
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1915 Ewing Avenue

SUMMARY OF REQUEST: Driveway, Fence, Landscape/Site Features

APPLICANT/OWNER: John Lashley, applicant / Lisa Higgins, owner

Details of Proposed Request

Existing Conditions

The existing structure is a 2- story brick single-family house, originally constructed as apartments c. 1940. Original architectural features include brick quoin details at the corners, deep overhangs, and a red tile roof. The front porch was added c. 2007-2008. Adjacent structures are 1-2 story residential buildings. The lot size is approximately 65' x 174'.

Proposal

The proposal includes the following:

1. Remove existing arched-top shadowbox-style wood fence. Rebuild fence in a design to match existing but continue it forward on the property to the front corners of the house.
2. Addition of a 7'-tall metal driveway gate and brick columns to connect the fence to the front corner of the house on the left side. A new 6'-tall man-gate will connect the fence to the front corner of the house on the right side.
3. Re-grade front yard to eliminate the single concrete step in the front walkway.
4. Install new brick steps that measure approximately 6' in width and new brick knee walls. Both the steps and knee walls are proposed to be capped with bluestone.
5. Remove existing concrete front walkway. Install new 9'-1" wide walkway with a cobblestone-look paver.
6. Add a second cobblestone-look paver curved walkway to connect driveway to main walk.
7. Expand existing carriage track drive, concrete apron, and curbcut to 13'-6" wide, existing is 9'-7". The driveway will be widened by adding cobblestone-look pavers on the outsides of the carriage tracks, with the new pavers running up to the house foundation. The front section of paver drive will be altered to concrete carriage tracks with paver surrounds to match the rest of the proposed driveway.
8. Addition of a dry-stack stone landscape wall around landscape beds in the front of the house.
9. A crawl space entrance will be constructed with brick and bluestone steps on the right side of the house.

Design Guidelines – Site Features, page 4.8

1. Use hardscape materials that complement the historic structure and property.

Design Guidelines – Materials, page 6.15

1. Use compatible traditional materials such as brick, stucco, stone, and wood. Avoid split-faced block, and any material, color, or texture that is in stark contrast to the historic context.

Design Guidelines – Sidewalks and Parking, page 8.2

For Residential Projects:

1. Retain existing historic walkways
2. Walks and walkways in front and side yards or those that are substantially visible from the street in new construction should follow the historic design precedents of their surrounding environment.
3. Retain existing historic driveways.
4. Driveways made of twin parallel paved strips are considered important historic features and should be maintained where possible. This type of driveway design can be used in new construction where appropriate.
5. For new construction, provide driveways to the side of the new building. New driveways should be as narrow as possible.
6. Do not place paved areas for parking in the front yard. In smaller-scale residential parcels, driveways that stop at the original building façade are viewed as front yard parking pads, and thus are prohibited. All driveways for residential uses should extend to at least the rear building line.
7. Repair damaged areas with materials that match the original paving in color, size, texture, and finish. Ensure any new paving material is compatible with the character of the context of the project. Asphalt paving is not allowed for sidewalks, curb cuts, and aprons.
8. Do not pave up to the foundation. A planting strip approximately 6"-12" wide should be left between the drive and house.

Design Guidelines – Fences and Walls, page 8.6

4. New fencing, if appropriate, should not exceed the average height of other fences and walls of surrounding properties with the height of the new fence or wall. In general, for fences facing the street in the front yard, the height of the support posts should not exceed thirty-six inches above grade, and the height of the pickets should not exceed thirty inches. Front fencing must be a balance of solid and void and cannot be solid
5. The style, scale, and detail of a new fence should reflect the style and period of the house and/or the street on which the house is located. In general, fence materials should relate to the original materials used on similar fences of the period. Chain link, vinyl, split rail fences, or bare concrete block walls are not allowed.
6. The structural members of any fence must face inward to the property being fenced. Fences where the structural members are an integral part of an overall design, and where both sides of the proposed fence are identical are allowed.
7. Wooden fences must be painted or stained to complement the historic character of the street and house.
8. Rear fencing may be a maximum of six feet in height, as measured from the outside at grade. On corner lots on residential streets, privacy fences in rear yards must be screened with appropriate landscaping materials on the public side of the fence.
9. Fencing must avoid any style that presents a long unbroken expanse. This includes stockade style fencing that does not have a minimum two-inch spacing between the pickets. Fences with horizontally-oriented rails should be of a design that incorporates vertical trim or structural members to break up long expanses.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

Staff has the following concerns with the proposal:

1. Fence design of arched-top shadowbox style panels butt-joined to 6x6 uprights is approvable by staff.
 - a. Height of fence as it comes down the sides of the house is not staff approvable.
 - b. When approving fences, staff typically requires the 6' portion end at the rear corner of the house (unless a side entry door is being captured), then step down to 5', then again to 4'.
2. 7' tall gate located at the front corner of the house.
 - a. When located at the front corner of a house, driveway gates are typically restricted to 4' in height.
3. The wide-variety of materials proposed including blue stone, dry-stacked stone, and cobblestone-look pavers. The house already has variety of materials including brick, a tile roof, and metal porch/entry roofs.
4. Installation of bluestone over brick steps and knee walls; traditional material would be no caps on the steps and a concrete caps or brick row-lock caps to the knee walls.
5. Width of the front walk at 9'-1".
6. Width of driveway at 13'-6".
7. Paving up to the foundation of the house.







EXISTING CONDITIONS



CONTEXT/ADJACENT STRUCTURES

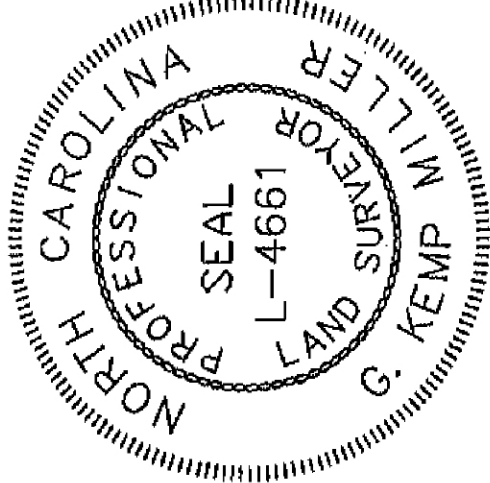
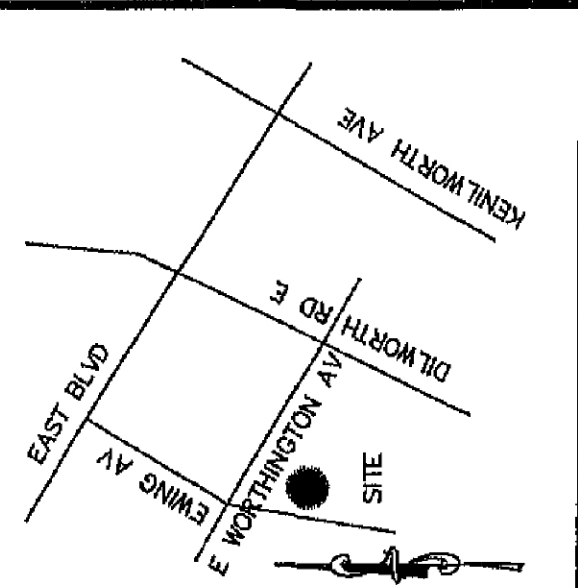


Polaris 3G Map – Mecklenburg County, North Carolina
1915 Ewing



1. THIS IS A CONCEPTUAL PLAN ONLY! THIS PLAN IS NOT INTENDED FOR CONSTRUCTION.

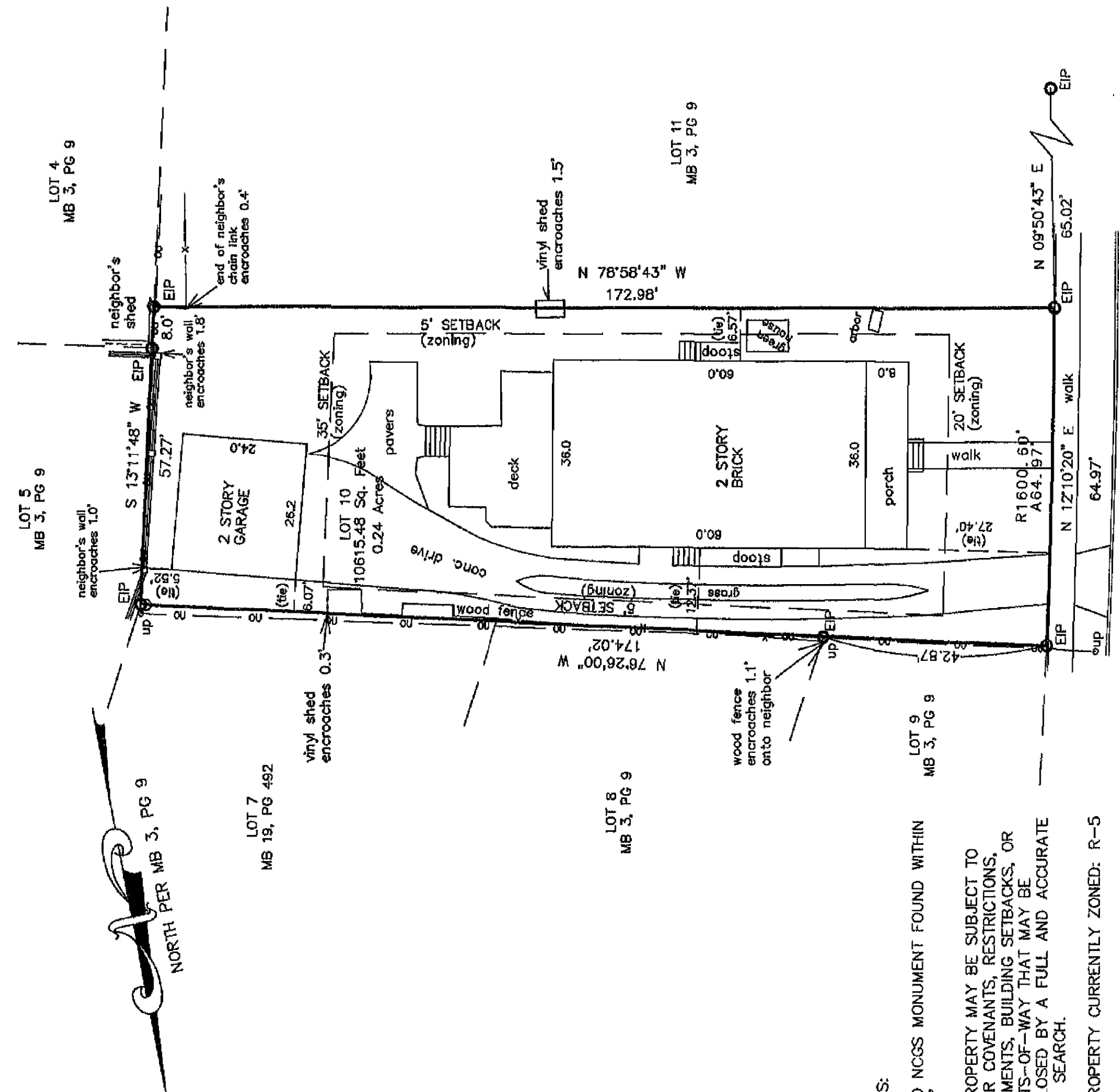
EXISTING SURVEY



I certify that this survey was completed under my direct supervision (as recorded in DB 28686, PG 280); the lines not surveyed were drawn from the deeds referenced on the adjoining lots; that the ratio of precision is 1:51286; and that this map meets the requirement of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).
This 5th day of April, 2018.

G. KEMP MILLER, PLS
7330 E. Lakeside Dr.
Charlotte, NC 28215
gkmsurvey@carolina.rr.com
704-577-6516

LOCATION MAP
NOT TO SCALE



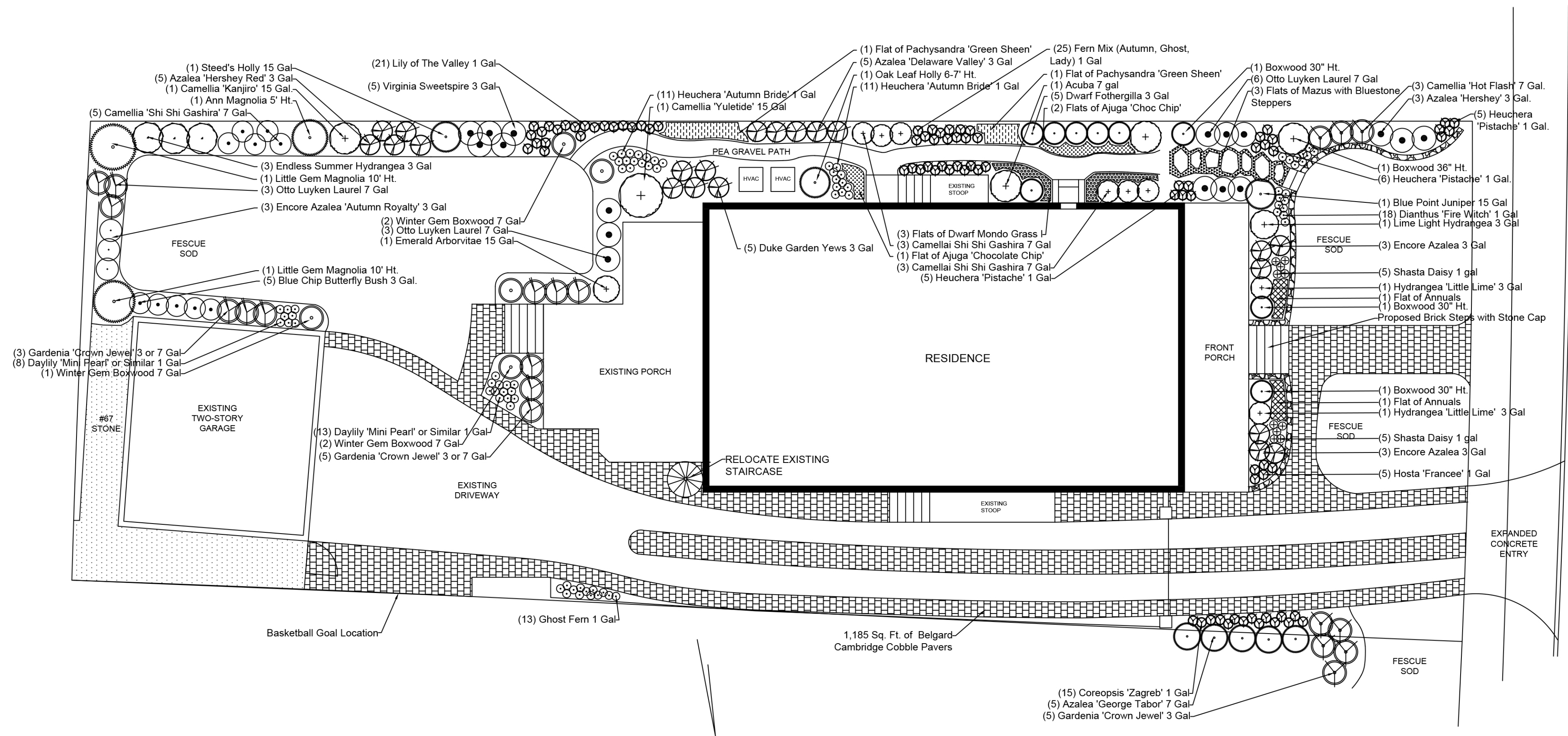
- NOTES:
1. NO NCGS MONUMENT FOUND WITHIN 2000'
 2. PROPERTY MAY BE SUBJECT TO OTHER COVENANTS, RESTRICTIONS, EASEMENTS, BUILDING SETBACKS, OR RIGHTS-OF-WAY THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
 3. PROPERTY CURRENTLY ZONED: R-5
 4. EIP = EXISTING IRON PIN
UP = UTILITY POLE
— or — = OVERHEAD UTILITY
 5. THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 3710454300L, DATED 2/19/14.
 6. THIS SURVEY CERTIFIES TO VISIBLE UTILITIES ONLY. THIS PROPERTY MAY BE SUBJECT TO SUB-SURFACE PRIVATE AND MUNICIPAL UTILITIES SERVING OTHER PROPERTIES.

PHYSICAL SURVEY OF
LOT 10, BLOCK 15 of DILWORTH

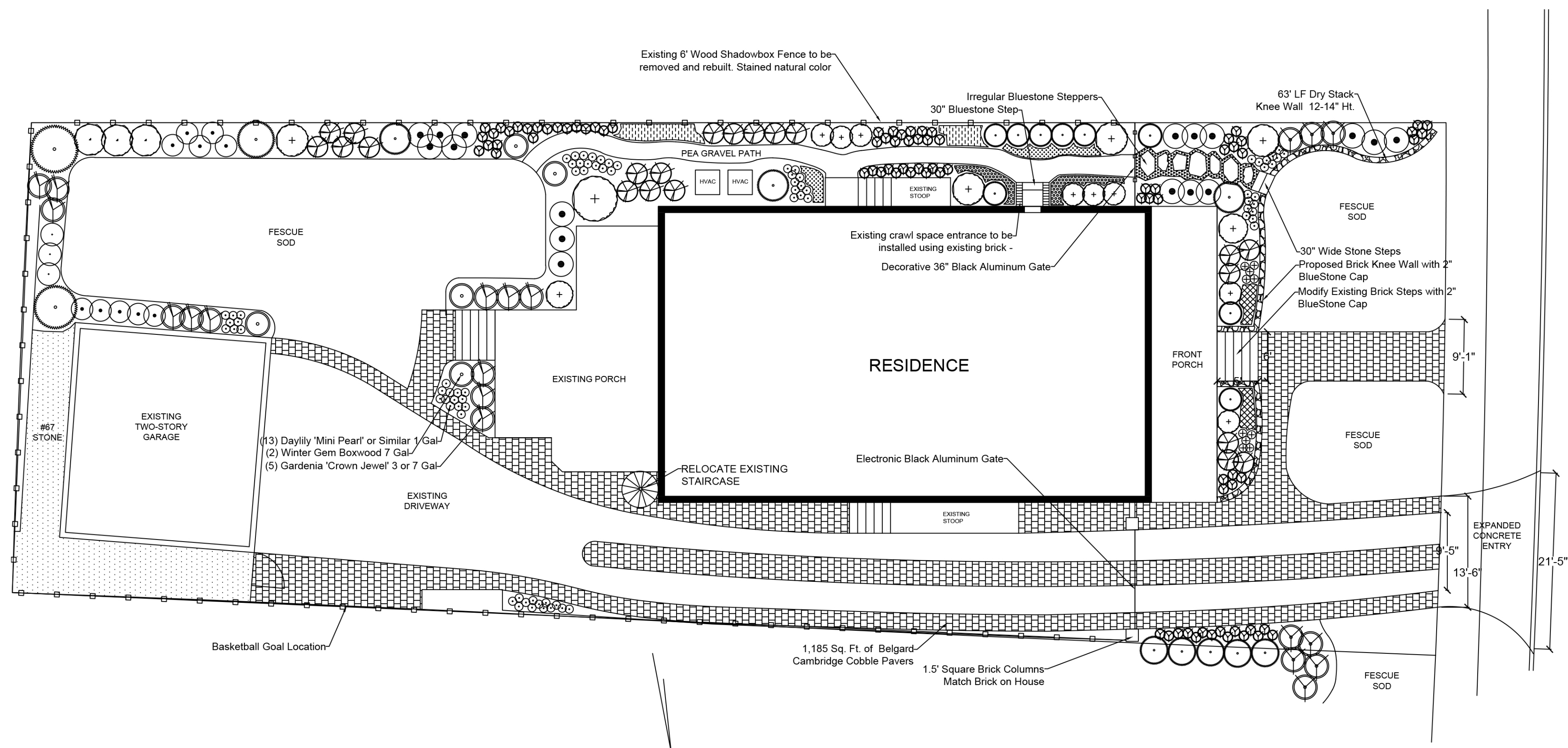
PROPERTY OF KEVIN and LISA HIGGINS

SCALE: 1"=30' CHARLOTTE, MECKLENBURG CO., NC DATE: 4/5/2018
AS RECORDED IN: MB 3, PG 9 PID# 121-116-02
FILE # 03255_Higgins 1915 EWING AVE. EOC >=1:10,000

PROPOSED LANDSCAPE PLAN



PROPOSED HARDSCAPE PLAN



EXISTING CONDITIONS



FRONT



RIGHT SIDE



BACK



LEFT SIDE

PROPOSED MATERIALS



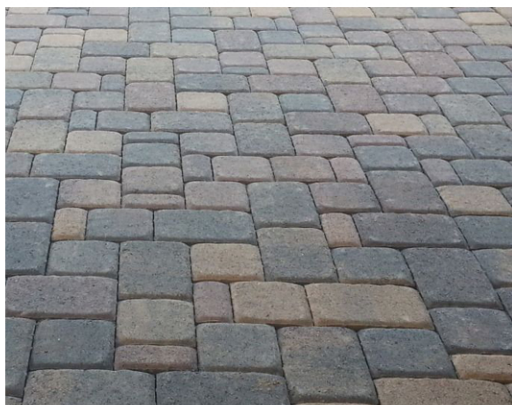
Bluestone Cap - Brick Wall



Brick Steps with Bluestone Cap



Driveway Gate & Brick Columns



Belgard Cambridge Cobble Pavers Driveway



NE River Jack Pea Gravel



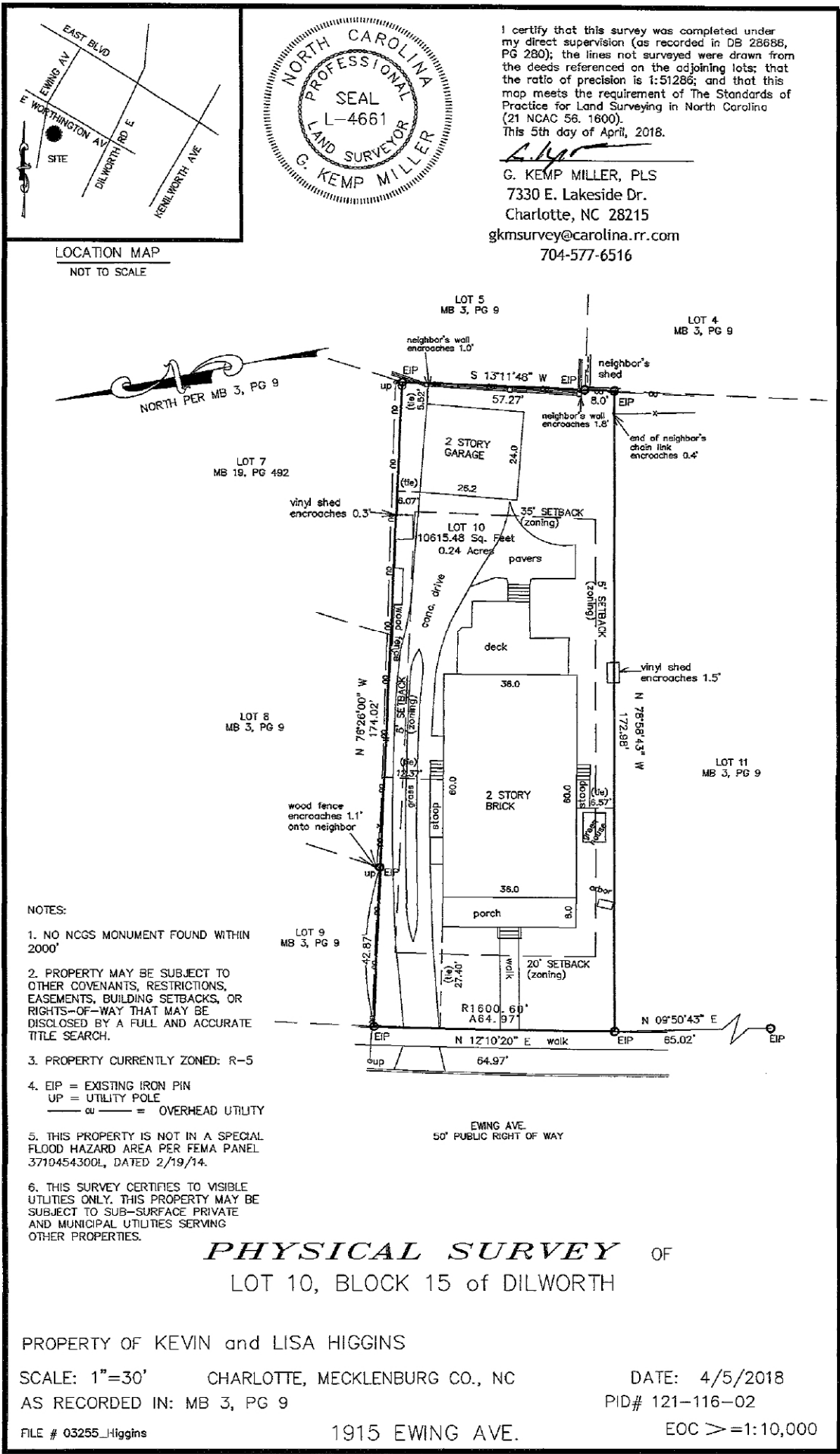
Bluestone Step Treads



Existing Brick - To be used were all proposed brick is specified



Existing Fence - To be removd and rebuilt



EXISTING SURVEY

NOTES:

1. THIS IS A CONCEPTUAL PLAN ONLY! THIS PLAN IS NOT INTENDED FOR CONSTRUCTION.
2. UNLESS OTHERWISE INDICATED IN THE DESIGN AGREEMENT, THIS PLAN IS THE PROPERTY OF BOWER DESIGN, LLC.
3. THE INTENT OF THIS DESIGN IS TO BE USED FOR LAYOUT PURPOSES ONLY. ALL PLANTING PLANS ARE SUBJECT TO CHANGE AND FIELD PLACEMENT.
4. ALL HARDSCAPE MATERIAL PROPOSED SHOULD BE INSTALLED BY A LICENSED CONTRACTOR.
5. ALL PLANT MATERIAL SHOULD BE IRRIGATED AND PRUNED AS NEEDED. CUSTOMER TO INSTALL ALL IRRIGATION.
6. RETAINING WALL INSTALLTION MUST ABIDE YORK COUNTY, SC BUILDING CODES

09/19/2018
1" = 10'
N

LANDSCAPE DESIGN PROJECT
THE HIGGINS RESIDENCE
1915 EWING AVENUE
CHARLOTTE, NORTH CAROLINA 28203

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