

**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 1700 Heathcliff/Westbrook

**SUMMARY OF REQUEST:** Tree Removal

**OWNER/APPLICANT:** Daimean Fludd, applicant

### **Details of Proposed Request**

#### *Existing Context*

The site is a triangular vacant lot at the end of a street and at the edge of the Wesley Heights Local Historic District. The site is approximately 10 feet above West 4<sup>th</sup> Street. There are mature trees on the site. There is not an established front setback on the street. The site has an unimproved alley on one side. The adjacent properties within the District are two story quadraplex buildings that are on a lower elevation. The adjacent single-family house is not in the District.

#### *Project*

The proposal is to obtain retroactive approval for tree removal. The Commission approved plans for new construction at its May 10, 2017 hearing and specifically stated in the motion that “no trees will be removed for construction.” The removed tree was not noted on the presented/approved site plan. The applicant has submitted a new site plan with all mature trees noted, including the removed tree and two large mature canopy trees located at the front of the lot.

*Note: The two mature canopy trees at the front of the lot are located within a few feet of the proposed front porch; a site condition that was not addressed during the May 10, 2017 hearing for the New Construction approval, so no tree protection plan was provided for these trees. (This is a similar condition to the 1912 S. Mint Street, New Construction, Case Number; 2016-166).*

### **Design Guidelines –Trees, page 8.5**

1. Retain existing trees that define the district’s character.
2. When tree removal is needed (due to disease or other reasons) or desired, a Certified Arborist must be consulted and the written recommendation must be provided to the HDC before removal is granted. This guideline includes trees in front, side, and rear yards.
3. Trees less than ten (10) inches in diameter may be removed in front, side, and rear yards with Administrative approval.
4. Identify and take care to protect significant existing trees and other plantings when constructing new buildings, additions, or site structures such as garages.
5. New construction that impacts healthy trees must be reviewed by the HDC. Mature trees that are unhealthy or causing significant structural damage to historic structures may reviewed by HDC staff. Replacement trees may be required.
6. The HDC may require the planting of additional trees to replace a mature canopy that is removed.

### **Staff Recommendation**

Staff has the following concerns:

1. A tree protection plan for the two mature canopy trees at the front of the lot should be provided to staff for review/approval within 30 days.
2. Minor revisions may be reviewed by staff (such as review/approval of replacement trees).



HDC-201900113

RD 0710117

LOCAL HISTORIC DISTRICT: WESLEY HEIGHTS

PROPOSED PROJECT: TREE REMOVAL

5 MARCH 2019



Westbrook Dr  
Charlotte, North Carolina



Google

Street View - Feb 2016











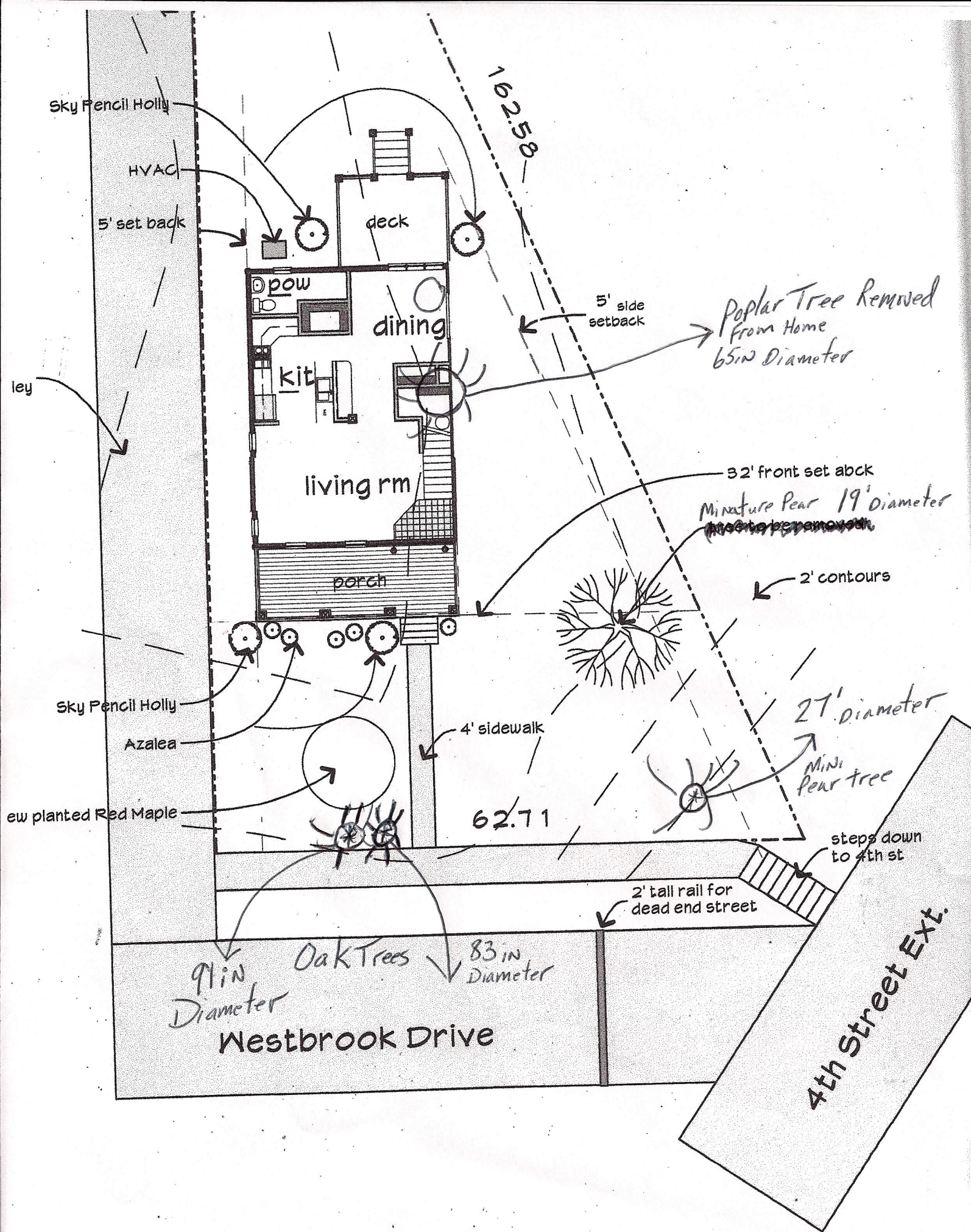
















HISTORIC DISTRICT COMMISSION  
May 10, 2017

MINUTES

**MEMBERS PRESENT:**

Mr. James Haden, Chair  
Mr. P. J. Henningson  
Ms. Jessica Hindman  
Mr. Damon Rumsch, Vice Chair  
Ms. Claire Stephens  
Ms. Jill Walker  
Ms. Mattie Marshall

**MEMBERS ABSENT:**

Ms. Jana Hartenstine  
Mr. Dominic Ristaino, 2<sup>nd</sup> Vice-Chair  
Ms. Deb Ryan  
Ms. Tamara Titus  
One Vacancy

**OTHERS PRESENT:**

Mr. John Howard, Administrator of the Historic District Commission  
Ms. Kristi Harpst, Staff of the Historic District Commission  
Ms. Wanda Birmingham, Staff of the Historic District Commission  
Ms. Linda Keich, Staff of the Historic District Commission  
Mr. Thomas Powers, Assistant City Attorney for the City of Charlotte  
Adkins Court Reporters

Chairman Haden called to order the Regular May meeting of the Historic District Commission at 1:07 pm. He began the meeting by introducing the Staff and Commissioners and explaining the meeting procedure. All interested parties planning to give testimony – FOR or AGAINST – must submit a form to speak and must be sworn in. Staff will present a description of the proposed project to the Commission. The Commission will first determine if there is sufficient information to proceed. If proceeding, Commissioners and the applicants will then discuss the project. Audience members signed up to speak either FOR or AGAINST will be called to the podium for each agenda item. Presentations by the applicants and audience members must be concise and focused on the **Policy & Design Guidelines**. The Commission and Staff may question the Applicant. The Applicant may present sworn witnesses who will be subject to questioning by the Commission and Staff. The Applicant will be given an opportunity to respond to comments by interested parties. After hearing each application, the Commission will review, discuss, and consider the information that has been gathered and presented. During discussion and deliberation, only the Commission and Staff may speak. The Commission may vote to reopen this part of the meeting for questions, comments, or clarification. Once the review is completed, a MOTION will be made to Approve, Deny, or Continue the review of the application at a future meeting. A majority vote of the Commission members present is required for a decision to be reached. All exhibits remain with the Commission. If an Applicant feels there is a conflict of interest of any Commissioner, or there is an association that would be prejudicial, that should be revealed at the beginning of the hearing of a particular case. The Commission is a quasi-judicial body and can accept only sworn testimony. Staff will report any additional comments received and while the Commission will not specifically exclude hearsay evidence, it is only given limited weight. Appeal from the



Historic District Commission is to the Zoning Board of Adjustment. One has sixty (60) days from the date of the decision to appeal. This is in accordance with Section 10.213 of the City Zoning Ordinance. Chairman Haden asked that everyone please turn to silent operation any electronic devices. Commissioners are asked to announce, for the record, if one leaves or arrives during the meeting. Mr. Haden said that those in audience must be quiet during the hearings. An audience member will be asked once to be quiet and the need for a second request will be removal from the room.

Index of Addresses:

**CONTINUED**

HDC 2016-324, 1816 Wickford Place (lot 4)	Wilmore
HDC 2017-090, 617 W. Park Avenue	Wilmore
HDC 2017-114, 1824 S Mint Street	Wilmore
<b>HDC 2017-167, 1700 Heathcliff Street</b>	<b>Wesley Heights</b>
HDC 2017-162, 709 Woodruff Place	Wesley Heights

**NEW APPLICATIONS**

HDC 2017-305, 1825 Merriman Avenue	Wilmore
HDC 2017-151, 520 E. Kingston Avenue	Dilworth
HDC 2017-272, 1414 The Plaza	Plaza Midwood
HDC 2017-298, 243 W. Park Avenue	Wilmore
HDC 2017-277, 121 Hermitage Road	Hermitage Court
HDC 2017-184, 229 N. Church Street	Fourth Ward
HDC 2017-284, 1330 Pecan Avenue	Plaza Midwood

- 
- **MR. HENINGSON DECLARED A CONFLICT OF INTEREST AND REMOVED HIMSELF FROM THE COMMISSION FOR THE FIRST APPLICATION HEARD.**
- 

**APPLICATION: HDC 2017-243, 243 W. PARK AVENUE – SUBSTITUTE MATERIAL**

***EXISTING CONDITIONS***

The existing structure is a c. 1926 one story Queen Anne Victorian Cottage. A COA was issued September 2016 for a rear addition, windows, doors, and siding repair/replacement. A Stop Work order was issued March 2017. The siding being installed is for a siding material that cannot be approved administratively.

***PROPOSAL***

The applicant is applying for the use of Smartside siding, an engineered wood product with a wood grain finish that has already been installed partly.

***STAFF RECOMMENDATION***

The Commission will determine if the siding material is appropriate for the main structure or if another material is more appropriate or if an exception is warranted.

**FOR/AGAINST:** No one accepted Mr. Haden's invitation to speak either **FOR** or **AGAINST** the application.

**MOTION:** Based on non-compliance with ***Policy & Design Guidelines – Materials***, and no exception warranted, Mr. Rumsch made a **MOTION** to **DENY** this application per new guideline 5.2 #5,



house. The garage is setback approximately 25' from the rear property line. Two mature trees will be removed and new trees planted.

***Revised Proposal – May 10, 2017***

1. The left side elevation includes a new window pattern and second floor balcony.
2. Trees to be removed and planted are identified on the site plan.
3. The driveway width along the side street is one car wide.
4. The garage and house are both shown on the elevations.

**STAFF RECOMMENDATION**

The Commission will determine if the proposal meets the guidelines for new construction.

**FOR/AGAINST:** No one accepted Mr. Haden's invitation to speak either **FOR** or **AGAINST** the application.

**MOTION:** Based on compliance with ***Policy & Design Guidelines – New Construction***, Ms. Hindman made a **MOTION** to **APPROVE** this application with revised drawings to staff for probable approval. The revised drawings will show:

- Divided lights in transom windows.
- Front elevation level 2 windows to be casements or awnings with divided lights, proportional to main windows.
- Brackets added to support balcony on W. Worthington Avenue elevation.

***Mr. Henningson seconded.***

**VOTE:** 6/0      **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

**NAYS:** NONE

**DECISION:**      **APPLICATION FOR NEW CONSTRUCTION APPROVED WITH REVISED DRAWINGS TO STAFF FOR PROBABLE APPROVAL.**

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**APPLICATION:    HDC 2017-167-1700 HEATHCLIFF STREET – NEW CONSTRUCTION**

This application was continued from April because an opposing party wanted to submit documents in the absence of the applicant.

A single family house was approved by the HDC in 2014 (2014-070). The project did not begin and the Certificate of Appropriateness has expired. The applicant is requesting approval of the previous plans on this oddly shaped lot.

**EXISTING CONDITIONS**

The site is a triangular vacant lot at the end of a street and at the very edge of the Wilmore Local Historic District. The site is approximately 10 feet above West 4<sup>th</sup> Street. There are mature trees on the site. There is not an established front setback on the street. The site has an unimproved alley on one side. The adjacent property within the District is a two story quadraplex. The adjacent single family house is not in the District.

**PROPOSAL – AUGUST 13, 2014**

The proposal is a new two story single family home with a continuous gable roof from front to rear. Primary exterior materials are wood siding, brick, and a standing seam metal roof (front elevation). The height from grade is approximately 30'-8".



**STAFF RECOMMENDATION**

The Commission will determine if the proposal meets the guidelines for new construction.

**FOR/AGAINST:** Adjacent Property Owner Rachel Ortez spoke in opposition to the application.

**MOTION:** Based on compliance with **Policy & Design Guidelines – New Construction**, Ms. Hindman made a **MOTION** to **APPROVE** this application and reinstate the previous approved COA based on the current guidelines. No trees will be removed for construction.

**Mr. Rumsch seconded.**

**VOTE:** 6/0      **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

**NAYS:** NONE

**DECISION:** APPLICATION FOR NEW CONSTRUCTION APPROVED

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**APPLICATION: HDC 2017-162 -709 WOODRUFF PLACE – ADDITION**

The project was continued for the more information on the following: 1) Historic precedent for porch roof and column design, 2) Additional material details.

**EXISTING CONDITIONS**

The existing structure is a c. 1941 one story American Small House style. Architectural features include a front facing gable and prominent chimney.

**PROPOSAL**

The project is the construction of a wood canopy over the front entrance. The applicant has submitted additional information on materials, dimensions and an example of a neighboring property that matches what the applicant intends to build.

**STAFF RECOMMENDATION**

The Commission will determine if the proposal meets the guidelines for additions. The guidelines for setback and fenestration do not apply.

**FOR/AGAINST:** No one accepted Mr. Haden's invitation to speak either **FOR** or **AGAINST** the application.

**MOTION:** Based on compliance with **Policy & Design Guidelines - Additions**, Ms. Stephens made a **MOTION** to **APPROVE** this application with revised drawings to staff for probable approval. The revised drawings will show:

- Face of beam aligns with neck of column on both front and side.
- Overhang on eaves will match existing.
- Rake and eave to match existing.

**Ms. Hindman seconded.**

**VOTE:** 6/0      **AYES:** HADEN, HINDMAN, HENNINGSON, RUMSCH, STEPHENS, WALKER

**NAYS:** NONE





CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2017-00167

DATE: March 21, 2018

ADDRESS OF PROPERTY: 1700 Heathcliff Street

TAX PARCEL NUMBER: 07101117

HISTORIC DISTRICT: Wesley Heights


APPLICANT/OWNER(S): Daimean Fludd

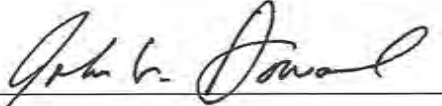
**DETAILS OF APPROVED PROJECT:** The project is the construction of a new two story single family house. The front setback is 32' from ROW. New landscaping and tree removal are noted on the site plan, mechanical units are located in the rear yard. Primary exterior materials are wood siding, brick and a standing seam metal roof on the front elevation. Front porch deck material is tongue and groove wood. Deck boards installed perpendicular to the front wall. Windows are wood or metal clad over wood. The height from grade is approximately 30'-8".

The project was approved by the HDC May 10, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

  
James Haden, Chairman

  
Staff



#2 southern yellow pine				
floor joist				
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	14'-2" 18'-0"	12'-10" 16'-1"	11'-0" 13'-2"
30 psf live load 10 psf dead load (sleeping rooms & L/3 & 0)	2x8 2x10	15'-7" 19'-10"	14'-2" 18'-0"	12'-4" 14'-8"
ceiling joist				
20 psf live load 5 psf dead load (drywall ceiling & L/240)	2x8 2x10	15'-8" 20'-1"	13'-6" 17'-5"	11'-0" 14'-2"
20 psf live load 1 psf dead load	2x8 2x10	17'-0" 22'-5"	15'-2" 19'-8"	12'-5" 16'-1"
30 psf live load 1 psf dead load	2x8 2x10	14'-10" 19'-5"	13'-0" 18'-10"	10'-7" 13'-5"
40 psf live load 1 psf dead load (slope over 3/12 & no finished ceiling & L/180)	2x8 2x10	13'-4" 17'-3"	11'-6" 14'-11"	9'-5" 12'-2"
#2 S-P-F (spruce-pine-fir)				
floor joist				
40 psf live load 10 psf dead load (all rooms except sleeping)	2x8 2x10	13'-6" 17'-3"	12'-3" 15'-5"	10'-3" 12'-7"
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## abbreviations

c.j.	ceiling joist
cig.	ceiling
CMU	concrete masonry unit
C.O.	cased opening
conc.	concrete
CT.	ceramic tile
dol.	double
dj.	double joist
ew.	each way
fj.	floor joist
ftg.	footing
HVAC	heating/ventilating/air conditioning
isl.	joist
LVL	laminated veneer lumber - i.e. Parallam
mech.	mechanical
mil.	.001 inch
min.	minimum
N.T.S.	not to scale
oc	on center
pc	pull cord
pt.	pressure treated
psf	pounds per square foot
R/A	return air
reqd.	required
reinf.	reinforcing
Rm.	room
ro.	rough opening
sf.	square feet
syd	southern yellow pine
shw.	shower
T&G	tongue and groove
WH	water heater
WWM	welded wire mesh
w/	with
yp	yellow pine

Thank you for your purchase of these house plans.

These plans are designed to conform to the 2014 International Residential Code for One and Two Family Dwellings. National and local building codes vary with location and change from time to time. Therefore it is impossible to warrant compliance to your specific location. It is the responsibility of the purchaser and/or the builder to adapt these plans to the requirements of the individual locale.

## Structural Notes

These plans are designed for roof loads of 20 psf live load and 10 psi dead load. The chart to the left can be used to adjust for different requirements. All beams are labeled "LVL" and should be sized locally. Roof loads can vary and have a big impact on the beams carrying accumulated loads. Most lumber suppliers can have this done at no charge, however having a registered engineer is recommended.

## General Notes

• Square footages are for heated floor areas. This does not include fireplace projection or vaulted space. Stairs are counted on the main floor only.

• Dimensions are from the face of the stud wall. Contractor to verify all dimensions and please contact us if an error is present.

• All footings shall be on firm undisturbed soil of no less than 2000 psf and be below frost depth. The exact size and reinforcement of concrete footings must be determined by local soil conditions. Verify design with local engineer.

• HVAC design to be sized according to the local climate conditions including compass direction.

## Energy Notes

• Caulk all exterior toe plates with latex caulk.

• Caulk all wire and pipe holes where they penetrate all upper and lower exterior plates.

• Use blown-in wall insulation if at all possible. If batt insulation is used pack behind all electrical boxes.

• Seal all joints in HVAC ducts, with leakage no more than 3%. Three inch fiber mesh tape should be used on all collar to plenum connections and all gaps that are 1/4" or wider. Insulate ducts with R-6.5 or greater.

• Foam insulate between all exterior window and door edges and rough opening frame. Use non-expanding foam.

• Provide back draft damper on kitchen hood vent, dryer vent, and bathroom vents.

• Insulate all hot water pipes.

• Install wrap kit on water heater.

## Builder's Guide from EEBA.org

This one book, available from The Energy and Environmental Building Association, if followed, will do more to insure a well built home than any material I know of. It is very clearly written and contains many useful details to build an energy efficient home. Phone 452-881-1092 or order online at eeba.org. There are 4 different versions based on a climate zone map.

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www.thompsonplans.com

P.O. Box 160  
Lake Junaluska, NC 28745  
828-734-2553

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	-eave&box1&-4
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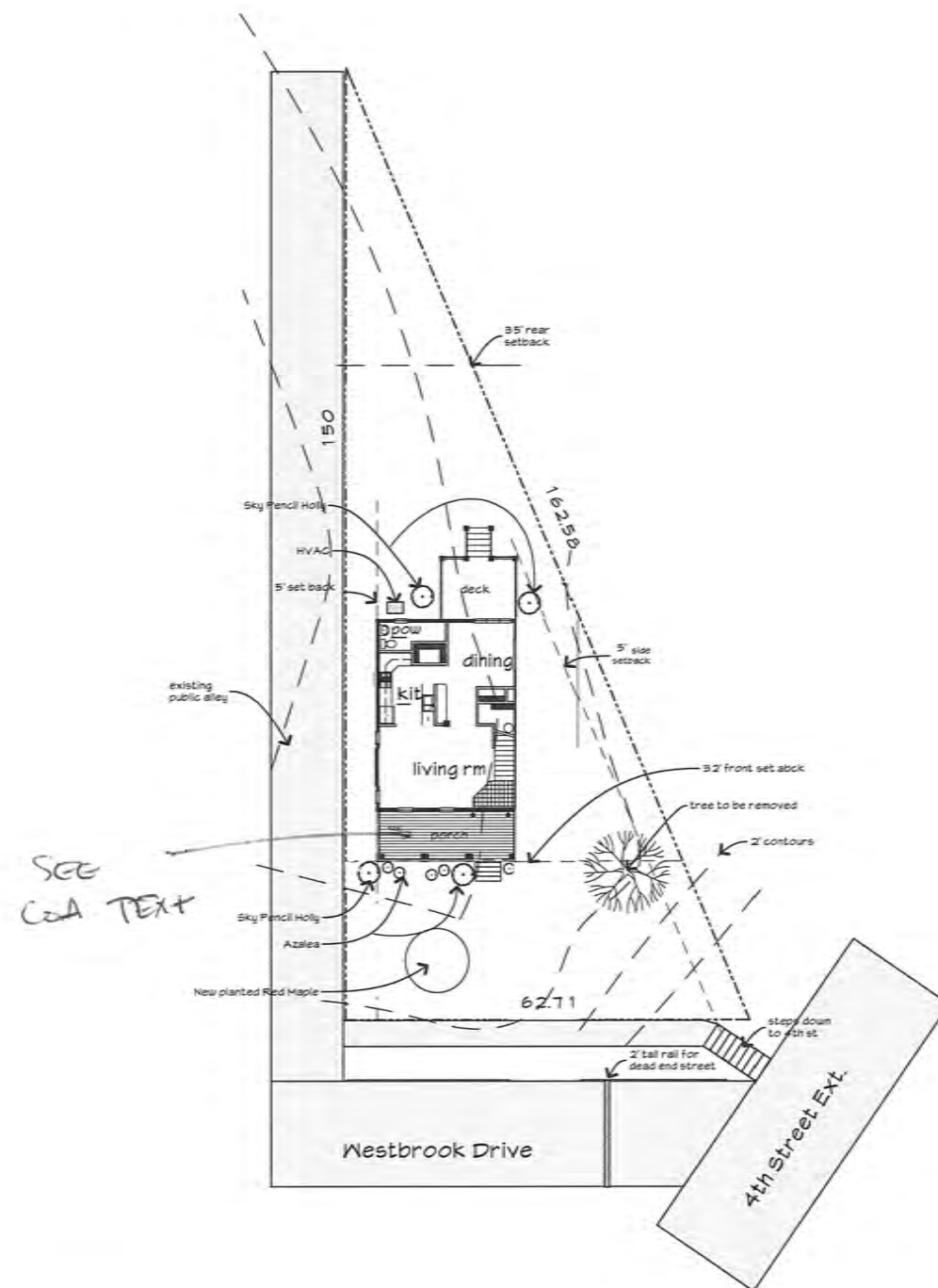
This plan is licensed to Verde Building Solutions

Plan 1209A



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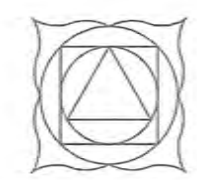




2017-01167



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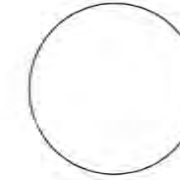
8



I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This \_\_\_\_\_ day of \_\_\_\_\_, 2014.

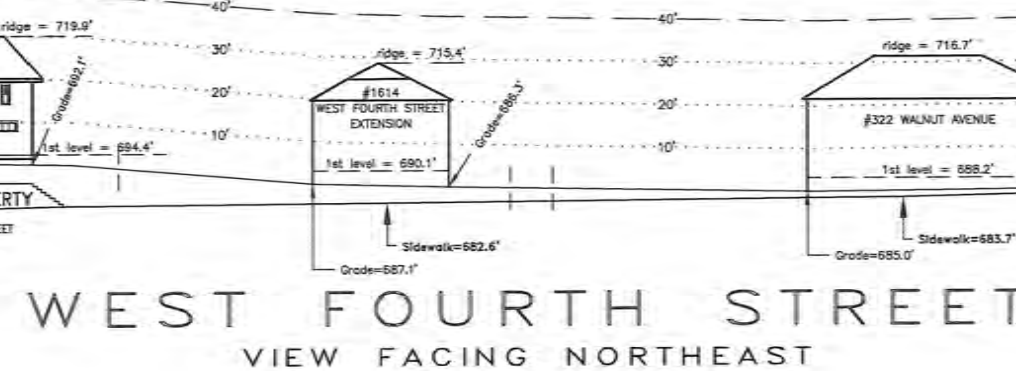
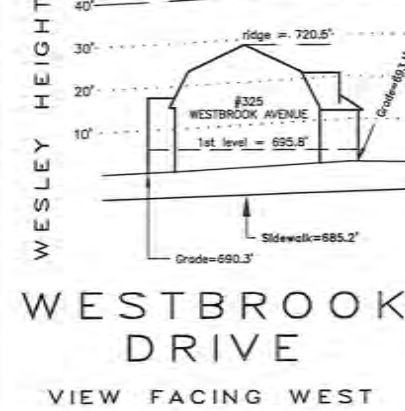
NON-CERTIFIED  
REFER TO PDF DATED MAY 16, 2014  
Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



WEST FOURTH STREET  
EXTENSION



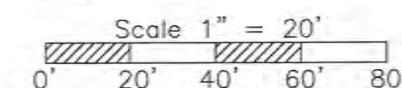
WESLEY HEIGHTS WAY



A.G. ZOUTEWELLE  
SURVEYORS

1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

Copyright 2014  
Building Heights Sketch of  
WESTBROOK DRIVE & WEST FOURTH STREET  
at HEATHCLIFF STREET  
FACING MULTIPLE DIRECTIONS AS NOTED  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
May 07, 2014

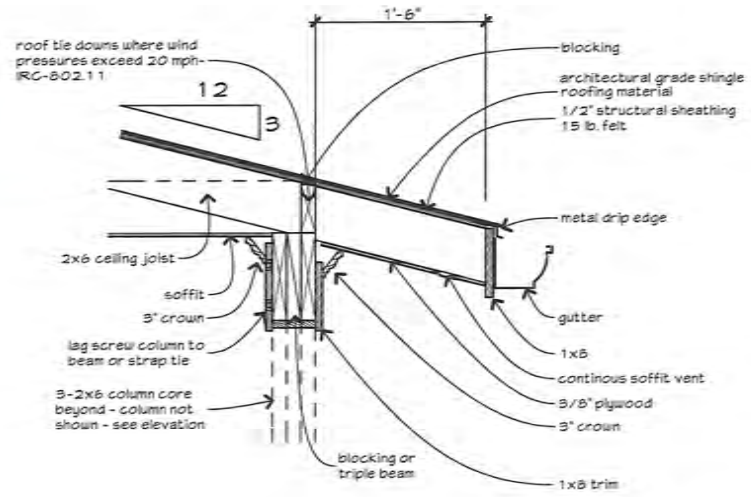


General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No reyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



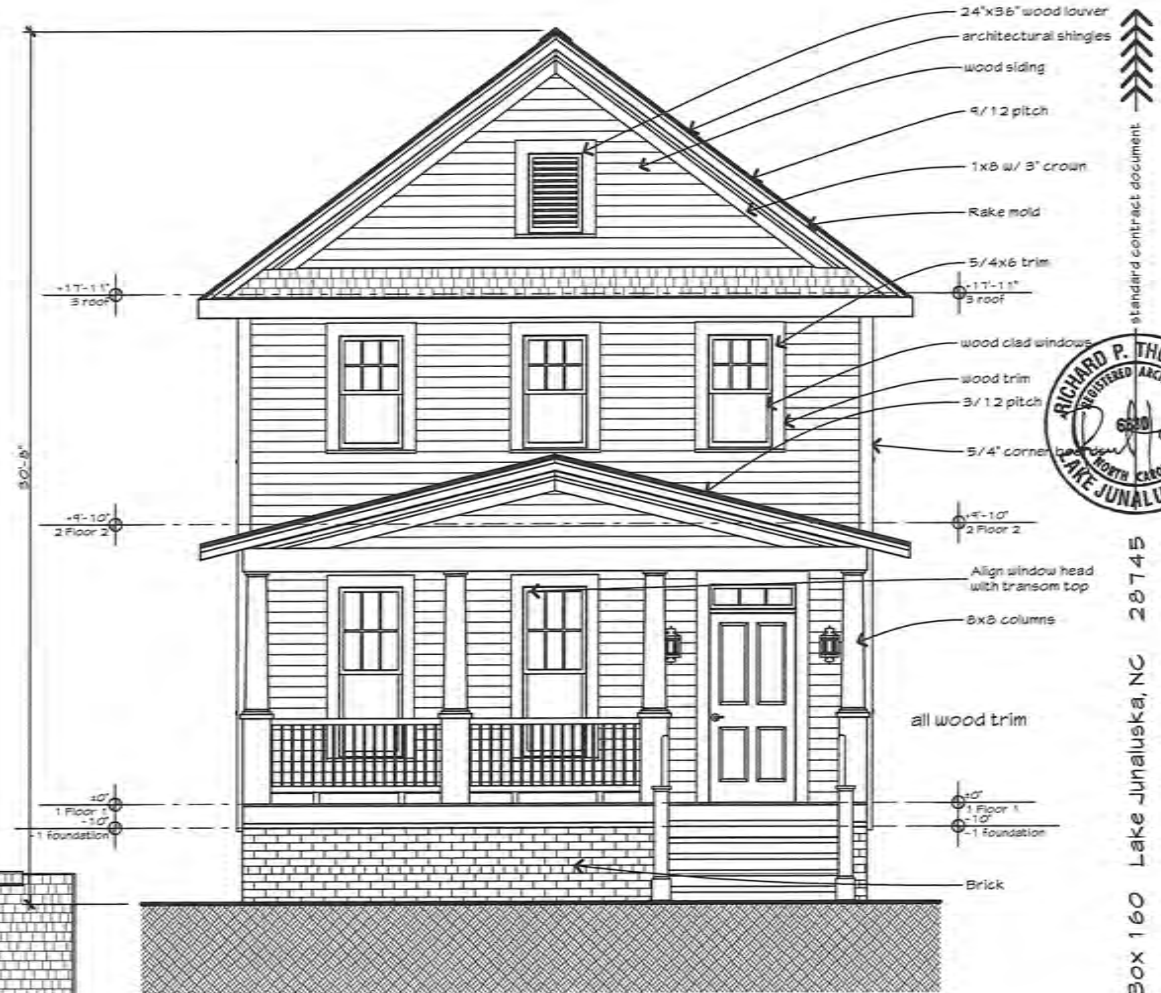
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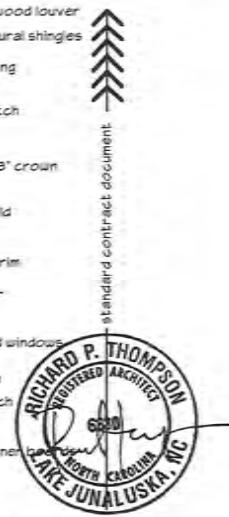
PE2 Typical Porch Boxed Eave  
 scale 1" = 1'-0"



Right Side Elevation  
 scale 1/4" = 1'-0"



Front Elevation  
 scale 1/4" = 1'-0"



standard contract document  
 RICHARD P. THOMPSON  
 REGISTERED ARCHITECT  
 STATE OF NORTH CAROLINA  
 28745  
 P O Box 160 Lake Junaluska, NC 28745  
 Rick Thompson - Architect  
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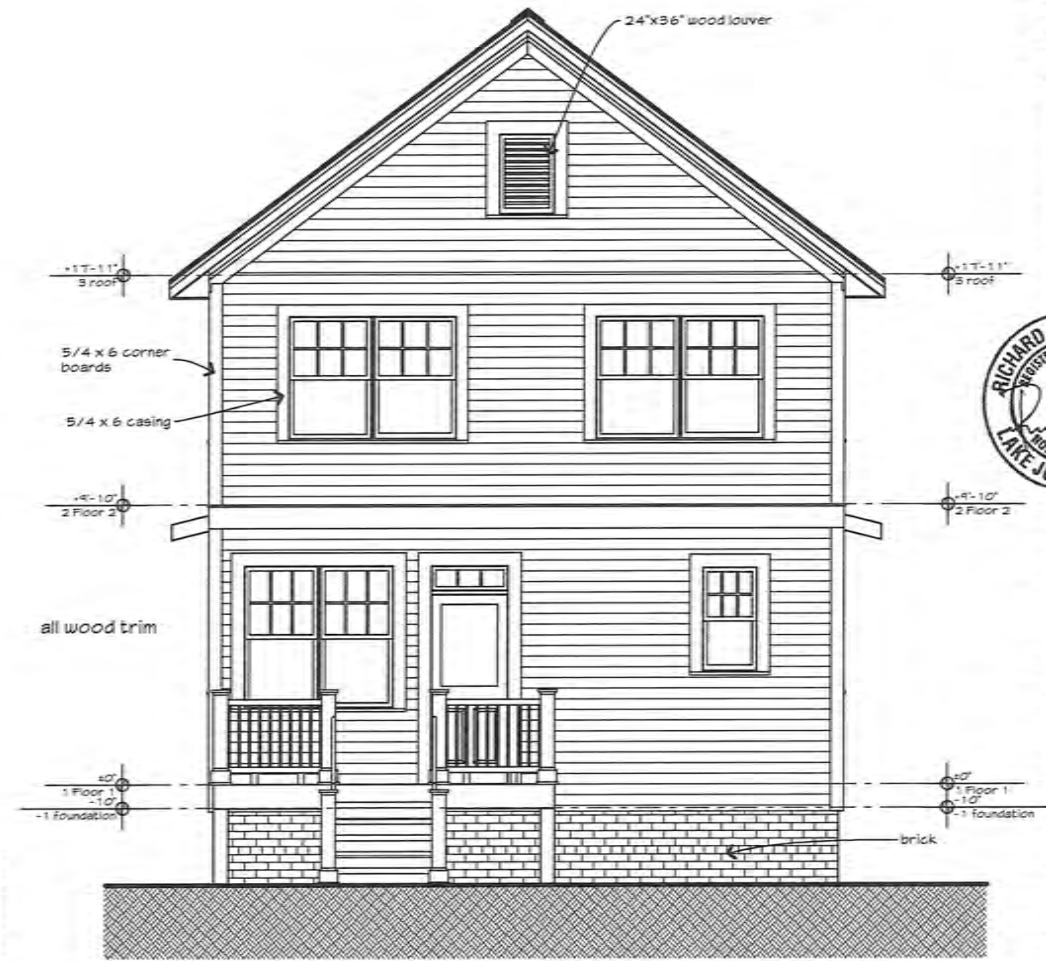
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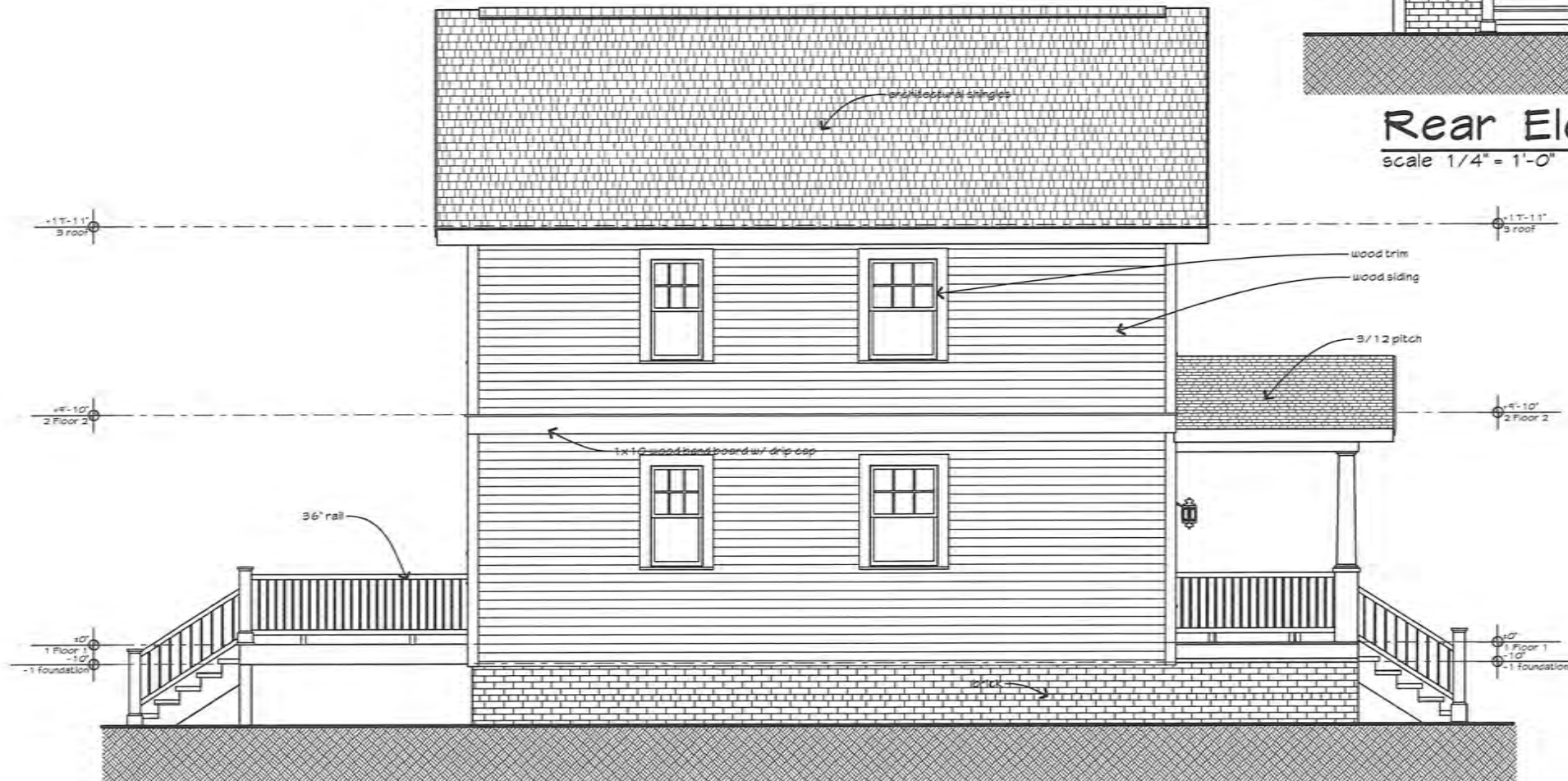


REMOVED

2017-00167



**Rear Elevation**  
scale 1/4" = 1'-0"

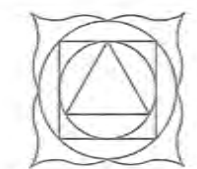


**Left Side Elevation**  
scale 1/4" = 1'-0"



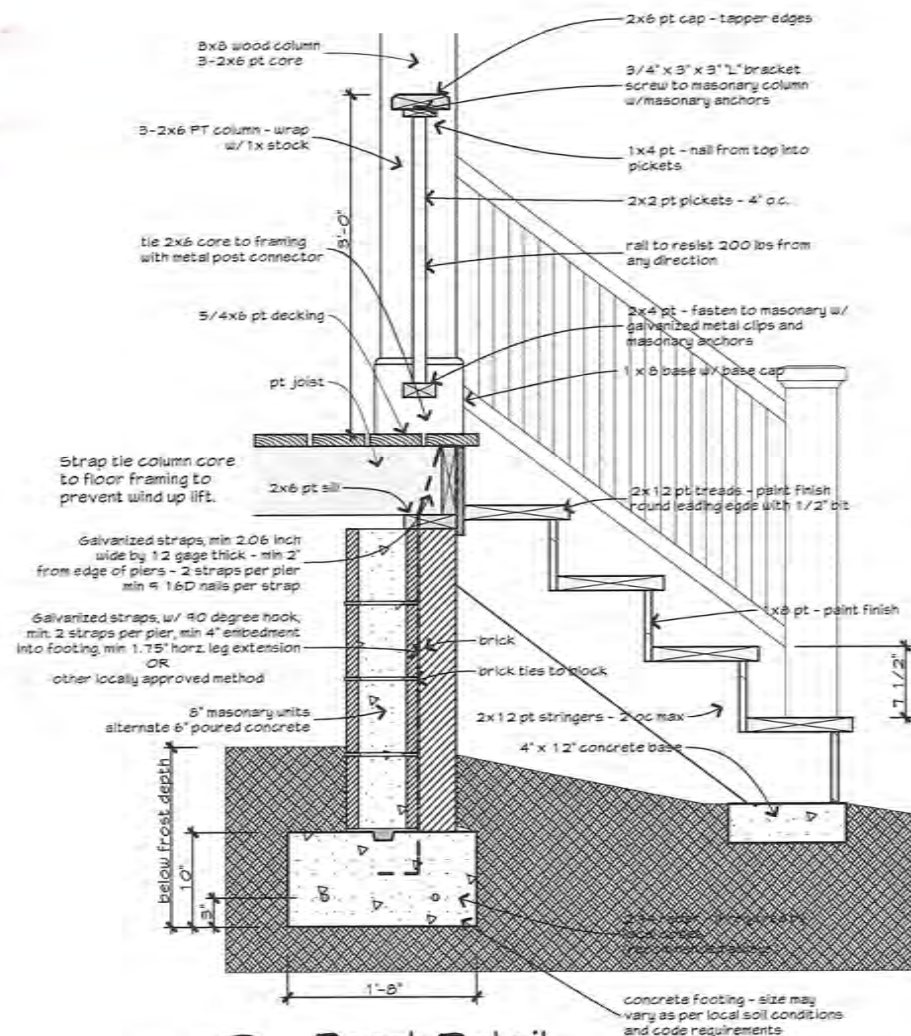
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11/5/14





**F6** **Porch Detail**  
scale 1" = 1'-0"

### Minimum Insulation Chart

Climate Zone	Gazing U-factor	Gazing fenestration SHGC	Ceilings R-value	Wood frame wall R-value	Floors R-value	Basement walls R-value	Slab perimeter R-value and depth	Crawl space wall R-value
1	1.2	0.30	3.0	13	13	0	0	0
2	0.90	0.30	3.0	13	13	0	0	0
3	0.80	0.30	3.0	13	14	5/13	0	5/13
4	0.70	NR	3.5	13	14	10/13	10/2	10/13
5	0.60	NR	4.0	13	14	10/13	10/2	10/13
6	0.50	NR	4.5	13	15	15/13	10/2	10/13
7	0.35	NR	4.5	21	18	15/13	10/4	10/13
8	0.25	NR	4.5	21	18	15/13	10/4	10/13

**R**-values are minimum factors and **U**-factors are maximum. R-1 batts compressible into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed R-value in addition to the full thickness R-value.

**S**-values are minimum factors. The S-factor column refers to dated Information Statement (IS) values.

**1**"-10' R-11 means R-11 continuous insulating sheathing on the exterior of the exterior wall.

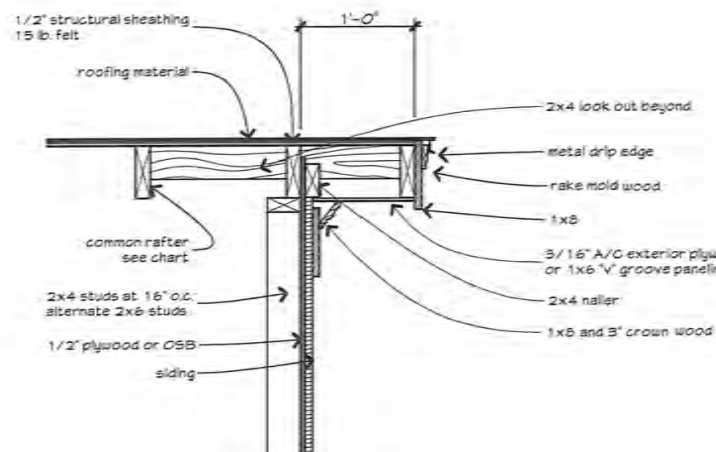
**1**"-10' R-11 Cavity Insulation at the Interior of the Basement Wall "10' R-11" shall be permitted to be net joint insulation installed in the basement wall cavity between studs. This insulation shall be installed on the interior of the exterior of the home. "10' R-11" means R-10 continuous insulating sheathing on the exterior of the exterior wall of the home and R-11 continuous insulation installed in the basement wall cavity.

**R**-5 shall be added to the required base slab R-values for heated slabs. Insulation depth shall be top edge of the footing up 2 feet, whichever is less in Zones 1 through 9. For heated slabs, the minimum heat gain coefficient shall be 0.07 per square foot.

**B**-Insulation sufficient is not required in warm-humid climates as defined by Figure D01.1 and Table D01.1.

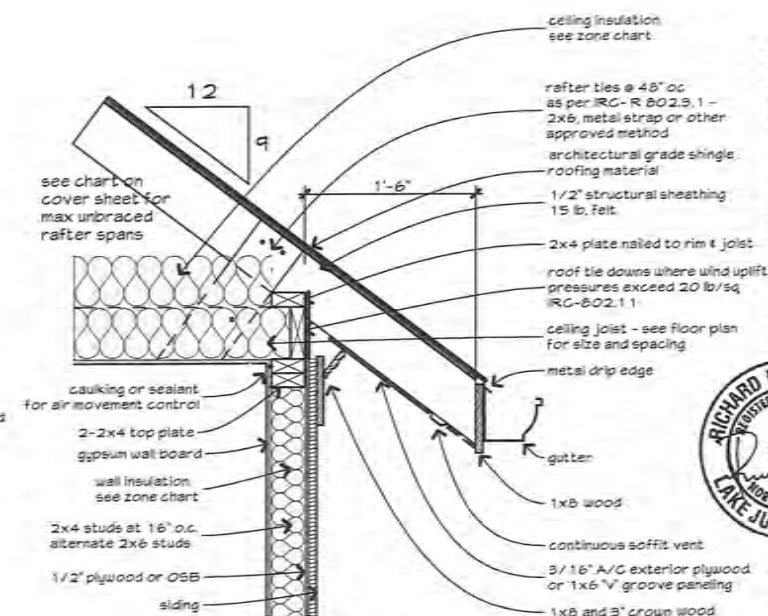
**R**-10 or insulation sufficient to fill the framing cavity. R-14

**R**-10 or R-14 plus 1" of exterior structural sheathing if structural sheathing covers over 25 percent of the exterior, insulating sheathing is not required where structural sheathing is used if structural sheathing covers more than 25 percent of exterior structural sheathings shall be supplemented with additional insulation.



E4 Typical Rake - boxed soffit  
scale 1" = 1'-0"

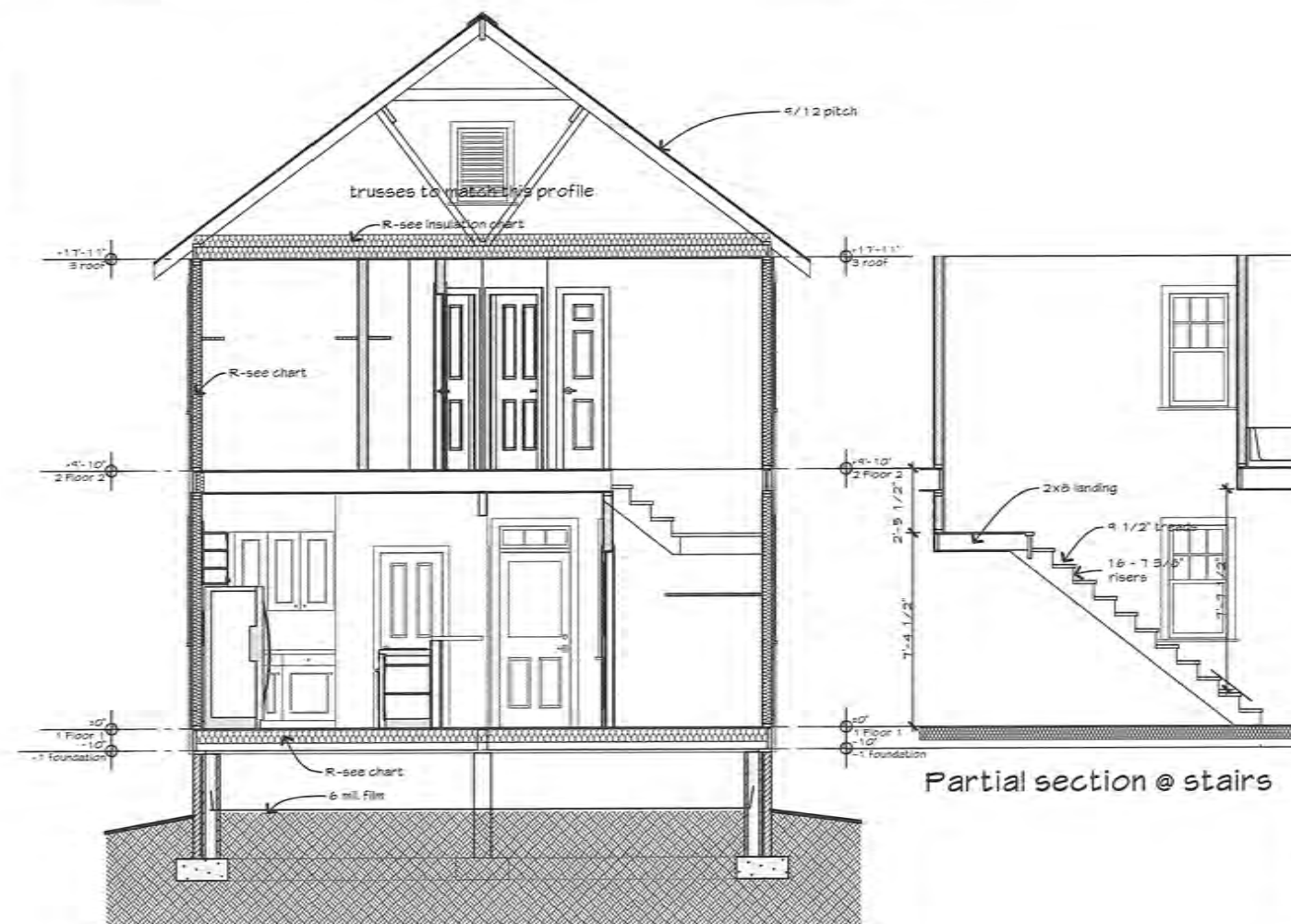
All wood siding and trim



Alternate roof trusses to be raised chord trusses

**E1** Typical Boxed Eave - rafters on joist  
scale 1" = 1'-0"

All wood siding and trim



Partial section @ stairs

## Building section



28745

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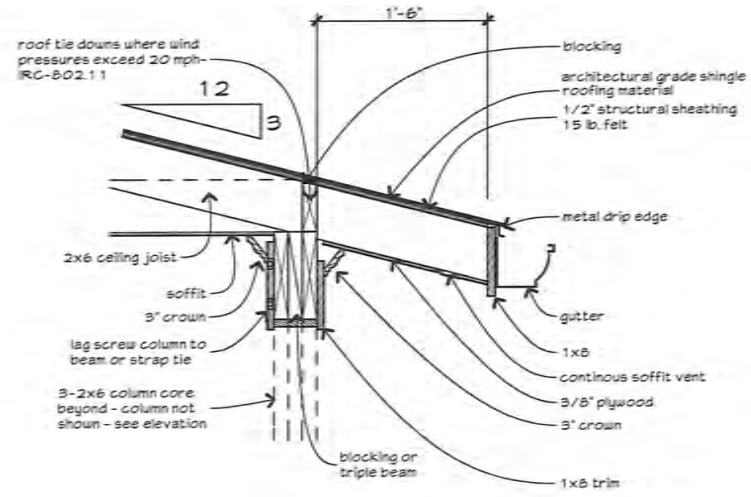
828-734-2553



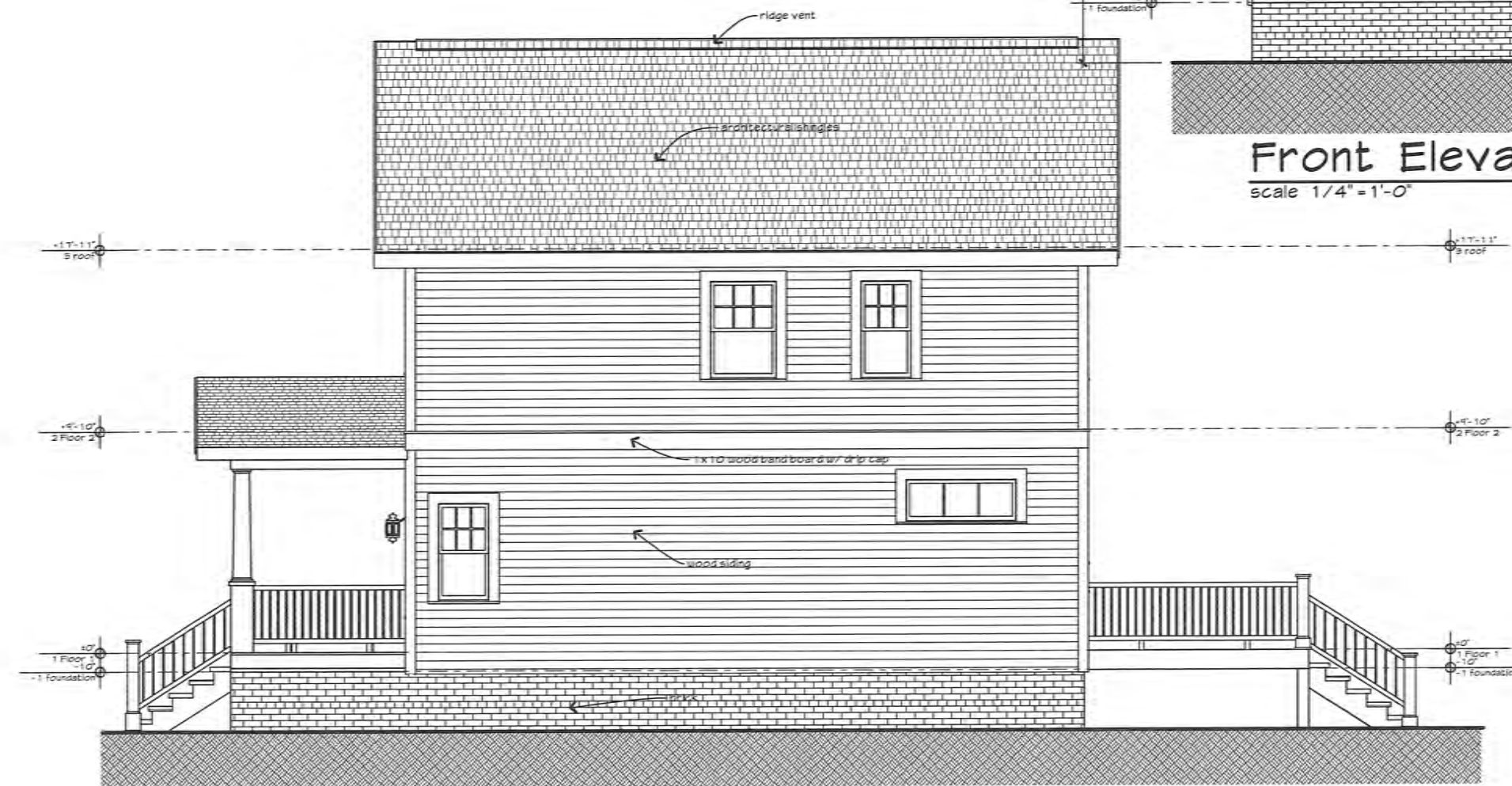
original print date  
11/5/14



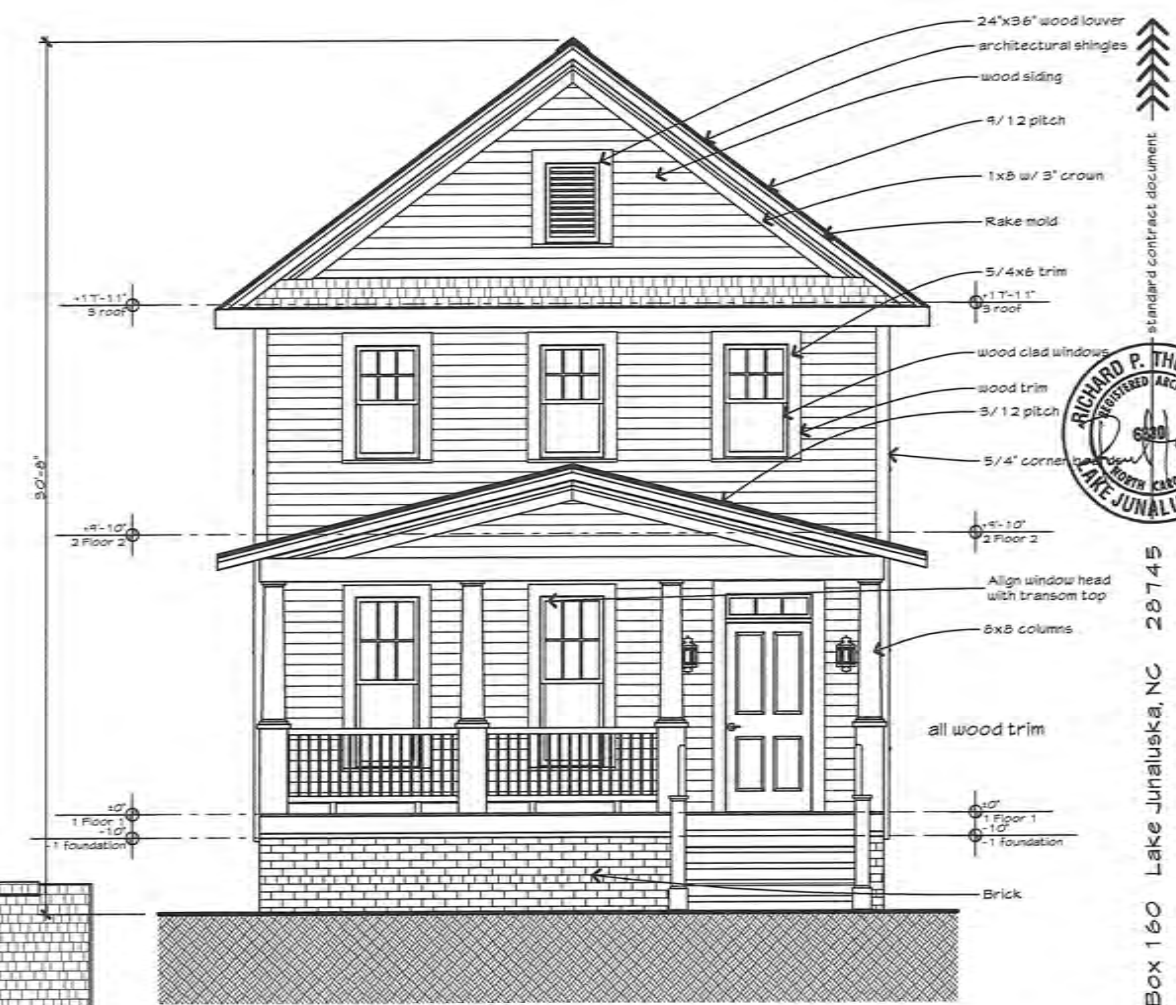
OCTOBER 2014



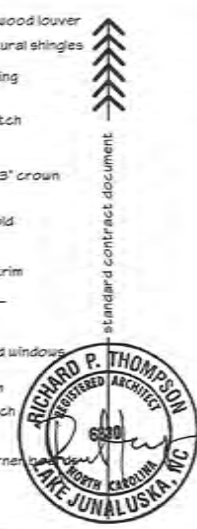
**PE2 Typical Porch Boxed Eave**  
scale 1"=1'-0"



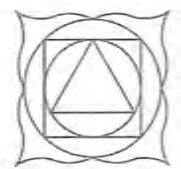
**Right Side Elevation**  
scale 1/4" = 1'-0"



**Front Elevation**  
scale 1/4" = 1'-0"



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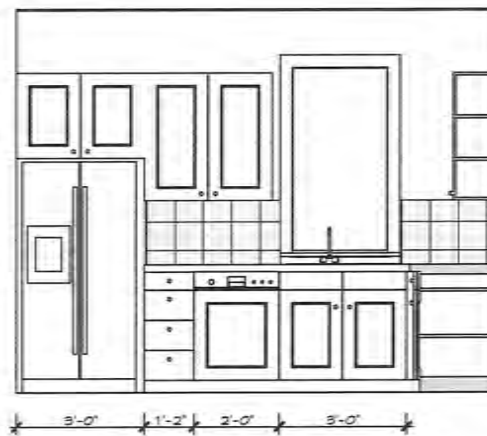
original print date  
9/26/14

5



Footings sizes and reinforcement are assumed. Soil conditions vary and must be taken into account. Inspectors can allow builders to adjust the use of rebar and footing sizes as per local conditions.





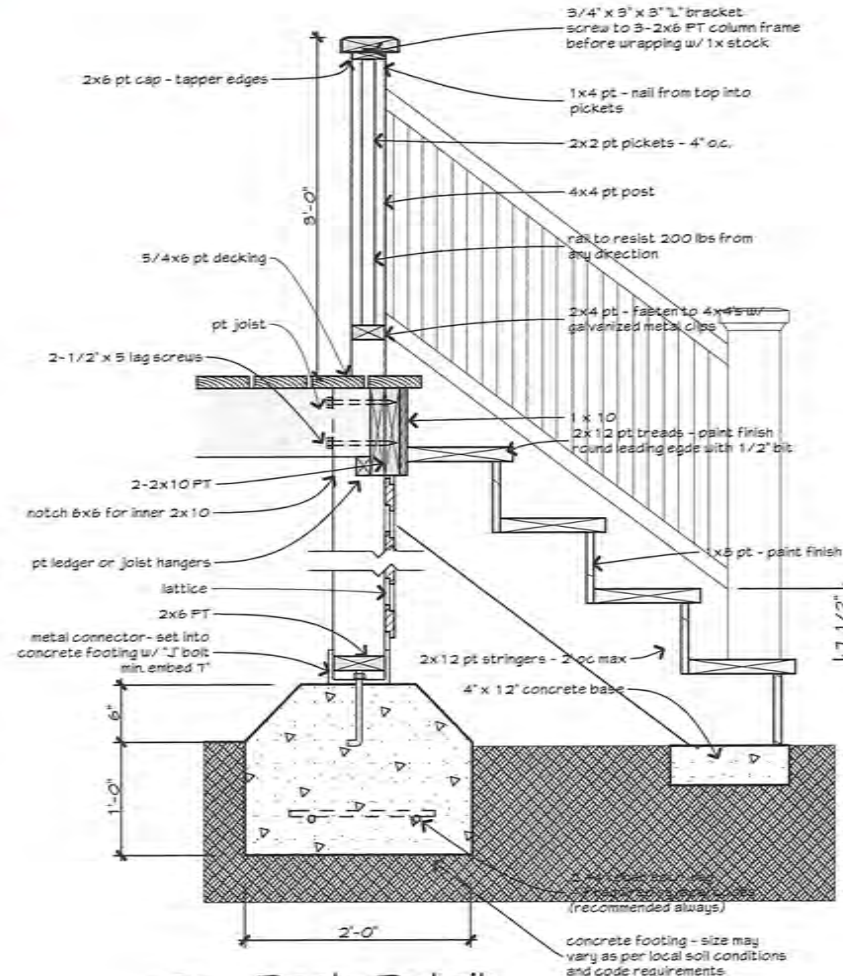
1 - Kitchen Cabinet  
Scale 3/8" = 1'-0"



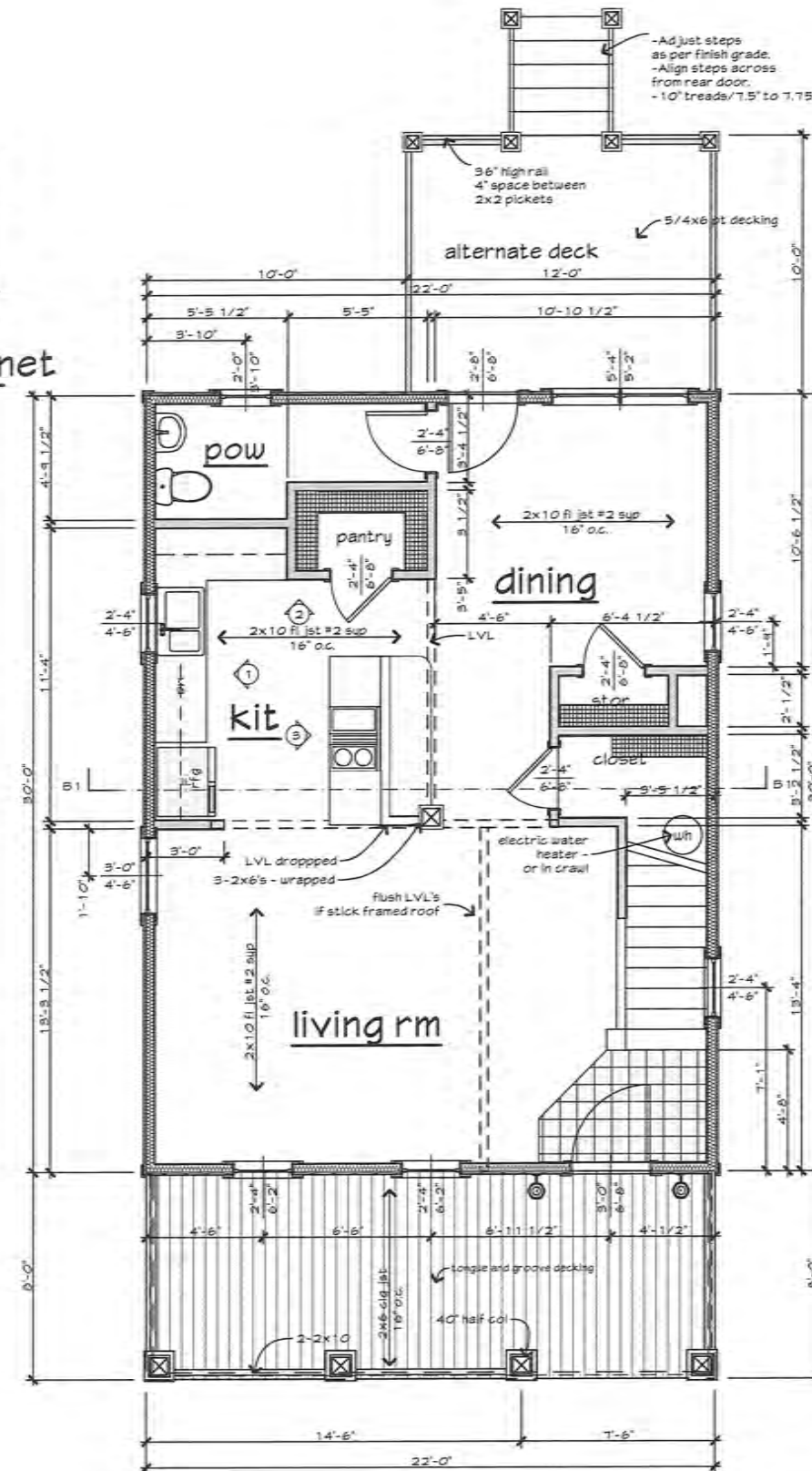
2 - Kitchen Cabinet  
Scale 3/8" = 1'-0"



3 - Kitchen Cabinet  
Scale 3/8" = 1'-0"



F7 Deck Detail  
scale 1" = 1'-0"



Floor 1 plan  
scale 1/4" = 1'-0"

Floor 1 plan 660 sq.ft.  
Floor 2 plan 617 sq.ft.  
total 1277 sq.ft.

Lot size = 4356 sf  
building coverage = 836 sf

plan # 1209A



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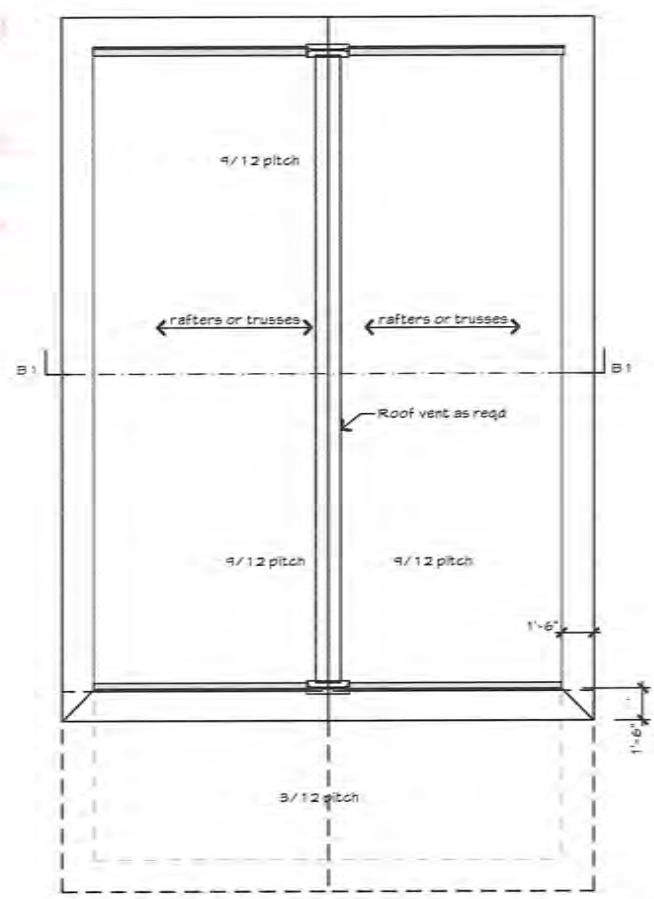


original print date  
11/5/14

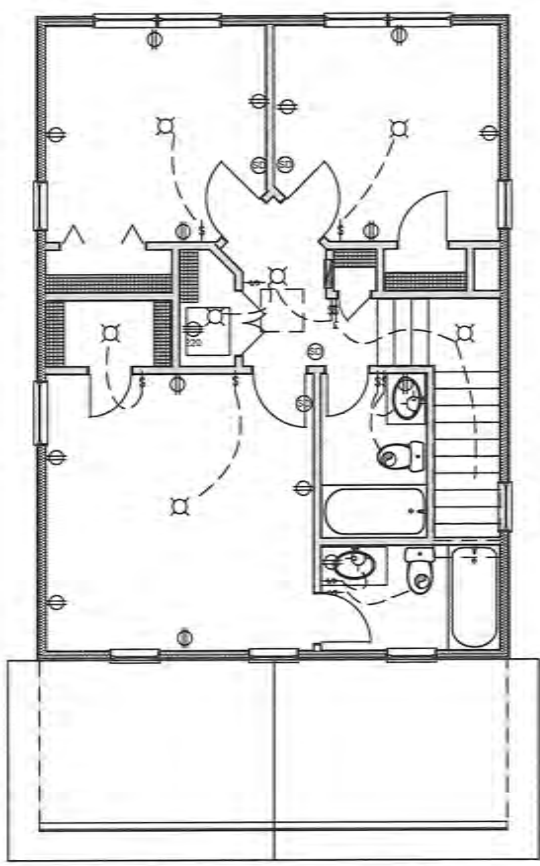
3



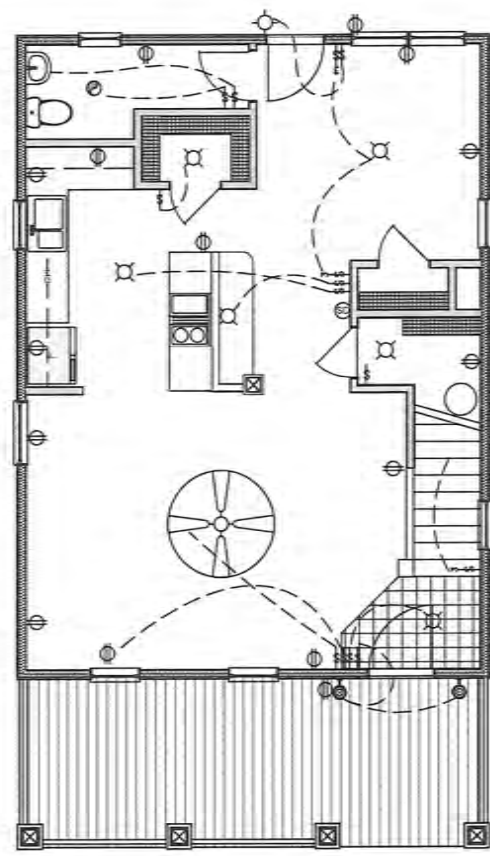
NOTED  
 247-00167



Roof plan  
 scale 3/16" = 1'-0"



Electrical - Floor 2 Plan  
 scale 3/16" = 1'-0"

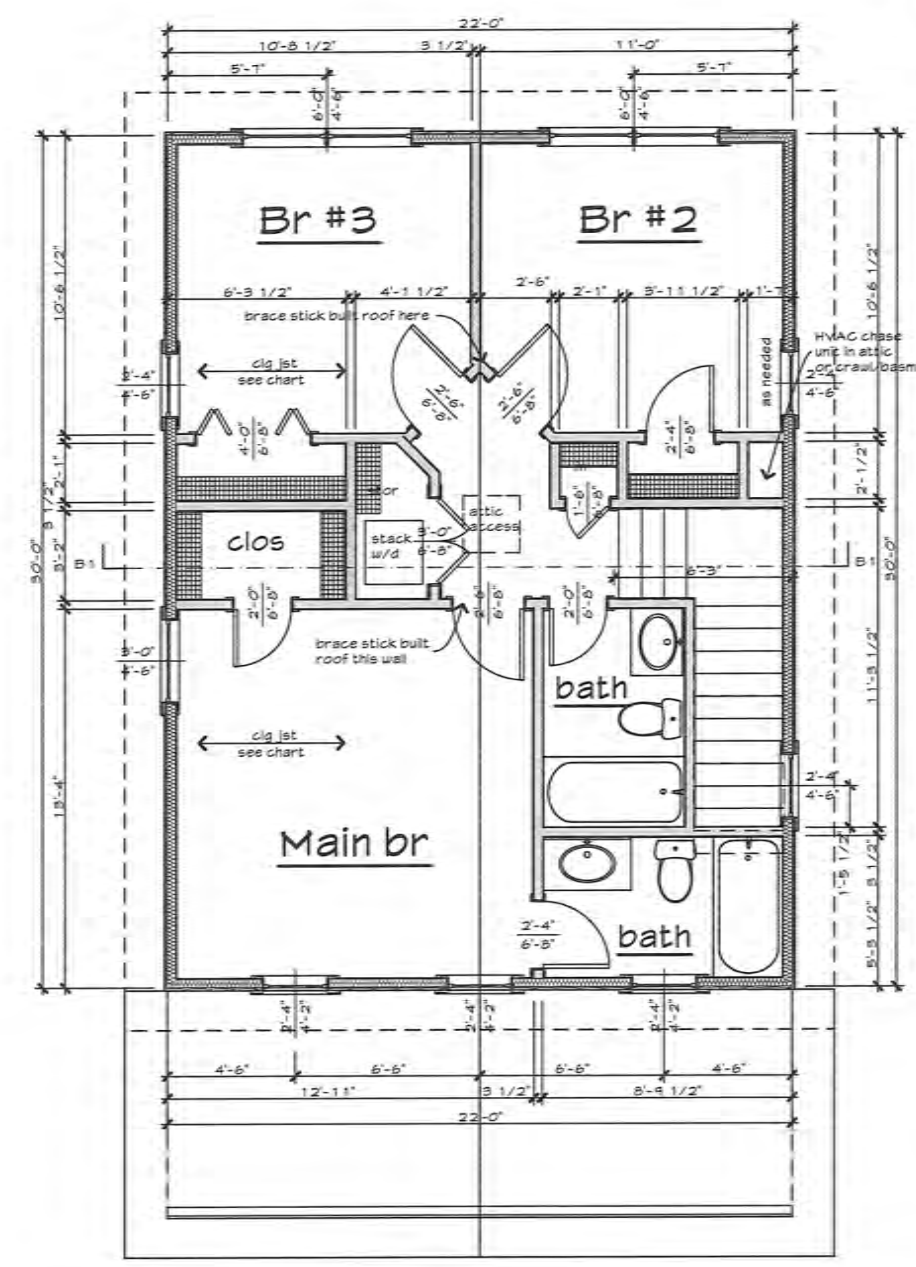


Electrical - Floor 1 Plan  
 scale 3/16" = 1'-0"

Door List					
Quantity	Width	Height	Type	Name	
1	1'-6"	6'-8"	Interior	RD02 Swing	
1	2'-5"	6'-8"	Exterior Wood	RD01 Door ST	
1	3'-0"	6'-8"	Exterior Wood	RD01 Door ST	
1	3'-0"	6'-8"	Interior	RD02 Swing	
1	4'-0"	6'-8"	Interior	RD05 Bifold	
2	2'-0"	6'-8"	Interior	RD02 Swing	
3	2'-6"	6'-8"	Interior	RD02 Swing	
6	2'-4"	6'-8"	Interior	RD02 Swing	
16					

Window List			
Quantity	W x H Size	Units	Wood Clad
1	2'-0"x3'-10"	Single	RN1-4 Doublehung
1	5'-4"x5'-2"	Triple	RN1-4 Doublehung
2	2'-0"x3'-0"	Louver	RN1-1 Stationary
2	2'-4"x4'-6"	Twin	RN1-4 Doublehung
2	2'-4"x6'-2"	Single	RN1-4 Doublehung
2	3'-0"x4'-6"	Single	RN1-4 Doublehung
2	6'-0"x4'-6"	Twin	RN1-4 Doublehung
3	2'-4"x4'-2"	Single	RN1-4 Doublehung
4	2'-4"x4'-6"	Single	RN1-4 Doublehung
19			

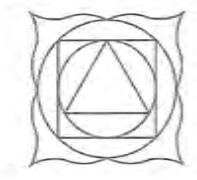
All windows to be wood windows



Floor 2 plan  
 scale 1/4" = 1'-0"



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 11/5/14