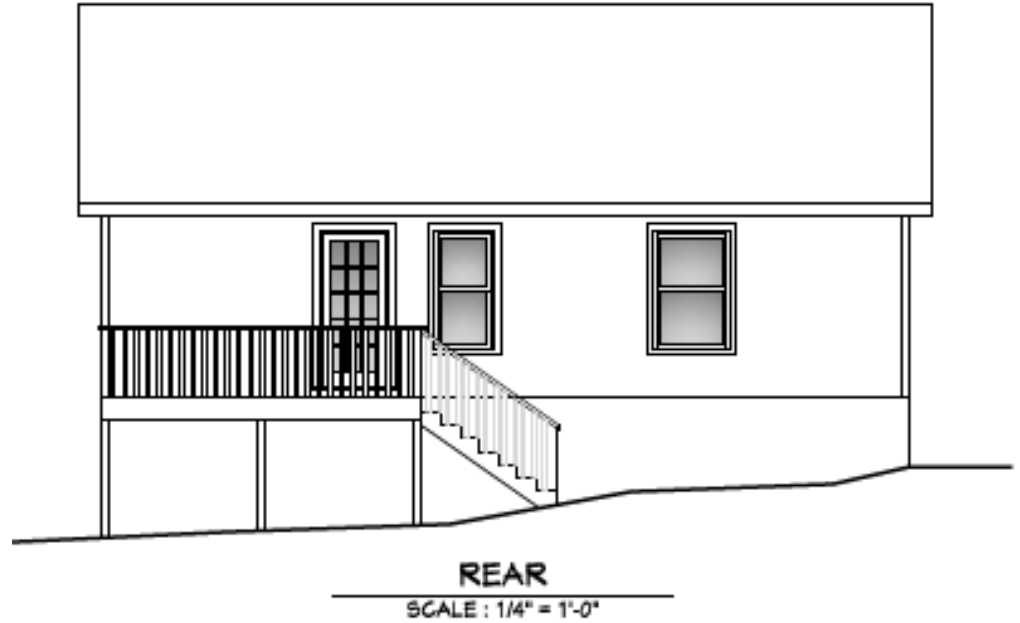
Proposed



Rear elevations: existing and proposed

Is it possible to have the siding approved to also be just below the window and matching along the side ?

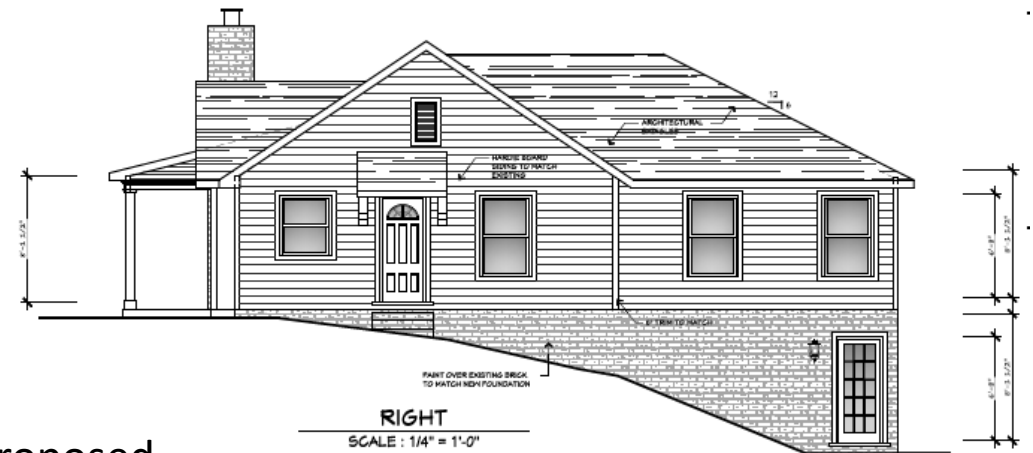
Original



Proposed



Right side elevations: existing and proposed



proposed

No change in street
scope: see adjacent
structures slide

Architectural Detail :

Use existing door and match the door
for the two back French doors,



Match existing windows

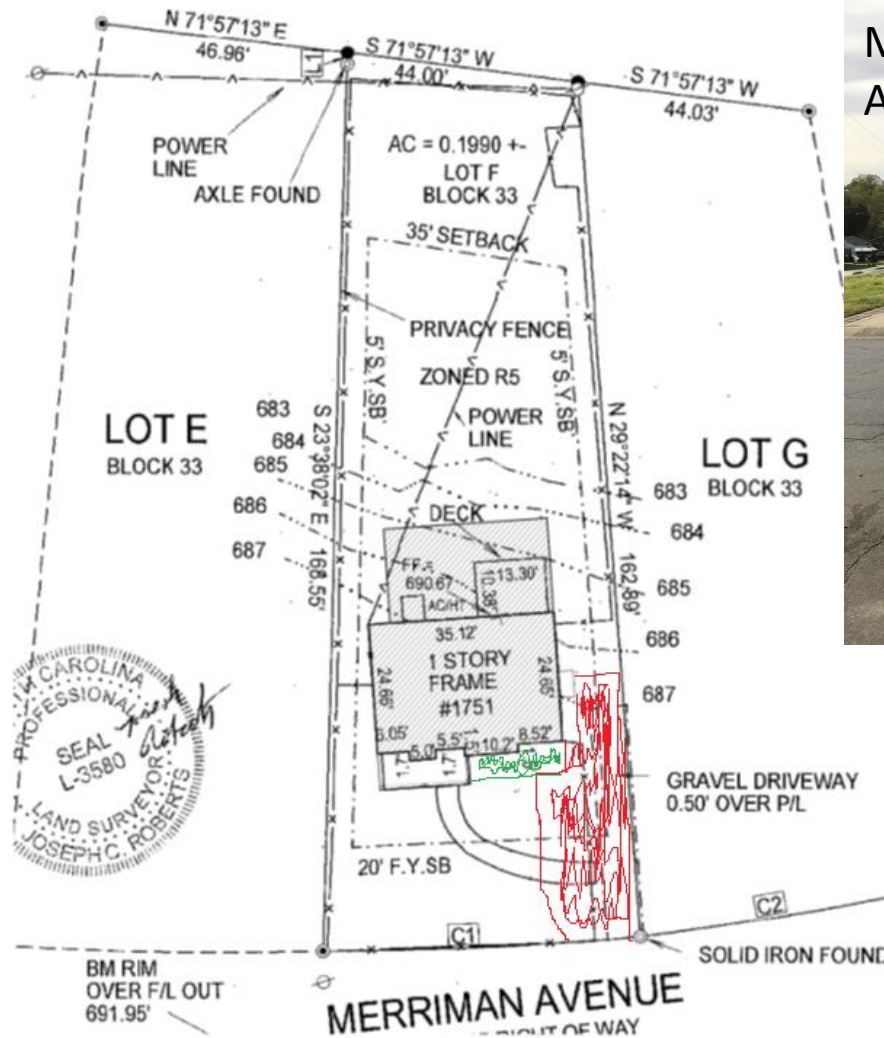


Match/Replace existing trim that is
rotted



Driveway

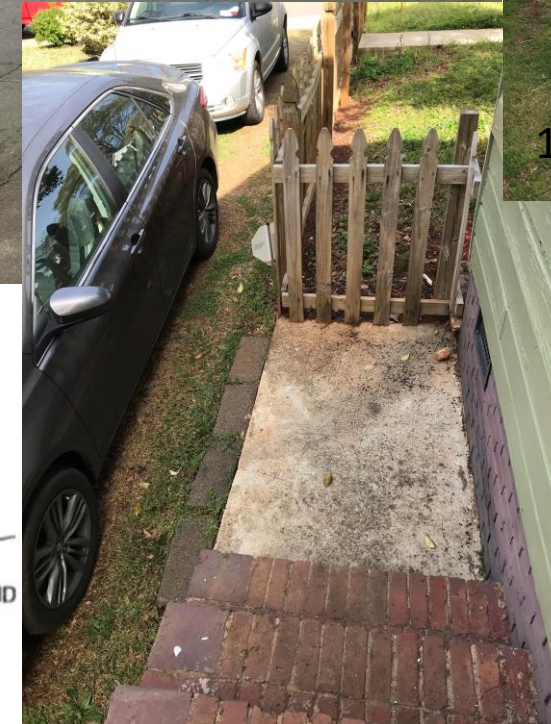
Red is proposed concrete,
green is proposed garden.



1768
Merriman
Ave



1747 Merriman Ave



My current driveway is on my neighbors yard. They have asked me not to put concrete down on their property. I am proposing a driveway that would be 18 ft of concrete and two feet of decorative pavers/rock with me cutting down a fence and shortening the existing sidewalk. The way my porch stairs and existing concrete are on my house is shown above.

Can you approve the staff approval please?