

---

**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1418 Hamorton Place

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Benjamin Lippincott, applicant

---

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a 1-story Craftsman bungalow house constructed in 1930. Other features include front clipped gable roof, partial width front porch with a matching clipped gable roof supported by square wood columns atop brick piers, 4/1 windows, exposed rafter and bracket details. House height as measured from grade to ridge is 18'-9". The lot size is approximately 46' x 148'.

*Proposal*

The proposal is an addition that raises the main ridge approximately 7'-6". The addition adds a cross gable roof that will eliminate the exposed rafters on the left and right elevations. A second story will be added to an existing one-story element on the rear elevation. A two-story covered terrace/deck will be added to the rear. Materials are 5" wood German siding to match existing and wood or aluminum clad windows to match existing. All details (corner boards, brackets, window trim, etc.) will be wood to match existing. A 32" Oak tree is located near the left corner of the addition. No changes to existing window openings on first floor.

**Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

Staff has the following concerns with the proposal:

1. Height, massing, scale, directional expression, roof form, context.
2. Tree protection plan needed for the 32" Oak.
3. Minor revisions may be reviewed by staff.



Existing Conditions







# Context/Adjacent Structures











# Site Plan/Survey



"I, Brian A. McRorie, certify that this map was drawn under my supervision from an actual survey made under my supervision on the 3rd day of December 2018; and that the boundary lines and improvements, if any, are as shown hereon. The ratio of precision as calculated before any adjustments is 1' : 30,000'+ of perimeter surveyed. This map meets the requirements of the Standards of Practice for Land Surveying in North Carolina. (21 NCAC 56.1600)

*Brian A. McRorie*

N.C. Professional Land Surveyor No. 3712

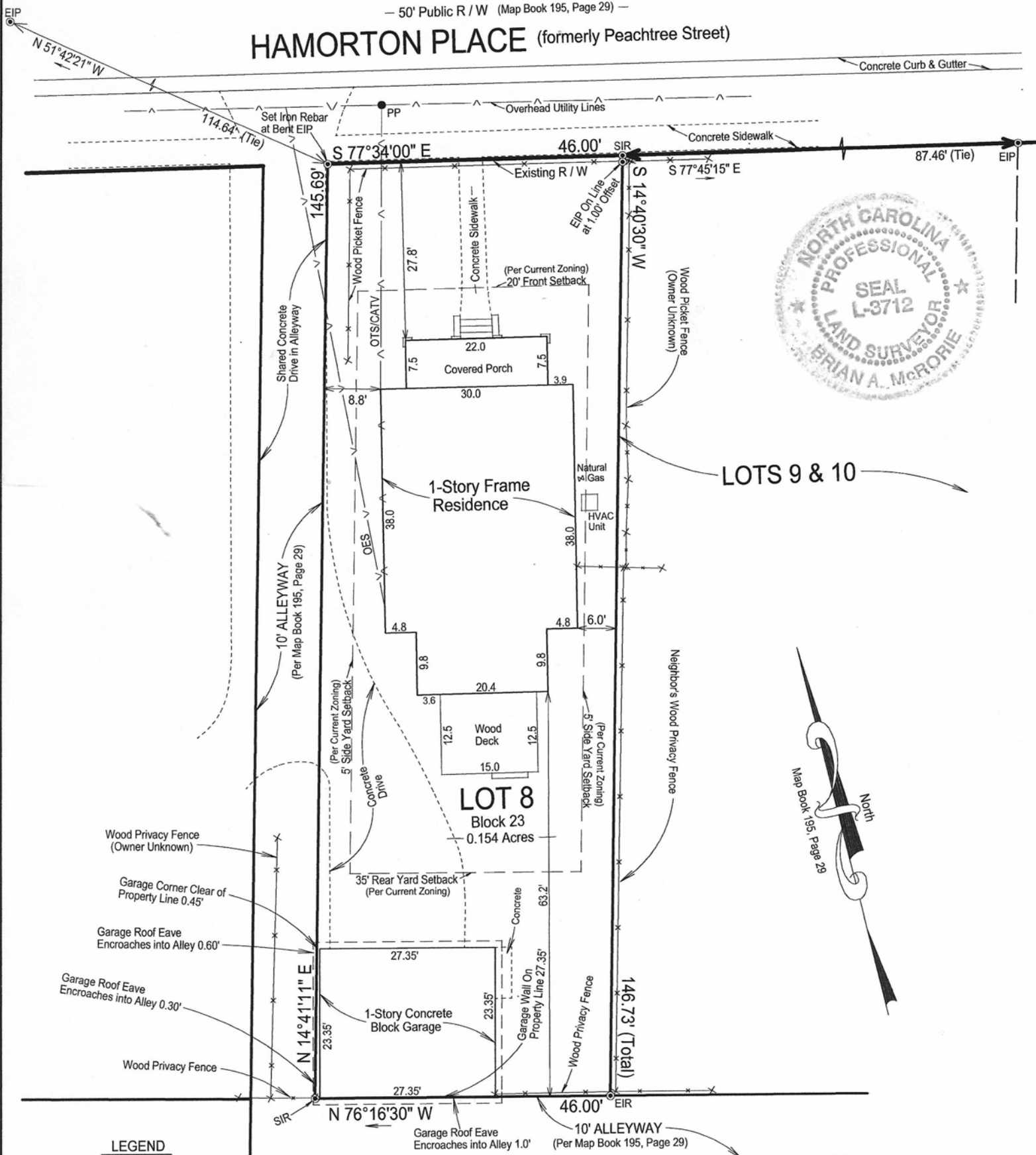
McRorie Land Surveying, P.A.  
Firm No. C-4059  
712 East 34th Street  
Charlotte, N.C. 28205  
704-492-5768

NOTES:

1. Total Area = 0.1543 Acres (6,722.6' sq.ft.)  
Area Computed By Coordinate Method.
2. Rights-Of-Way, Easements, Building Setback Lines As Shown Hereon Are Per Recorded Map And/Or Deed As Referenced Unless Otherwise Noted.
3. Property May Be Subject To Additional Recorded Or Unrecorded Rights-Of-Way, Easements, Building Setback Lines, Or Other Restrictive Covenants That May Be Revealed By A Complete Title Examination.
4. Subject Property Currently Zoned R-5  
Any Building Setback Lines Shown Hereon That Are Referenced To Current Zoning Are Subject To Interpretation By The Proper Zoning Administration, And Should Be Verified Prior To Any Planning Or Construction.
5. All Underground Utilities Not Located.

— 50' Public R / W (Map Book 195, Page 29) —

**HAMORTON PLACE** (formerly Peachtree Street)



**LEGEND**

EIR = Existing Iron Rebar  
EIP = Existing Iron Pipe  
SIR = Set Iron Rebar  
ECM = Existing Concrete Monument  
CP = Computed Point  
R / W = Right-Of-Way  
C / L = Centerline  
B / C = Back Of Concrete Curb  
EP = Edge Of Asphalt Pavement  
PP = Power Pole  
OES = Overhead Electric Service  
OUL = Overhead Utility Lines  
OTS = Overhead Telephone Service  
UGU = Underground Utilities (Approximate)  
TeleComm. = Telecommunications Box  
RCP = Reinforced Concrete Drainage Pipe  
Property Line —————  
Street R / W —————  
Adjiorner Property Line ————  
Not Surveyed ————  
Broken Scale <—————>

**BOUNDARY & PHYSICAL** Survey for

**BEN LIPPINCOTT**

of **Lot 8, Block 23 of OAKHURST LAND CO.**

Recorded in **Map Book 195, Page 29**, Deed Book **28806** Page **672**

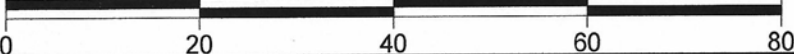
**City Of Charlotte**, **Mecklenburg** County, State of North Carolina

Address: **1418 Hamorton Place** Tax Parcel No. **081-175-19**

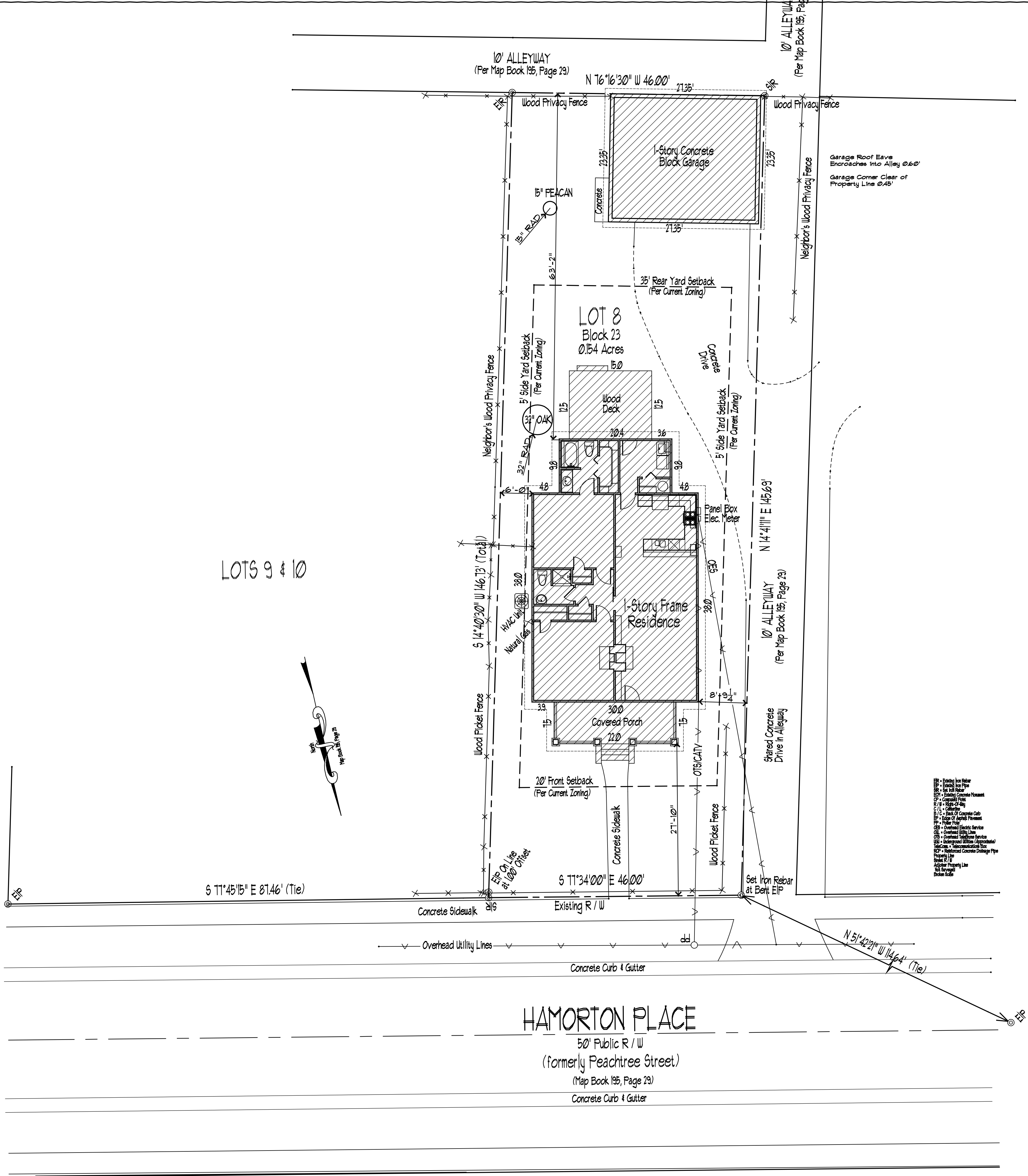
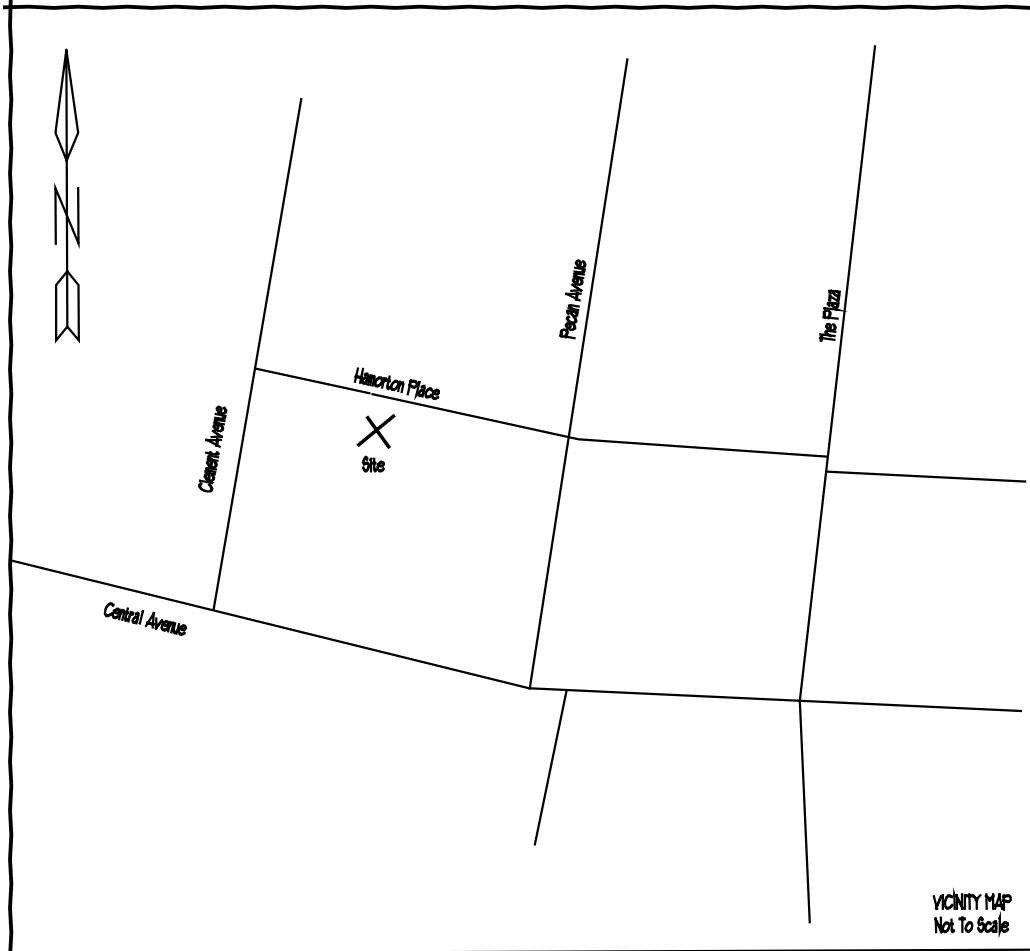
Now or Formerly The Property Of **Benjamin E. Lippincott**

Graphic Scale: 1" = 20'

Date: 12-03-18







GENERAL NOTES APPLY TO ALL SHEETS:

- ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
- ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
- BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
- ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.
- DEVIATION FROM THESE CONSTRUCTION DOCUMENTS, WITHOUT COORDINATING REVISION / CHANGES WITH THE OWNER AND MISENHEIMER DESIGN SHALL ABSOLVE MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. FROM LIABILITIES ARISING FROM DISCREPANCIES IN CONSTRUCTION.
- THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. ANY REPRODUCTION, ALTERATIONS OR USE FOR OTHER THAN THE INTENDED PROJECT, WITHOUT WRITTEN CONSENT OF MISENHEIMER DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.

© COPYRIGHT 2014  
MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. RESIDENTIAL DESIGN SERVICES.

**Misenheimer**  
THE EUROPEAN DESIGN STUDIO, INC.  
residential  
design  
services  
651 Louise Avenue  
Charlotte, NC. 28204  
USA  
704-908-8361 Phone

DLMisenheimer@gmail.com  
www.facebook.com/MisDesign



1418 Hamorton Place  
**1418 Hamorton Place**  
Charlotte, North Carolina 28205

REVISIONS	DATE
Revision	Date

DATE: 16 January 2019

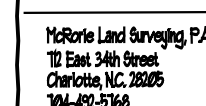
DRAWN BY: DLM  
SHEET NUMBER: L1.0

EXISTING  
SITE  
PLAN

L1.0

EXISTING SITE PLAN  
Scale: 1" = 10' - 0"





\*PORCH SQ. FT. INCLUDES STEPS

\*PORCH AND DECK SQ. FT. INCLUDES STEPS

TOTAL AREA OF SITE	6723
FOOTPRINT OF EXISTING HOUSE	1548
FOOTPRINT OF GARAGE	319
TOTAL AREA	1867
PERCENTAGE OF OPEN SPACE	72%

 TOTAL STRUCTURE AREA = 2009



50' Public R / W  
(formerly Peachtree Street)  
(Map Book 135, Page 29)  
Concrete Curb & Gutter

PROPOSED SITE PLAN  
Scale: 1" = 10'-0"



1418 Hamorton Place  
Charlotte, North Carolina 28205

[illegible]

DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: L1.1

# PROPOSED SITE PLAN

## L1.1

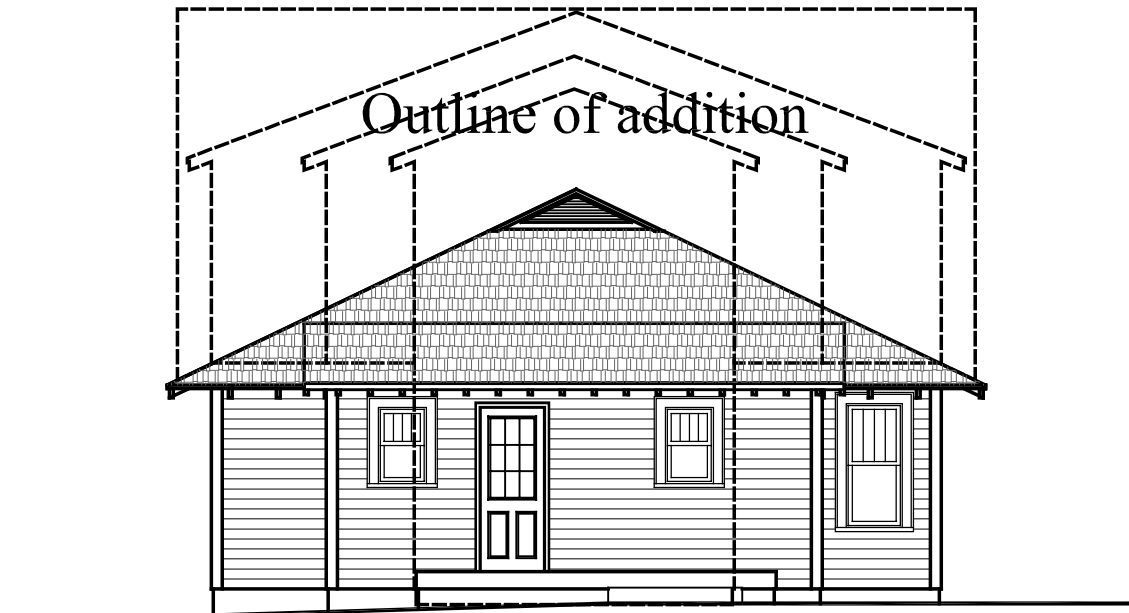
- ## GENERAL NOTES APPLY TO ALL SHEETS:
1. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN OTHERWISE OR IMPLIED OTHERWISE OCCUR.
  2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISBENEHER DESIGN 4 The European Design Studio, Inc. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS AFTER CONSTRUCTION BEGINS.
  3. ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ANY STRUCTURAL AND/OR MECHANICAL PROJECT WITH THE ENGINEER.
  4. BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
  6. ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.
  7. DEVIATION FROM THESE CONSTRUCTION DOCUMENTS, WITHOUT COORDINATING REVISION / CHANGES\* WITH THE OWNER AND MISBENEHER DESIGN SHALL ABSOLVE MISBENEHER DESIGN 4 The European Design Studio, Inc. FROM LIABILITIES ARISING FROM DISCREPANCIES IN CONSTRUCTION.
  - \* 8. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISBENEHER DESIGN 4 The European Design Studio, Inc. ANY REPRODUCTION, ALTERATION OR REUSE OF ANY PART OF THESE DRAWINGS FOR ANY UNRELATED PROJECT WITHOUT WRITTEN CONSENT OF MISBENEHER DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.

© COPYRIGHT 2014  
MISENHEIMER DESIGN & The European Design Studio, Inc. RESIDENTIAL DESIGN SERVICES



Front & Rear Elevations - Existing and Proposed

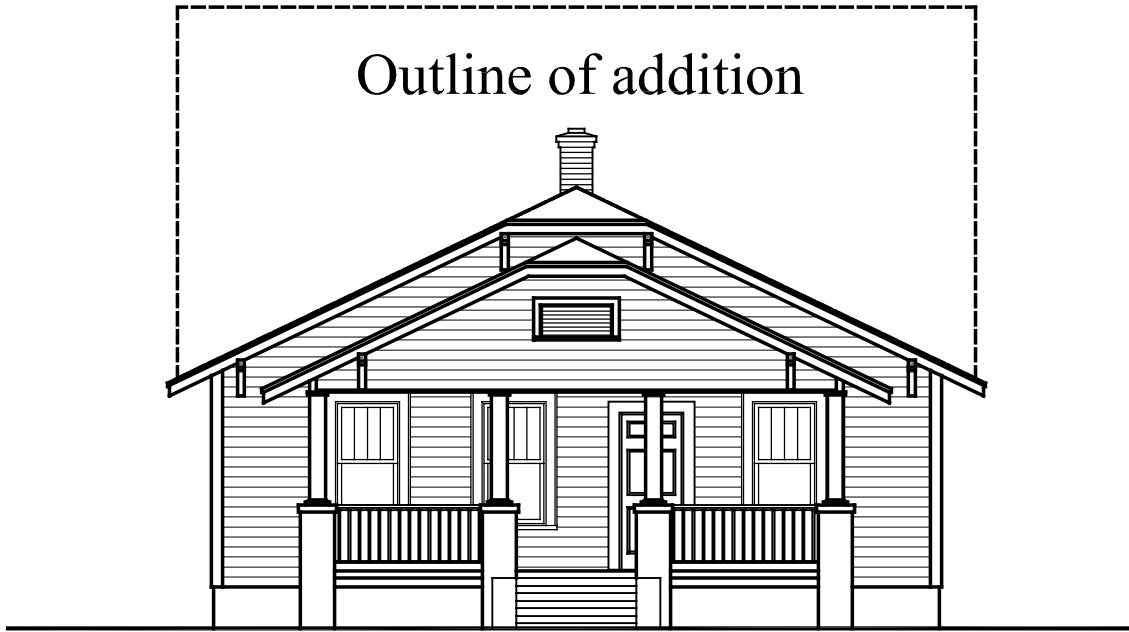




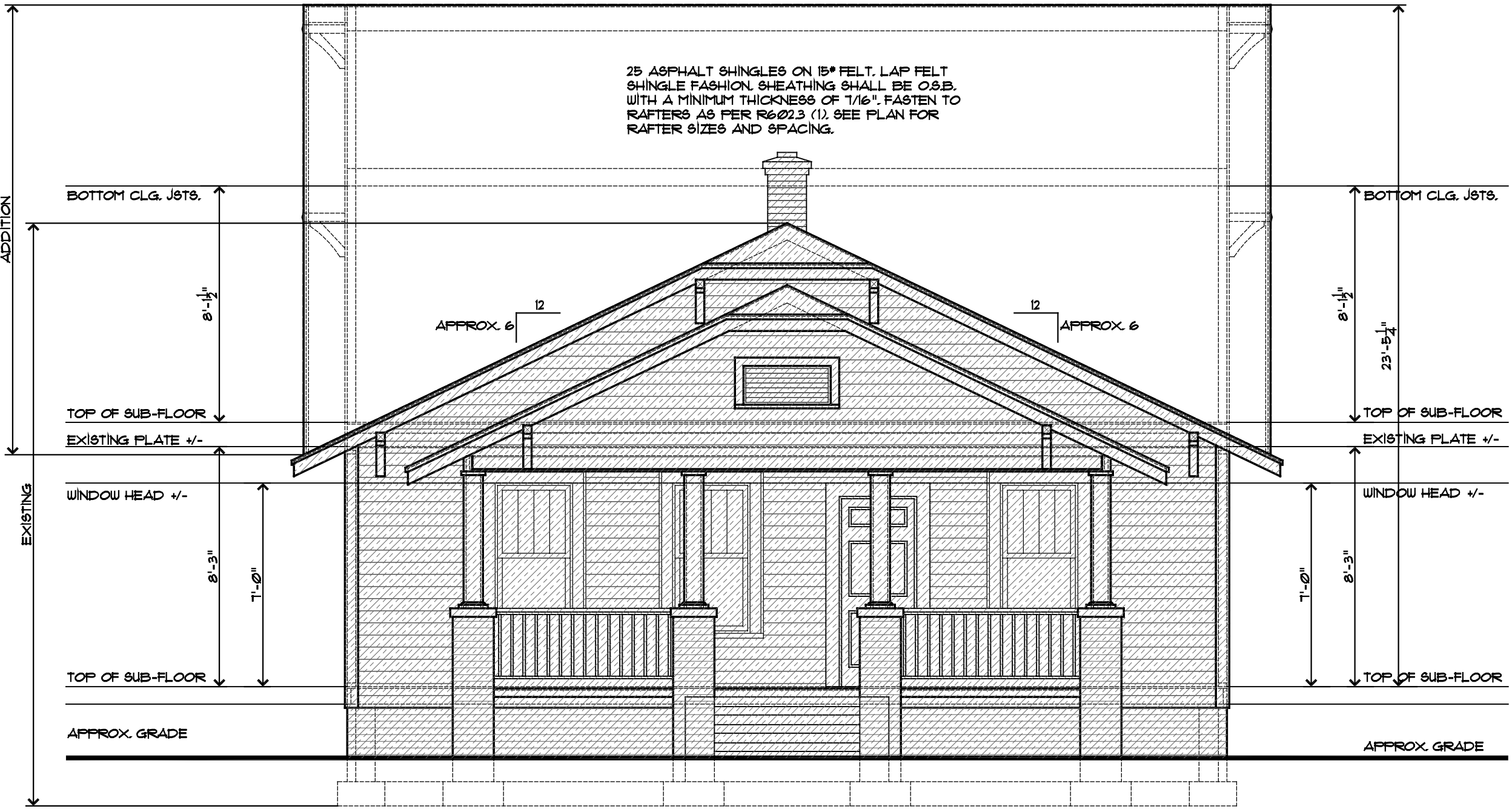
Existing Rear Elevation  
Scale: 1/4"=1'-0"



Proposed Rear Elevation  
Scale: 1/4"=1'-0"



Existing Front Elevation  
Scale: 1/4"=1'-0"



Proposed Front Elevation  
Scale: 1/4"=1'-0"



1418 Hamorton Place  
**1418 Hamorton Place**  
Charlotte, North Carolina 28205

REVISIONS	DATE
1/ ABC	

DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: A4.0

PROPOSED  
FRONT & REAR  
ELEVATIONS

**A4.0**

Left & Right Elevations - Existing and Proposed





1418 Hamorton Place  
Charlotte, North Carolina 28205

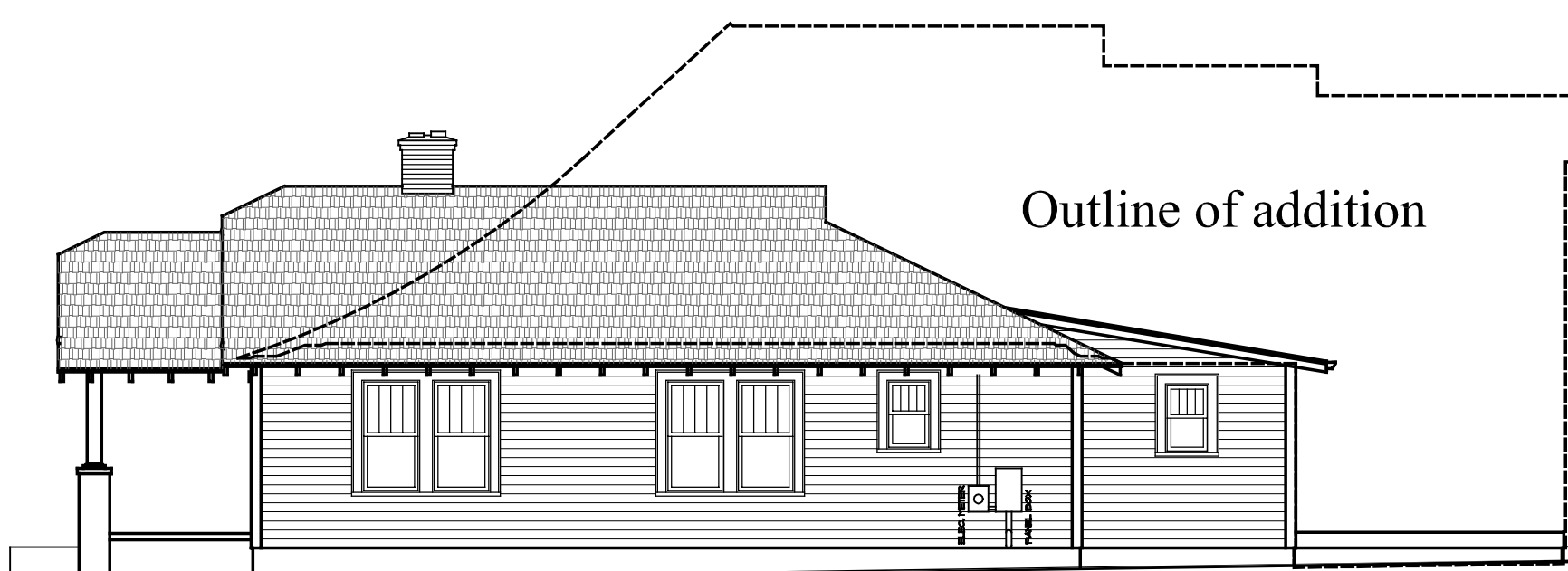
[illegible]

DATE: 16 January 2019

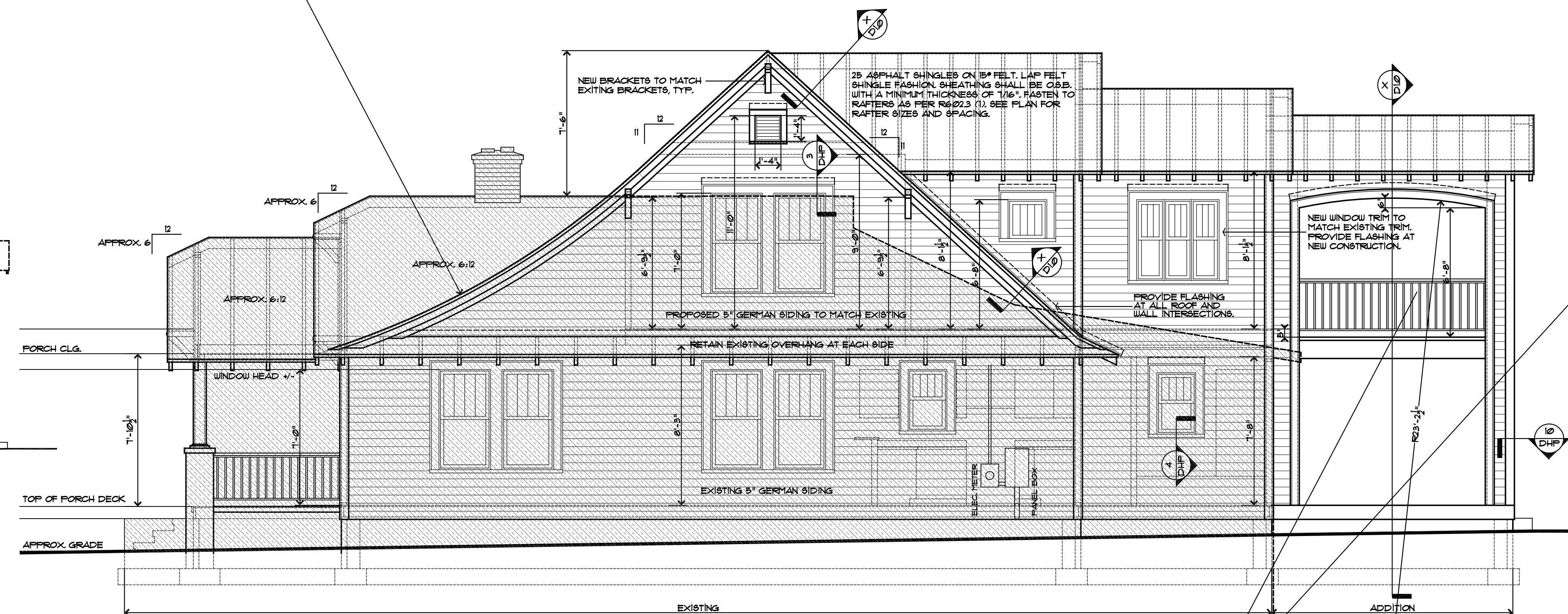
DRAWN BY: DLM  
SHEET NUMBER: A5.0

PROPOSED  
RIGHT & LEFT SIDE  
ELEVATIONS

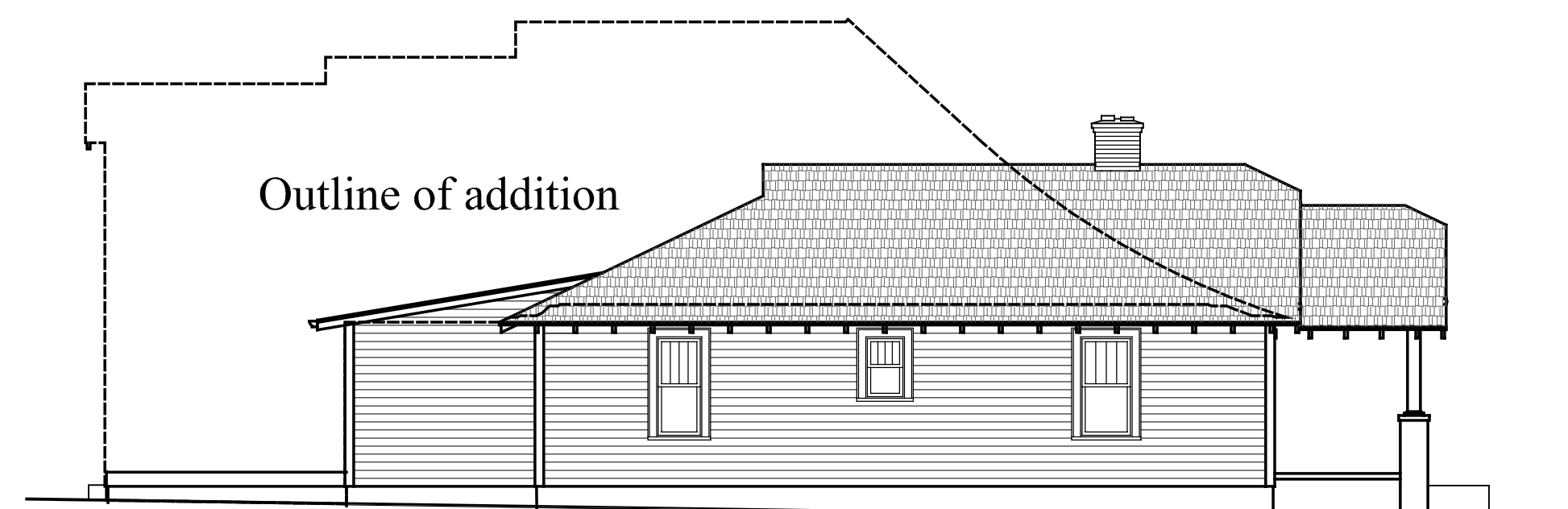
## A5.0



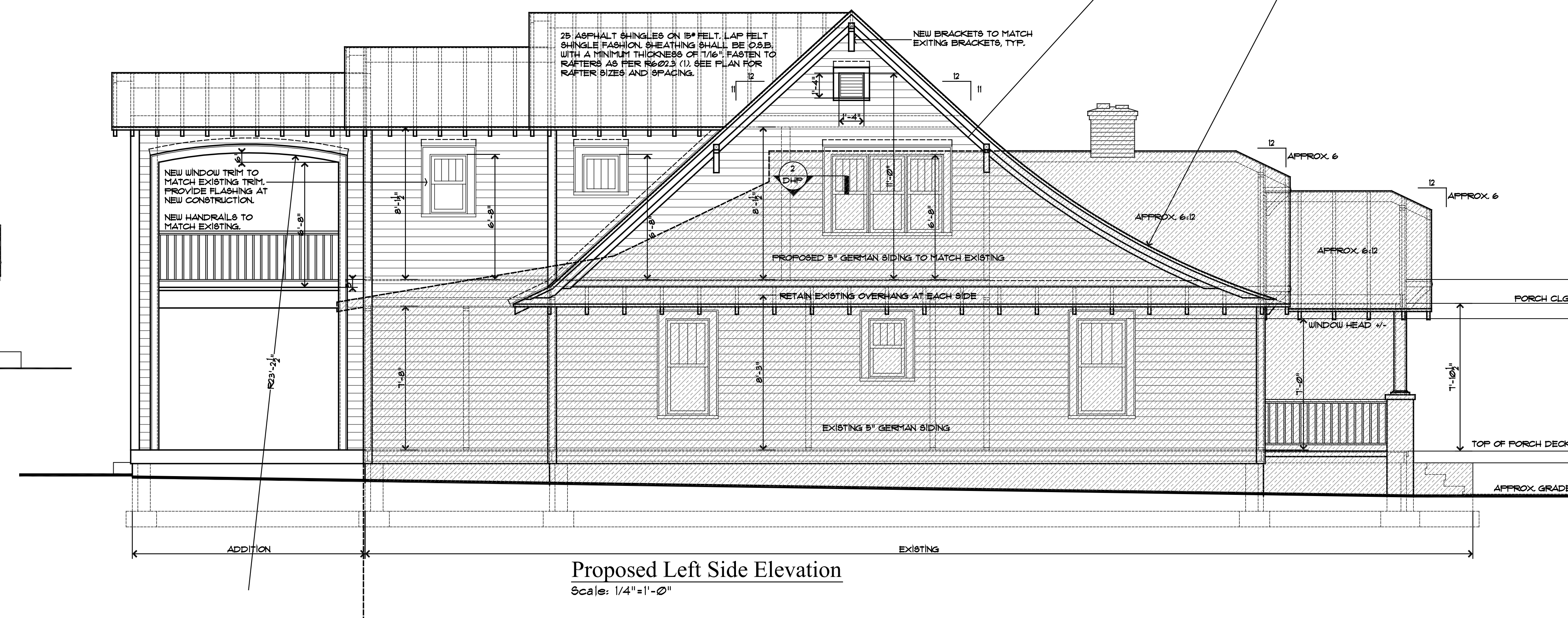
Existing Right Side Elevation  
Scale: 1/4" = 1'-0"



Proposed Right Side Elevation  
Scale: 1/4"=1'-0"



Existing Left Side Elevation  
Scale: 1/4"=1'-0"



Proposed Left Side Elevation  
Scale: 1/4" = 1'-0"

# Streetscape Elevations

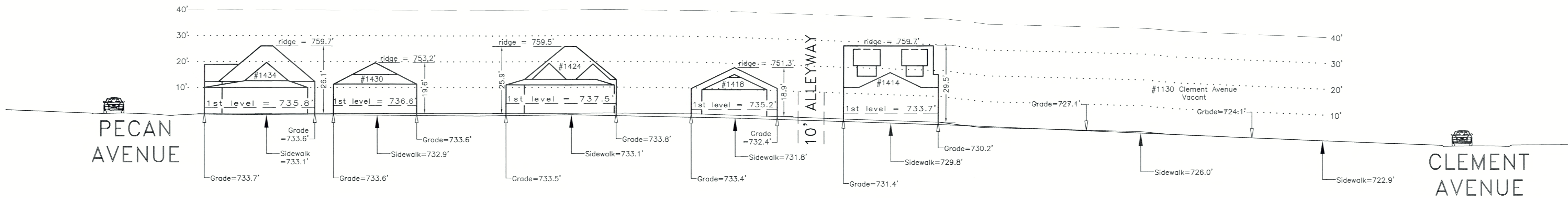


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 6<sup>th</sup> day of February, 2019.



Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098



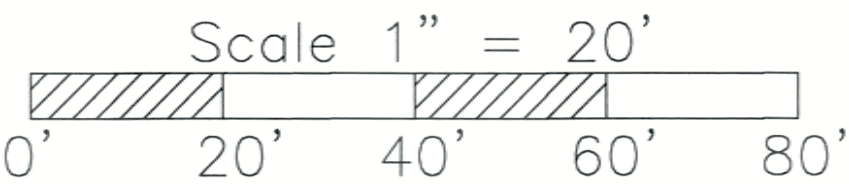
H A M O R T O N P L A C E

**A.G. ZOUTEWELLE**  
**SURVEYORS**  
1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

Building Heights Sketch of  
1400 BLOCK of HAMORTON PLACE  
FACING SOUTHWEST – EVEN SIDE  
CHARLOTTE, MECKLENBURG COUNTY, N.C.

for Charlotte-Mecklenburg Planning Department  
February 5, 2019

General Notes:  
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





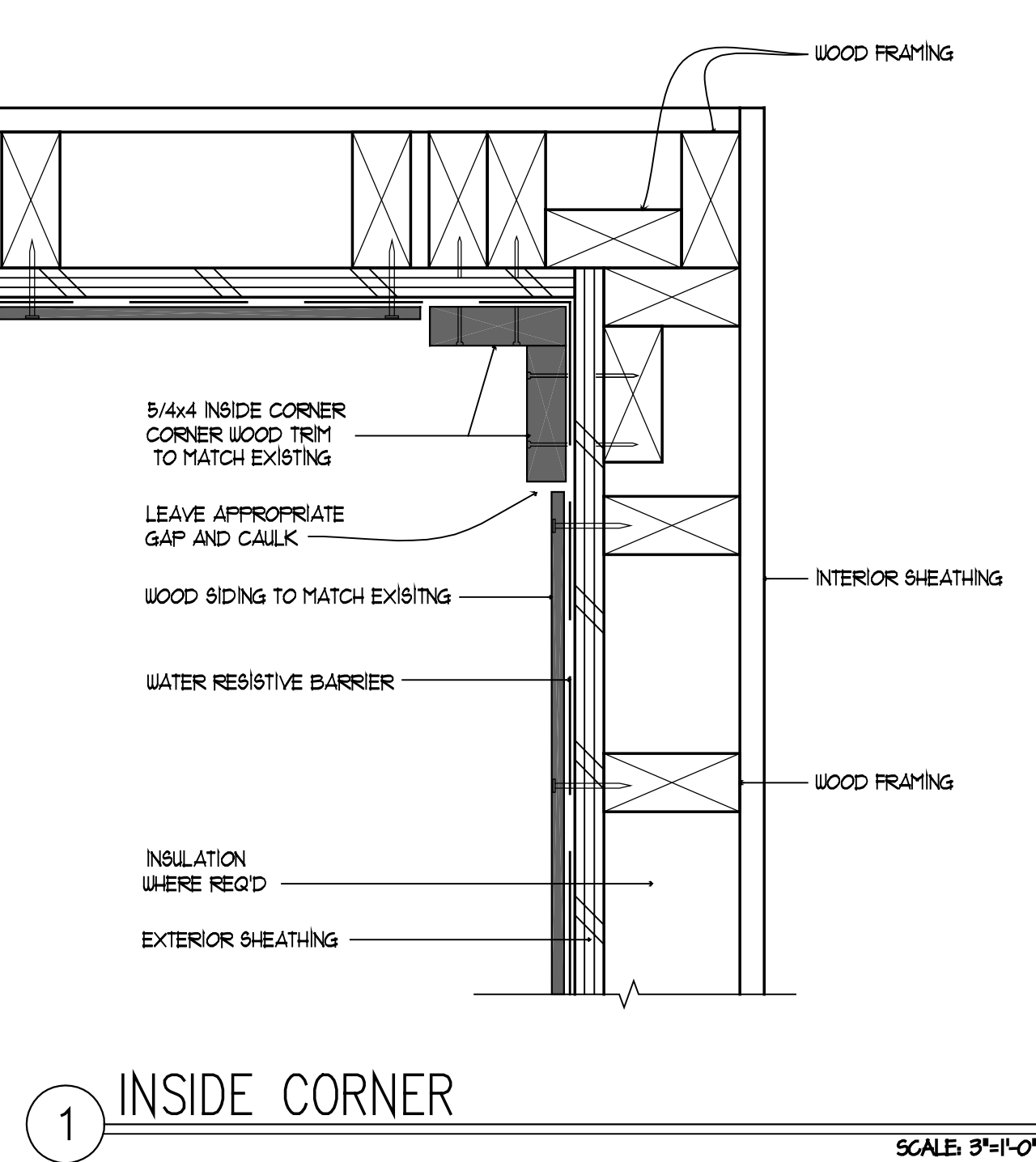
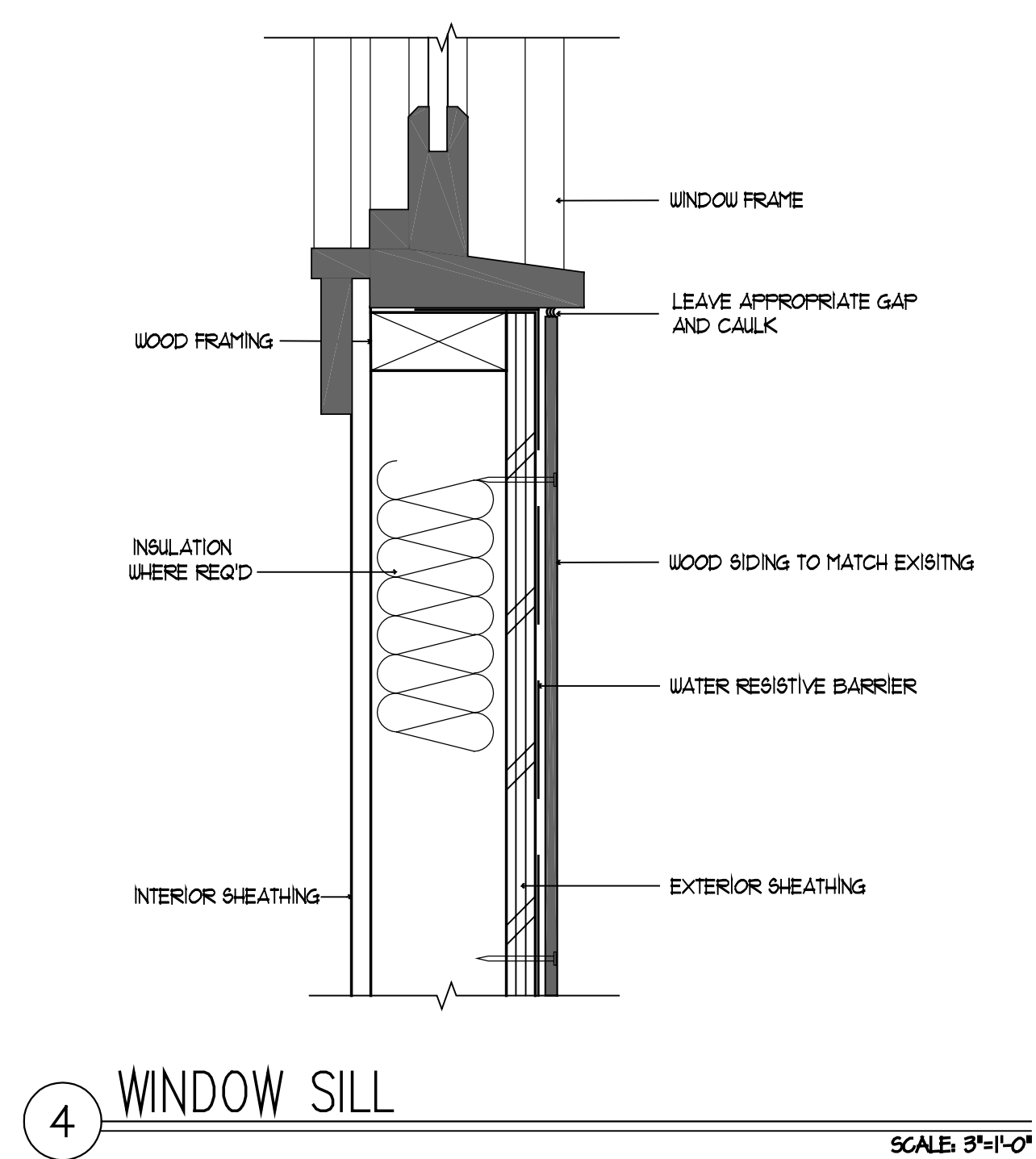
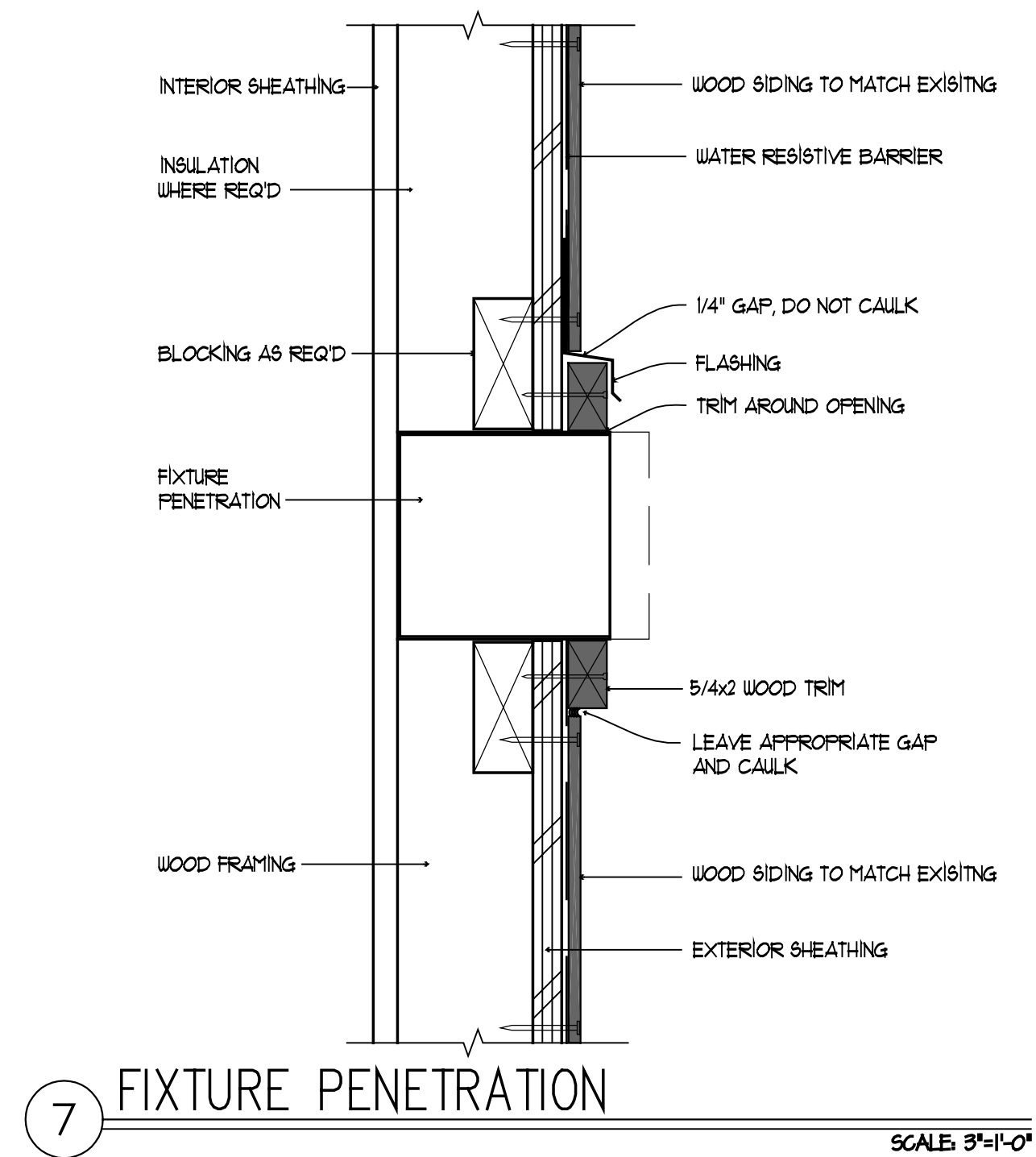
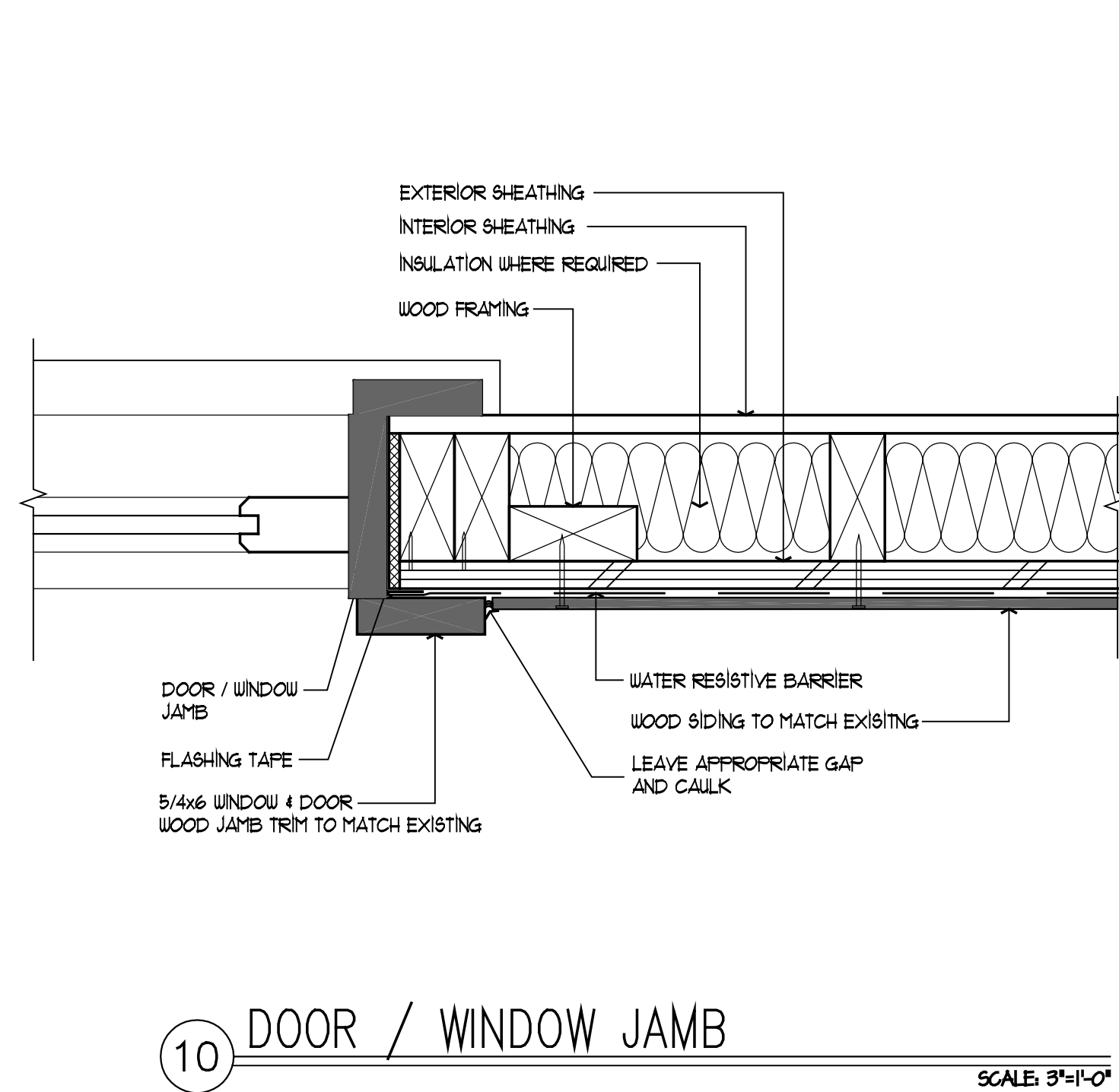
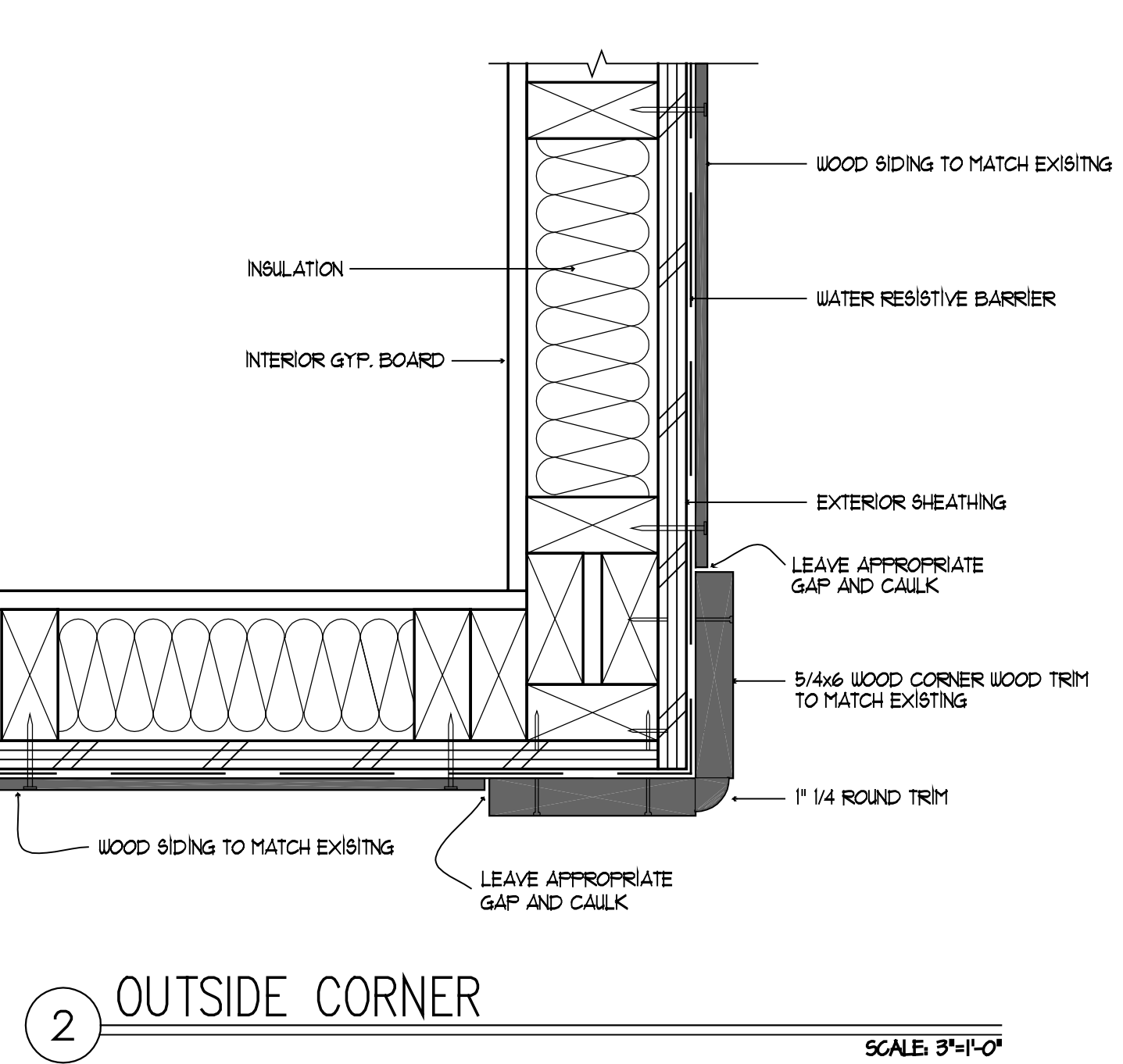
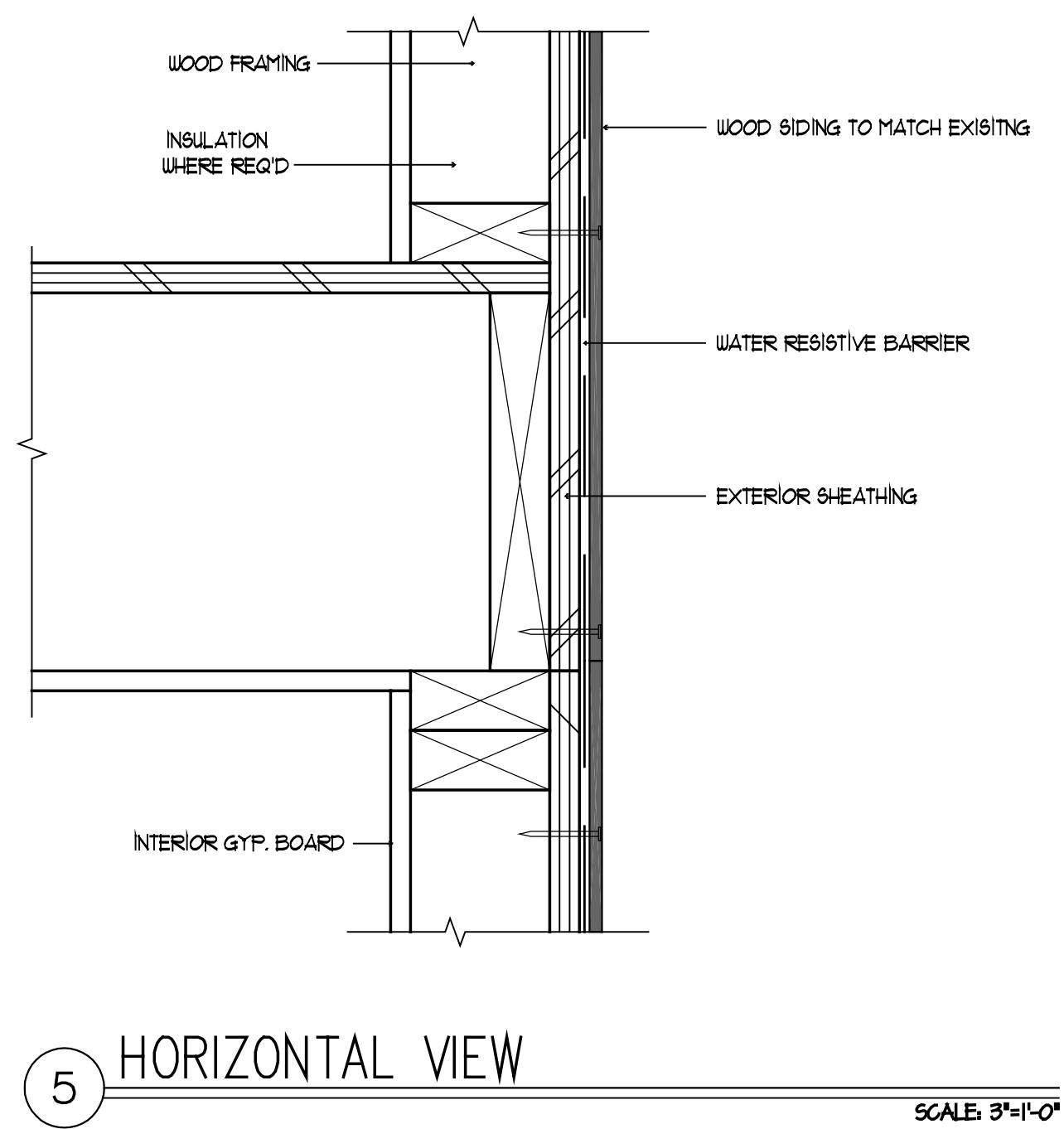
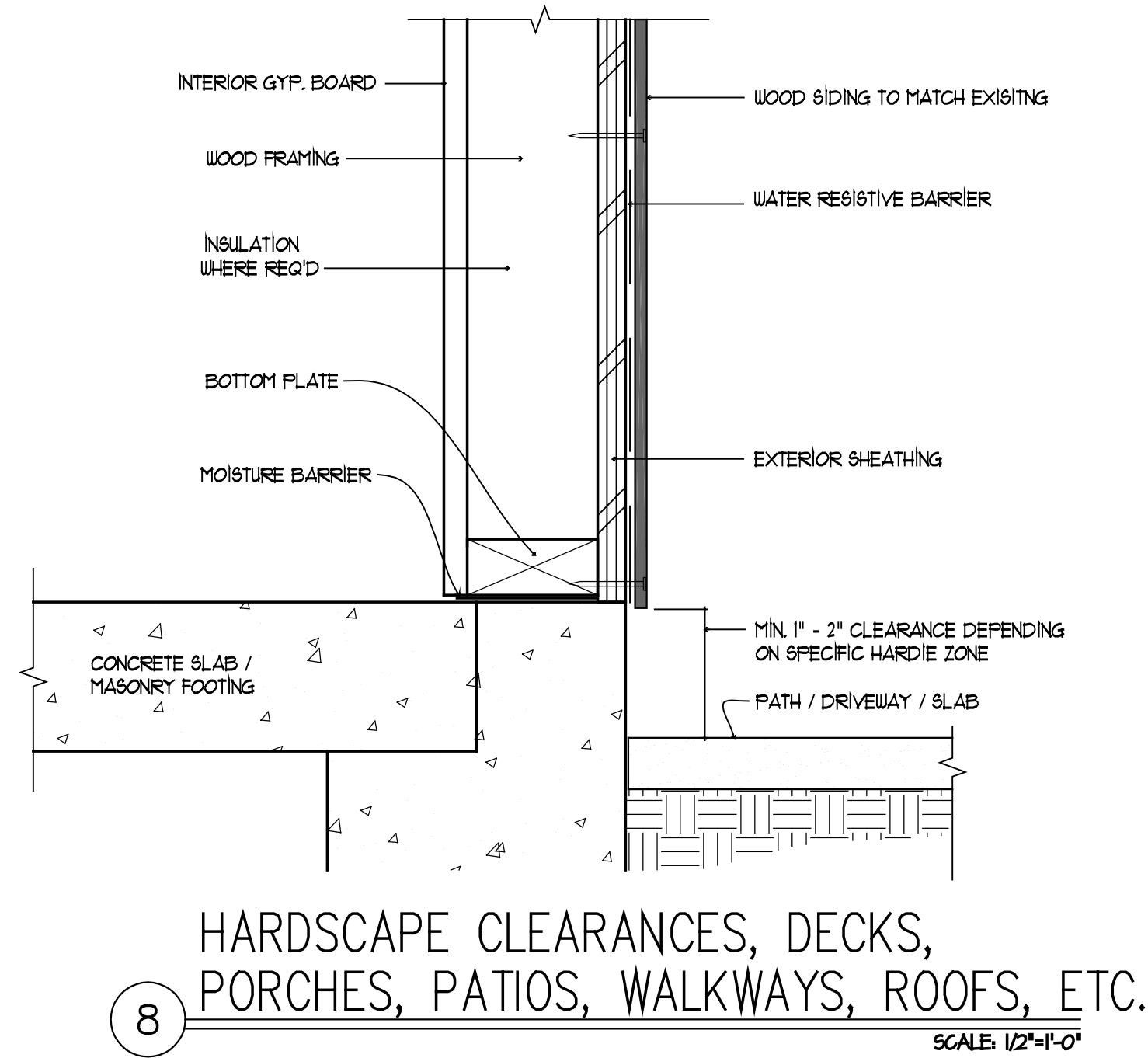
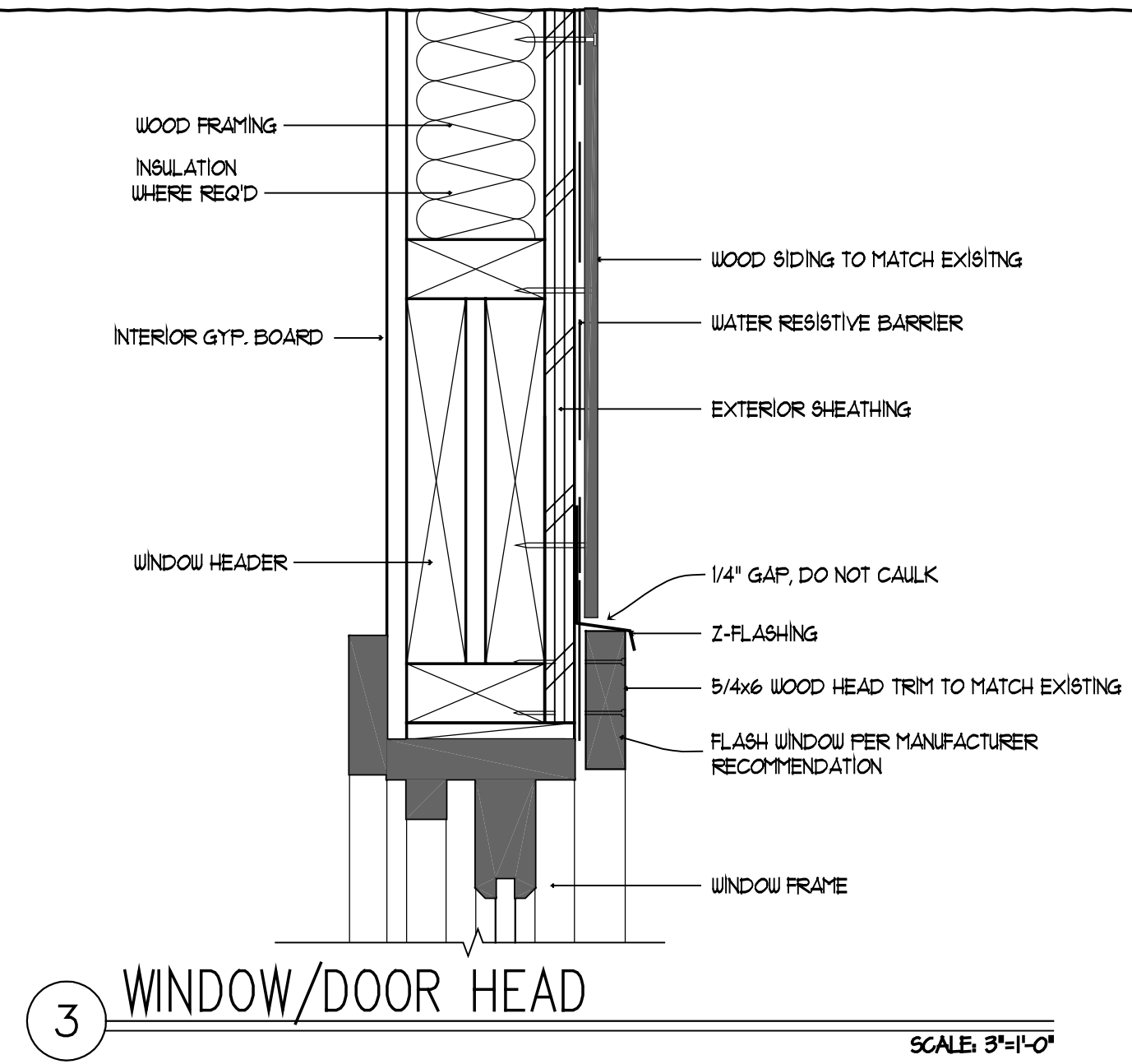
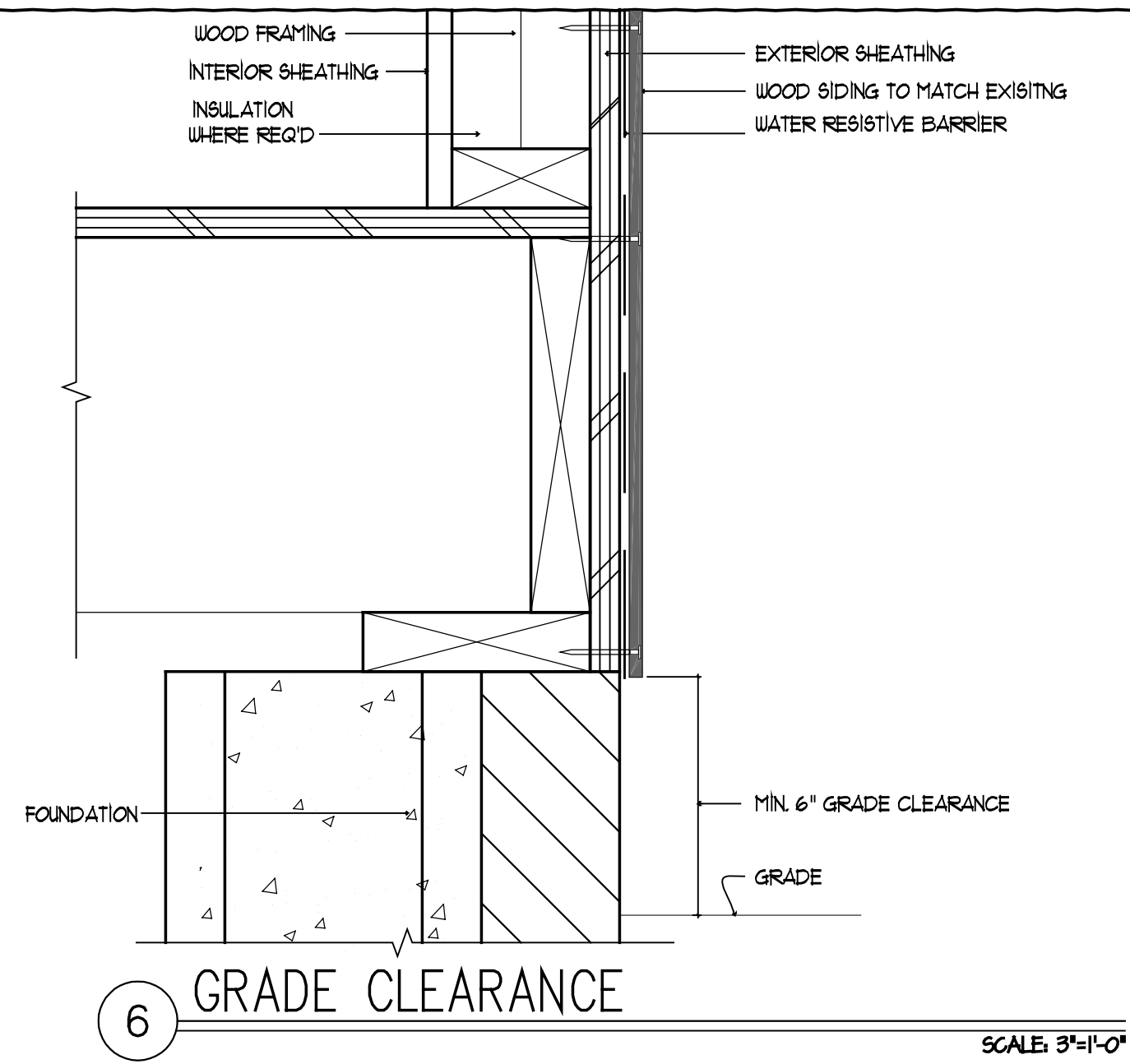
# Architectural Details



GENERAL NOTES APPLY TO ALL SHEETS:

1. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISENHEIMER DESIGN & The European Design Studio, Inc. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
3. ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
4. BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
5. ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.
6. DEVIATION FROM THESE CONSTRUCTION DOCUMENTS, WITHOUT COORDINATING REVISION / CHANGES WITH THE OWNER AND MISENHEIMER DESIGN SHALL ABSOLVE MISENHEIMER DESIGN & The European Design Studio, Inc. FROM LIABILITIES ARISING FROM DISCREPANCIES IN CONSTRUCTION.
7. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISENHEIMER DESIGN & The European Design Studio, Inc. ANY REPRODUCTION, ALTERATIONS OR USE FOR OTHER THAN THE INTENDED PROJECT, WITHOUT WRITTEN CONSENT OF MISENHEIMER DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.

© COPYRIGHT 2014  
MISENHEIMER DESIGN & The European Design Studio, Inc. RESIDENTIAL DESIGN SERVICES.



**MISENHEIMER**  
The European Design Studio, Inc.  
residential  
design  
services  
Charlotte, North Carolina  
USA  
704-908-8381 Phone  
DLMisenheimer@gmail.com  
www.facebook.com/MisDesign

1418 Hamorton Place  
**1418 Hamorton Place**  
Charlotte, North Carolina 28205

REVISIONS	DATE
ABCD	01 XXXX 2010

DATE: 16 January 2019

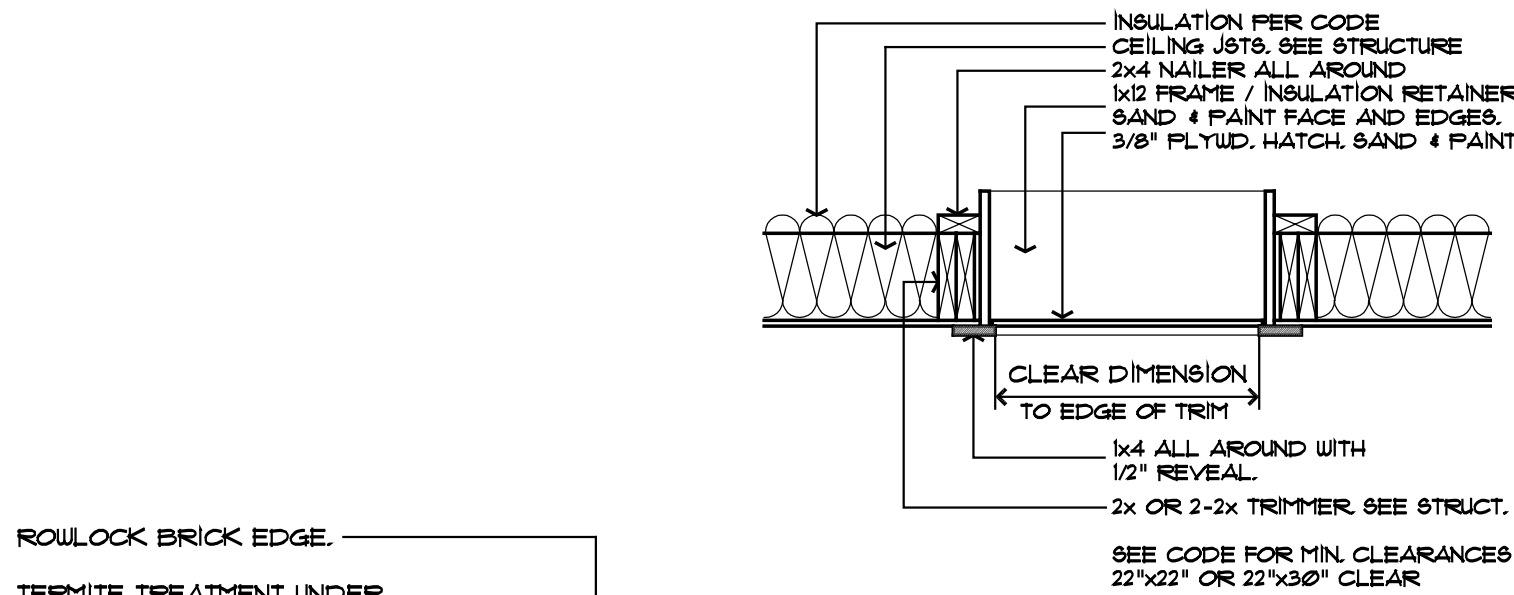
DRAWN BY:  
SHEET NUMBER: 'TRIM'

TRIM  
DETAIL  
SHEET  
**TRIM**

GENERAL NOTES APPLY TO ALL SHEETS:

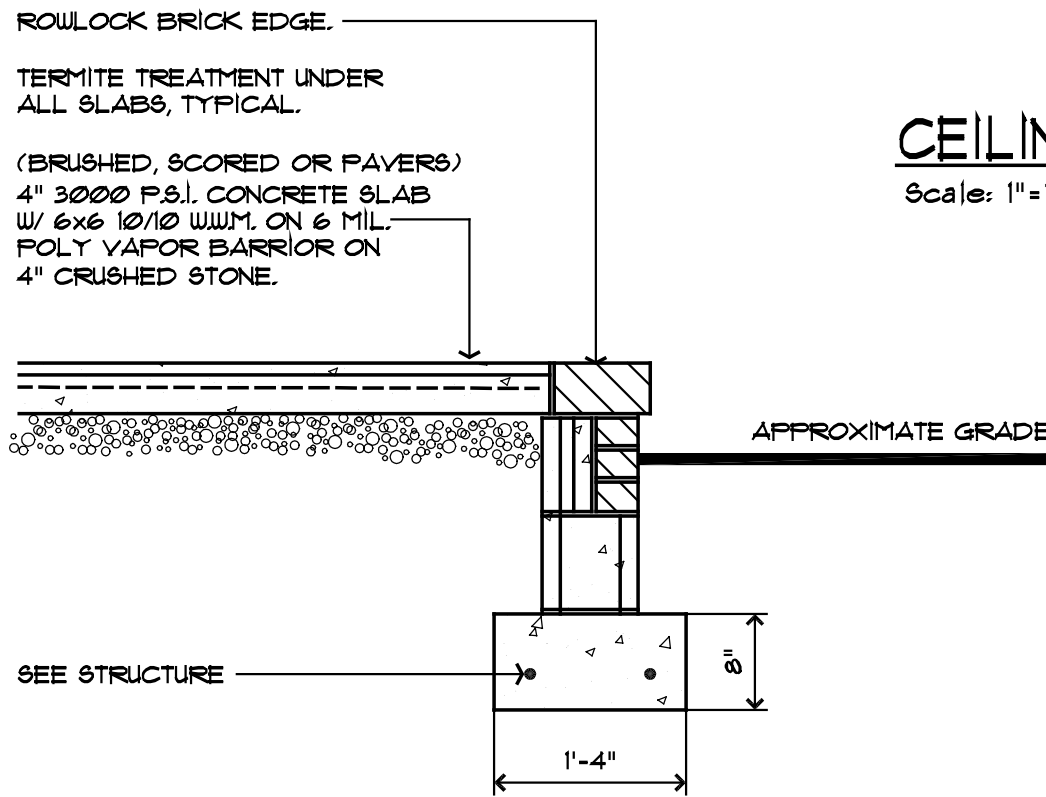
- ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
- ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
- BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AGREES THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
- ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.
- DEVIATION FROM THESE CONSTRUCTION DOCUMENTS, WITHOUT COORDINATING REVISION / CHANGES WITH THE OWNER AND MISENHEIMER DESIGN SHALL ABSOLVE MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. FROM LIABILITIES ARISING FROM DISCREPANCIES IN CONSTRUCTION.
- THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. ANY REPRODUCTION, ALTERATIONS OR USE FOR OTHER THAN THE INTENDED PROJECT, WITHOUT WRITTEN CONSENT OF MISENHEIMER DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.

© COPYRIGHT 2014  
MISENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC., RESIDENTIAL DESIGN SERVICES.



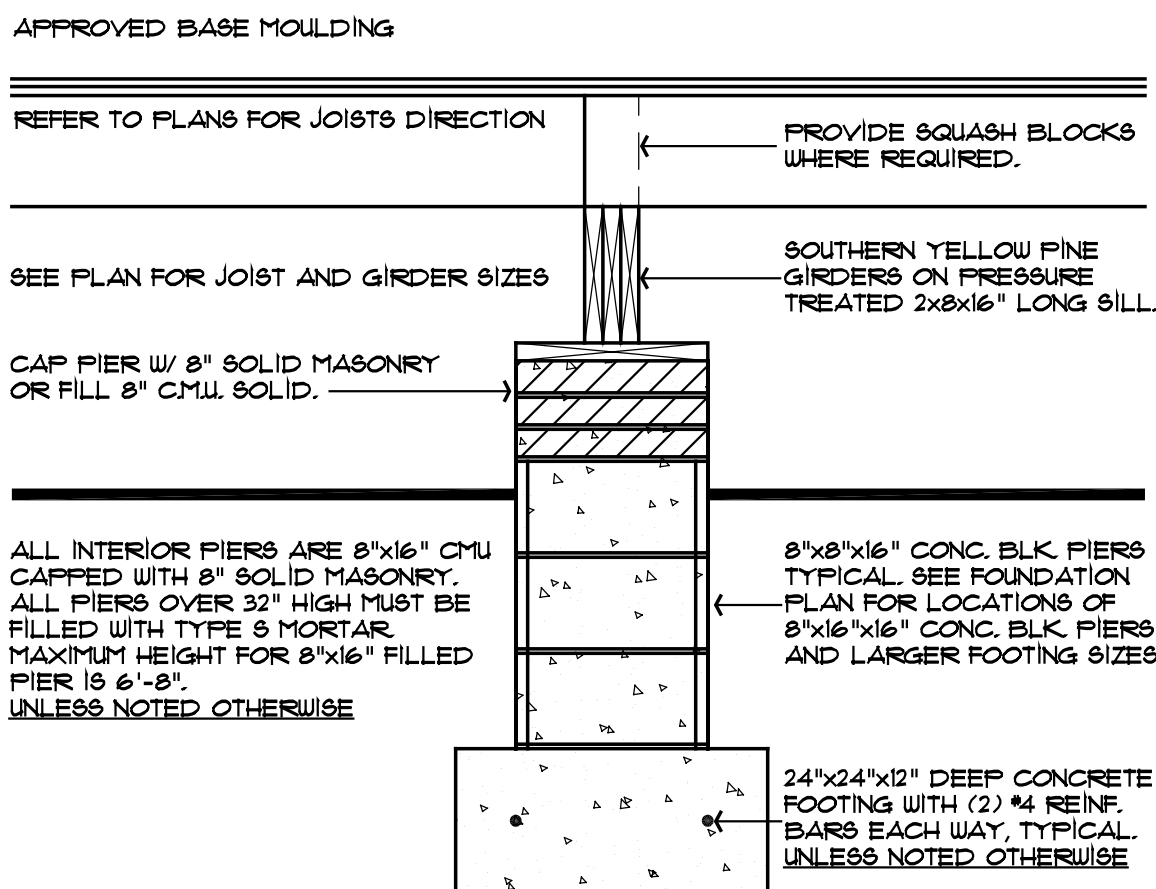
CEILING ATTIC ACCESS HATCH

Scale: 1"=1'-0"



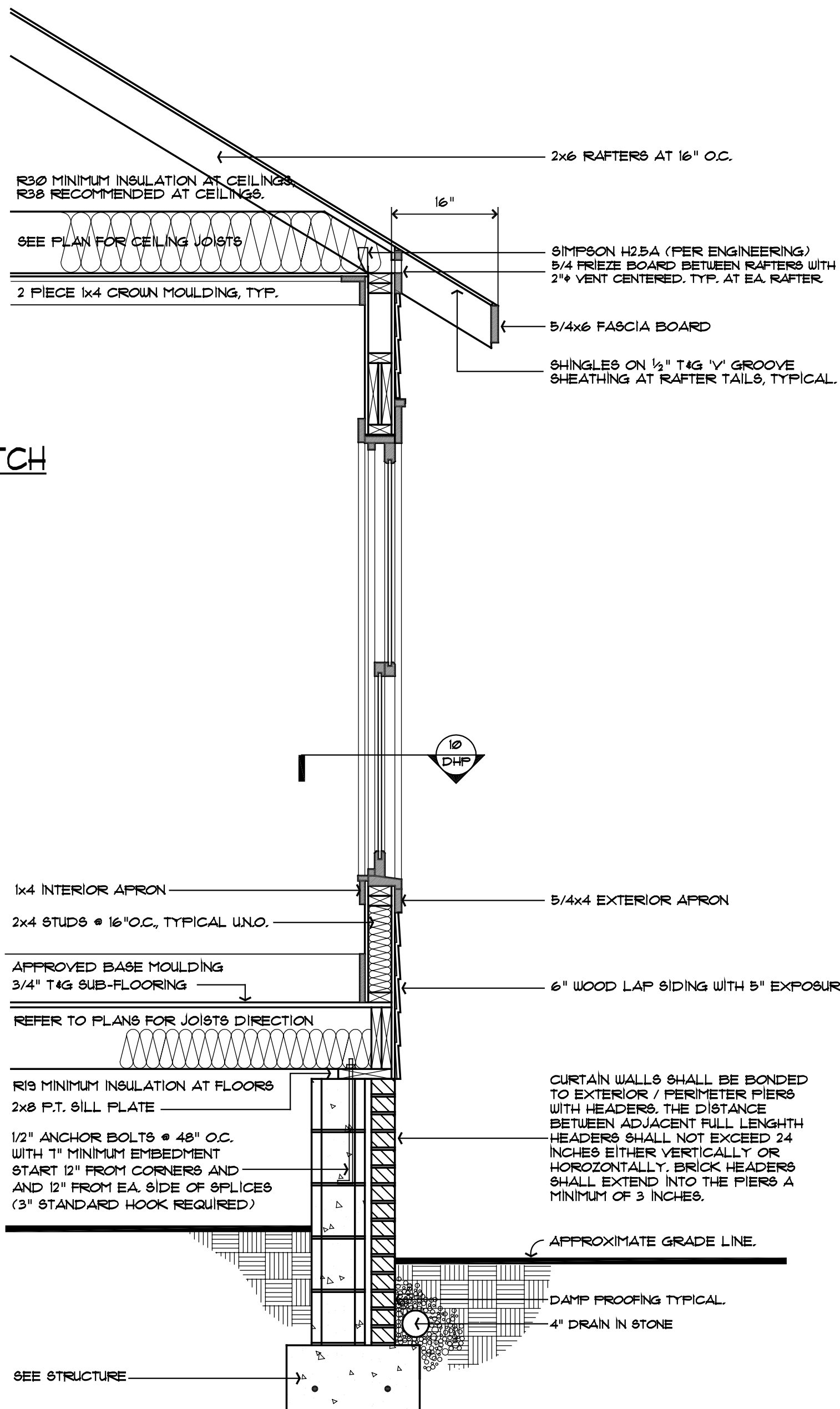
OPTIONAL REAR PATIO PERIMETER

Scale: 3/4"=1'-0"



TYPICAL PIER DETAIL

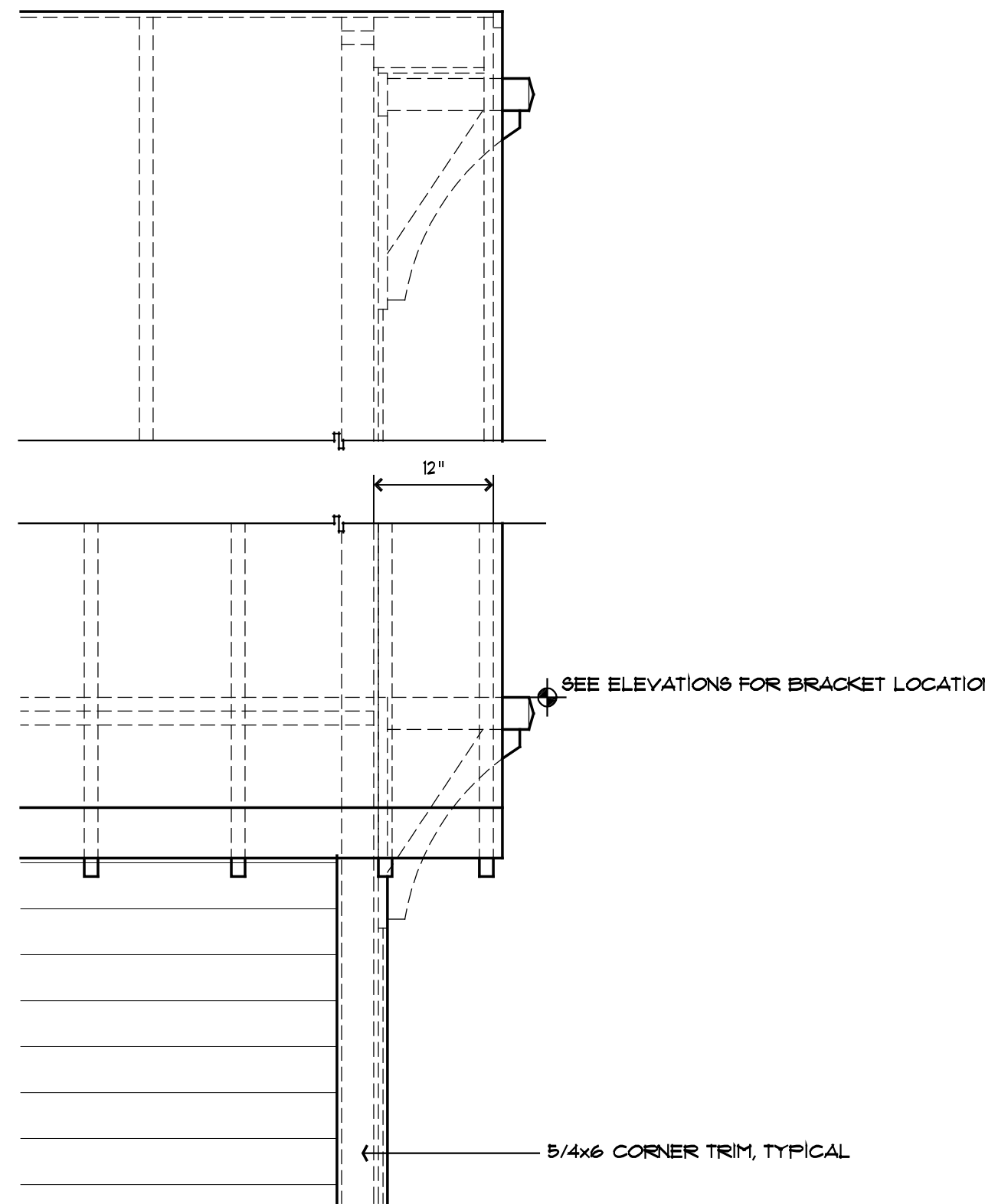
Scale: 3/4"=1'-0"



TYPICAL WALL SECTION

Scale: 3/4"=1'-0"

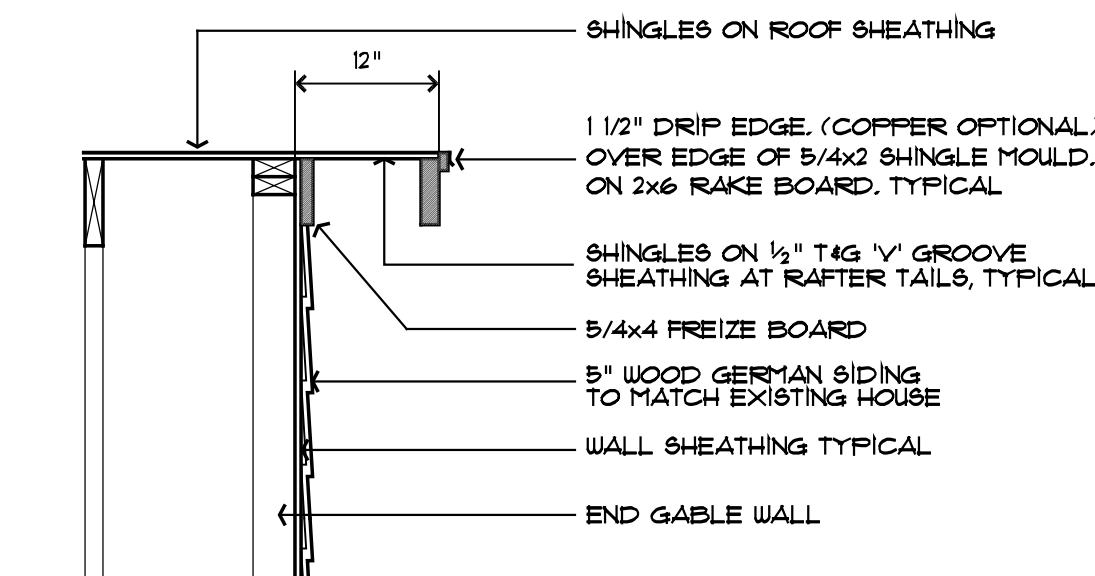
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



TYPICAL EAVE PROFILE

Scale: 3/4"=1'-0" (NON-STRUCTURAL BRACKETS)

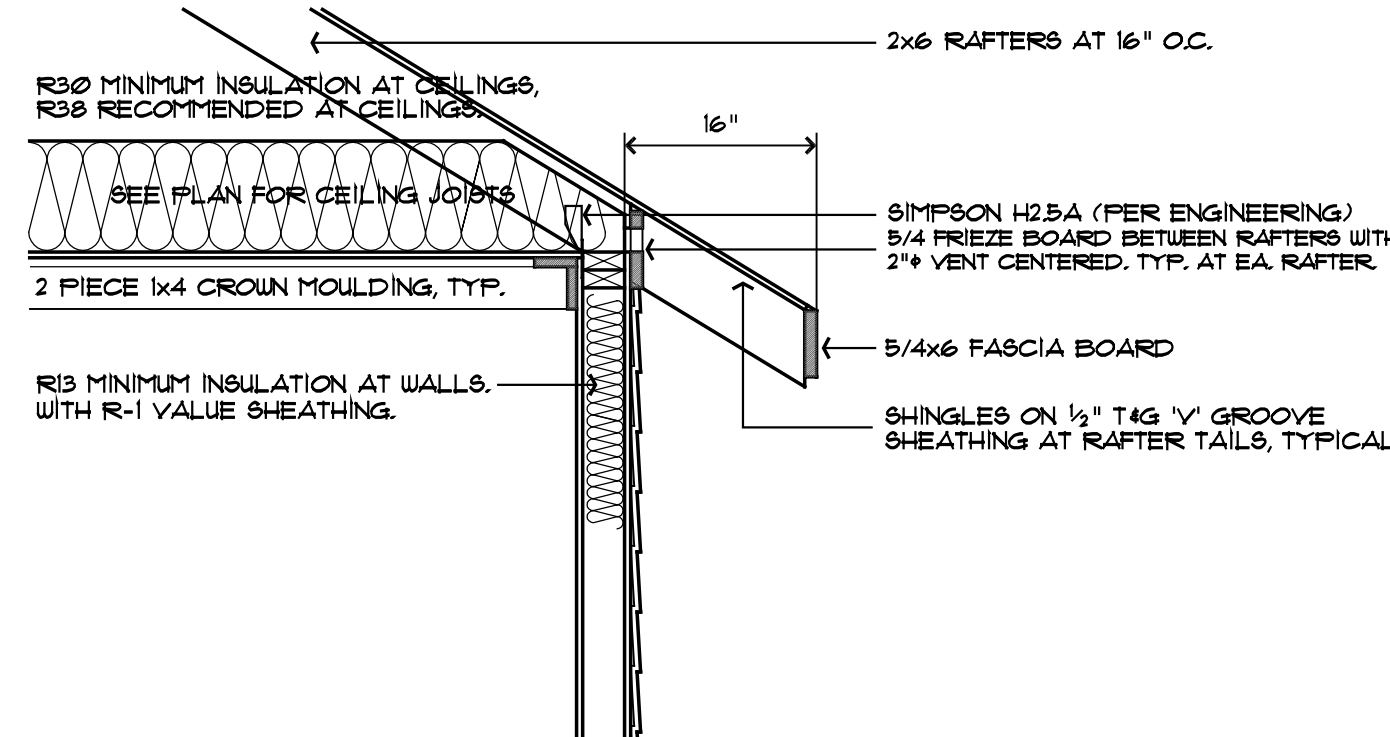
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



TYPICAL RAKE DETAIL

Scale: 3/4"=1'-0"

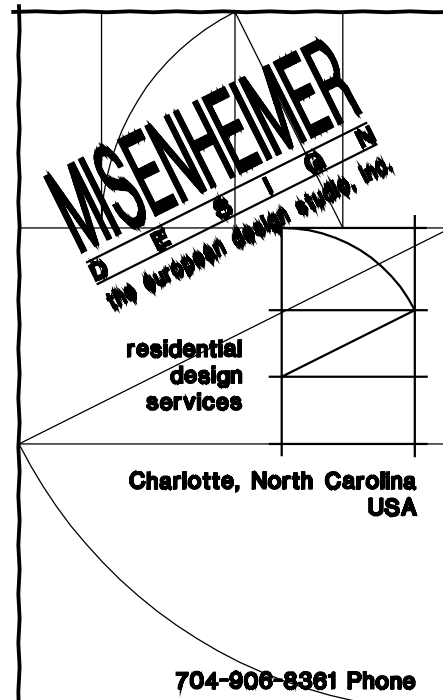
PRIME AND BACK PRIME ALL EXTERIOR TRIM.



TYPICAL EAVE DETAIL

Scale: 1-1/2"=1'-0"

PRIME AND BACK PRIME ALL EXTERIOR TRIM.



DLMisenheimer@gmail.com  
www.facebook.com/MisDesign



1418 Hamorton Place  
1418 Hamorton Place  
Charlotte, North Carolina 28205

REVISIONS	DATE
ABCD	01 XXXX 2010

DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: D1.0

DETAIL  
SHEET

D1.0



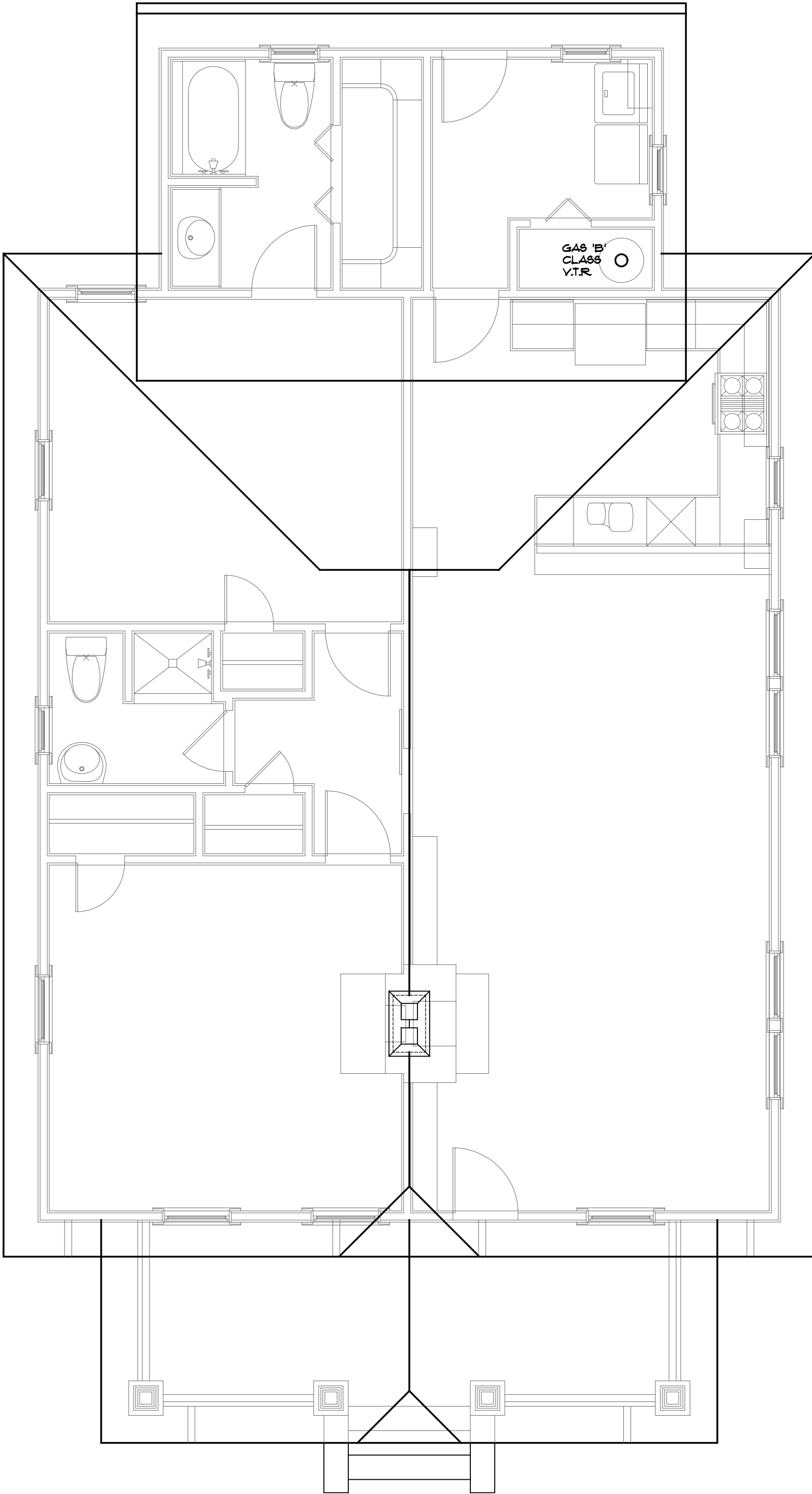
GENERAL NOTES APPLY TO ALL SHEETS:

1. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
3. ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
4. BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
5. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. ANY REPRODUCTION, DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.
6. ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.

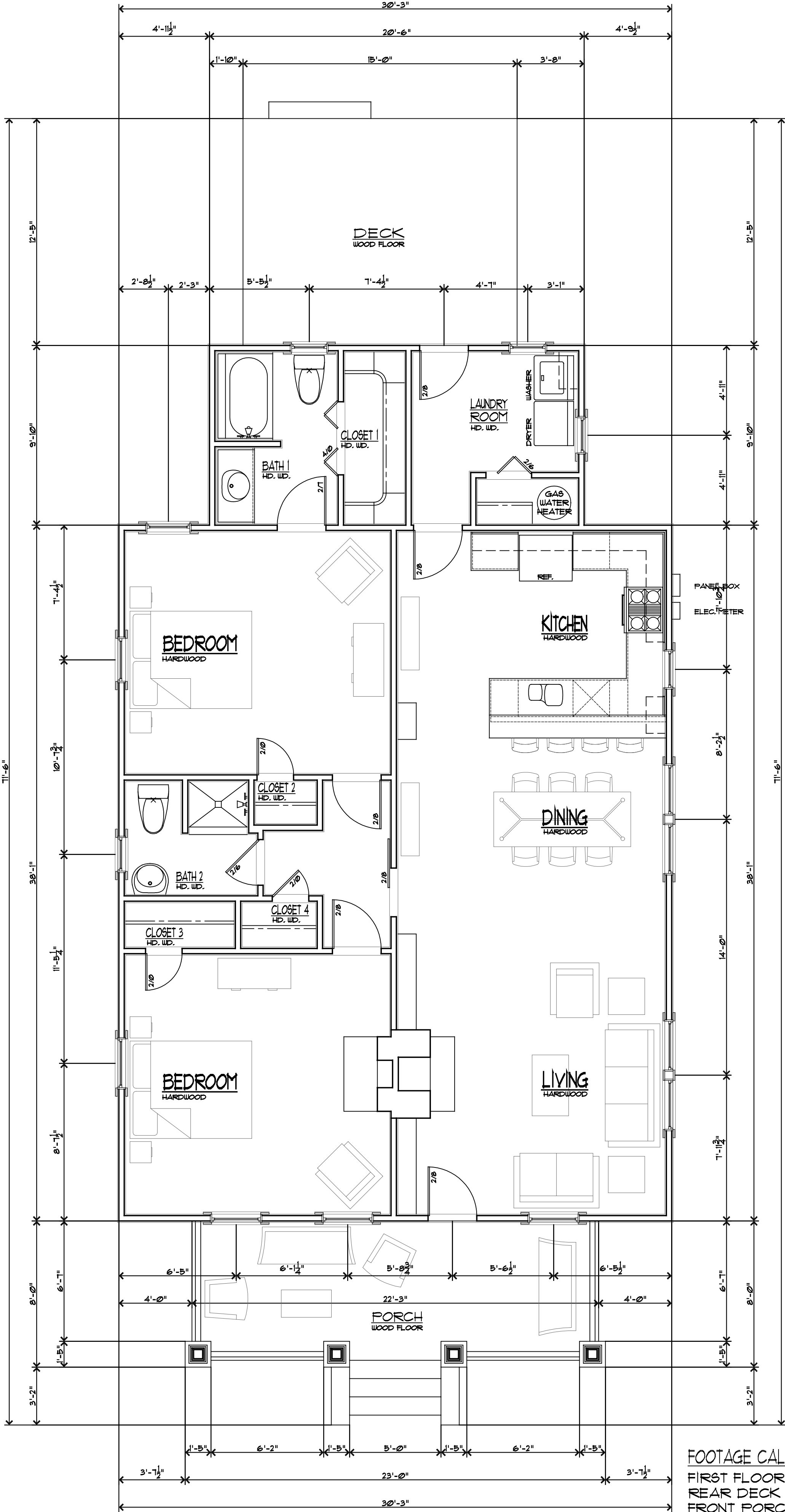
© COPYRIGHT 2018  
MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. RESIDENTIAL DESIGN SERVICES.

SPECIAL NOTES! APPLIES TO ALL SHEETS!

1. WINDOW AND OR DOOR SUPPLIER SHALL FIELD VERIFY ALL EXISTING WOOD FRAME AND MASONRY OPENINGS BEFORE PRICING OR ORDERING WINDOWS OR DOORS. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS OR VARIANCES ONCE CONSTRUCTION BEGINS.
2. IN CASES OF RENOVATIONS AND ADDITIONS OF EXISTING STRUCTURES, ALL DIMENSIONS MAY VARY IN ORDER TO ALIGN NEW CONSTRUCTION WITH EXISTING CONSTRUCTION. ALL TRADES SHALL VERIFY DISCREPANCIES WITH THE A.C. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS OR VARIANCES ONCE CONSTRUCTION BEGINS.



Existing Roof Plan  
Scale: 1/4"=1'-0"

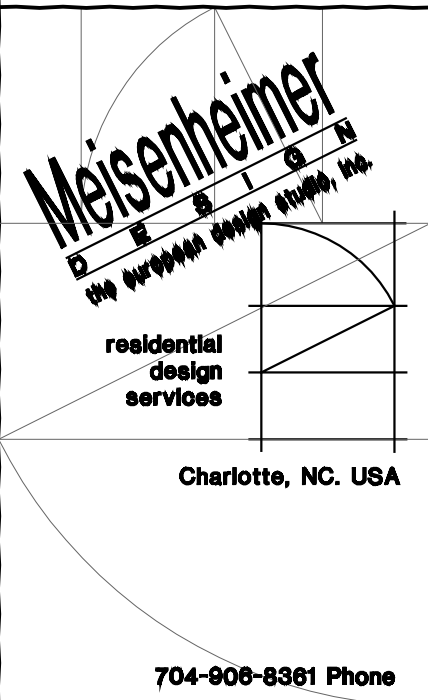


Existing First Level Floor Plan  
Scale: 1/4"=1'-0"

FOOTAGE CALCULATIONS

FIRST FLOOR	1354
REAR DECK	191
FRONT PORCH	194
TOTAL	1739
TOTAL HEATED	1354

\*PORCH AND DECK SQ. FT. INCLUDES STEPS



DL Misenheimer@gmail.com  
www.facebook.com/MisDesign



1418 Hamorton Place  
Charlotte, North Carolina 28205

REVISIONS	DATE
1/ ABC	

DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: A1.0

EXISTING  
FIRST FLOOR PLAN  
AND ROOF PLAN

A1.0

GENERAL NOTES APPLY TO ALL SHEETS:

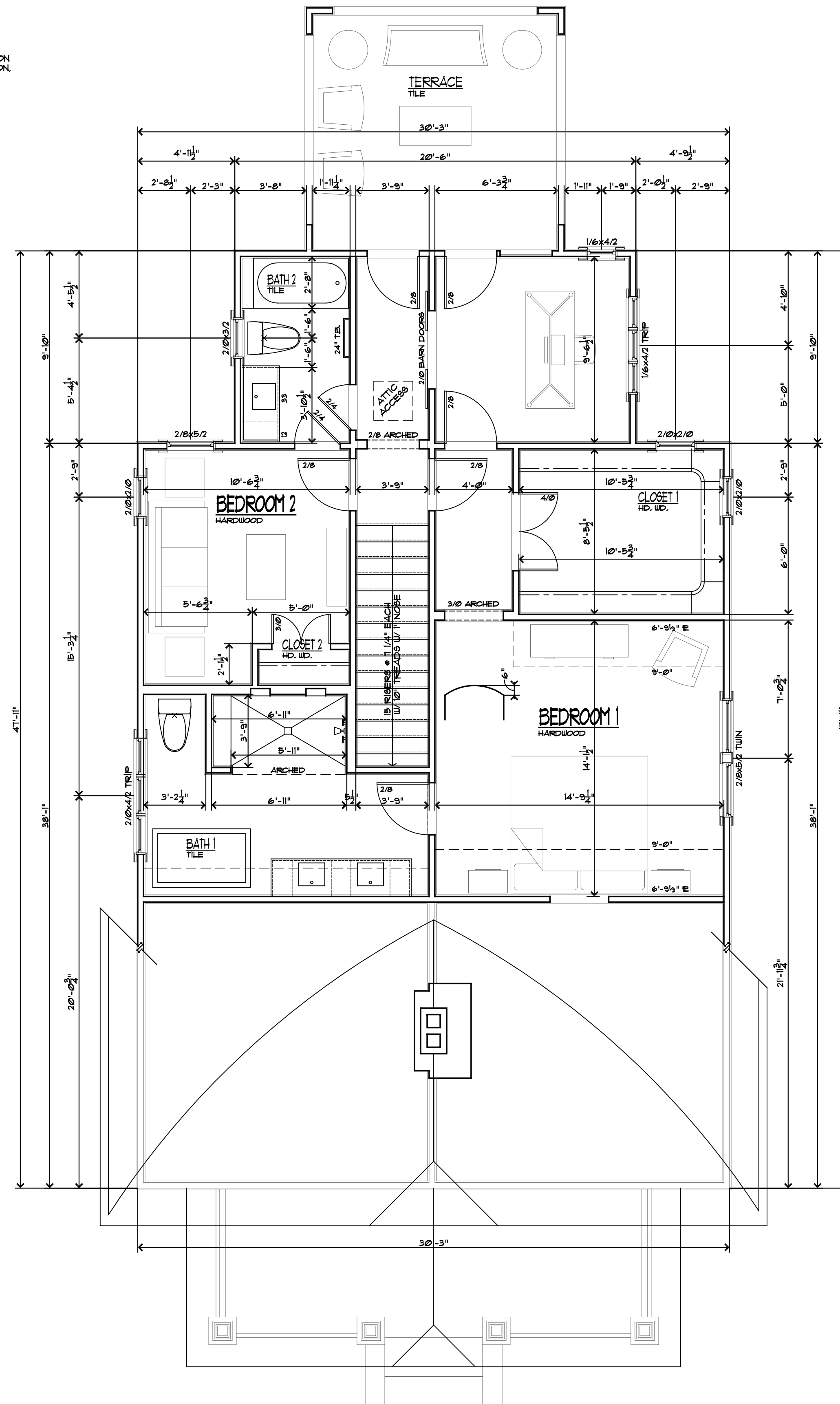
1. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
2. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION AND COORDINATE ANY CORRECTIONS OR REVISIONS WITH THE OWNER AND DESIGNER. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS ONCE CONSTRUCTION BEGINS.
3. ALL STRUCTURAL INFORMATION HAS BEEN PROVIDED BY A PROFESSIONAL ENGINEER. THE APPEARANCE OF HIS PROFESSIONAL ENGINEERING SEAL CONFIRMS THAT ALL STRUCTURAL INFORMATION HAS BEEN CHECKED AND APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL COMMUNICATE ANY STRUCTURAL DISPUTES DIRECTLY WITH THE ENGINEER.
4. BY APPLYING FOR AND OBTAINING A BUILDING PERMIT FOR THESE DOCUMENTS, THE CONTRACTOR AFFIRMS THAT HE OR SHE HAS REVIEWED & APPROVED THESE CONSTRUCTION DOCUMENTS AS IS AND ACCEPTS ALL PARTS OF THESE CONSTRUCTION DOCUMENTS AS SHOWN.
5. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE. THESE DRAWINGS AND THE INFORMATION THEREON ARE THE PROPERTY OF MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. ANY REPRODUCTION, DESIGN RESIDENTIAL DESIGN SERVICES IS EXPRESSLY FORBIDDEN.
6. ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.

© COPYRIGHT 2018

MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. RESIDENTIAL DESIGN SERVICES.

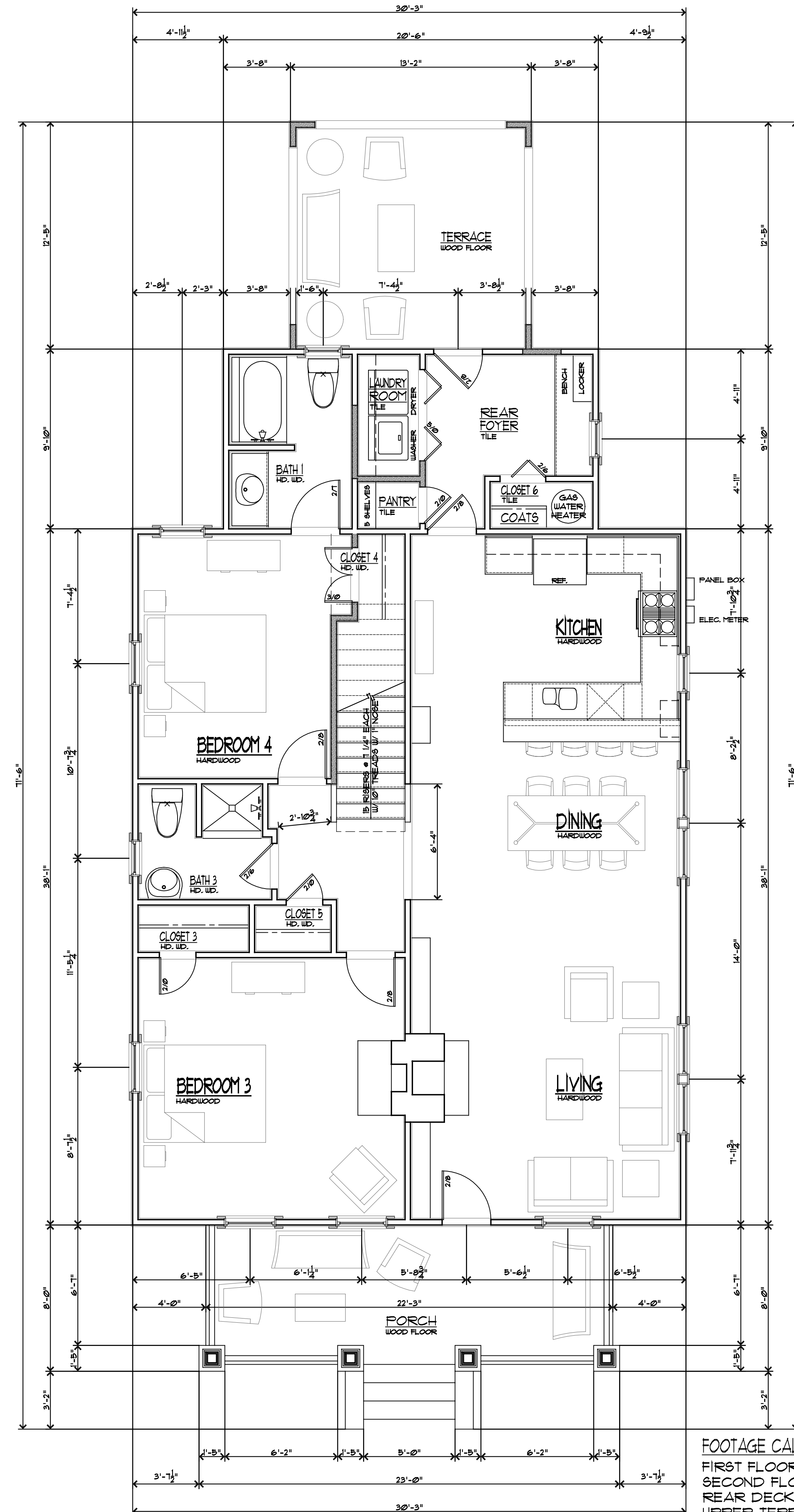
SPECIAL NOTES: APPLIES TO ALL SHEETS!

1. WINDOW AND OR DOOR SUPPLIER SHALL FIELD VERIFY ALL EXISTING WOOD FRAME AND MASONRY OPENINGS BEFORE PRICING OR ORDERING WINDOWS OR DOORS. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS OR VARIANCES ONCE CONSTRUCTION BEGINS.
2. IN CASES OF RENOVATIONS AND ADDITIONS OF EXISTING STRUCTURES, ALL DIMENSIONS MAY VARY IN ORDER TO ALIGN NEW CONSTRUCTION WITH EXISTING CONSTRUCTION. ALL TRADES SHALL VERIFY DISCREPANCIES WITH THE G.C. MISSENHEIMER DESIGN & THE EUROPEAN DESIGN STUDIO, INC. WILL ASSUME NO LIABILITY FOR DIMENSIONAL ERRORS OR VARIANCES ONCE CONSTRUCTION BEGINS.



Proposed Second Level Floor Plan

Scale: 1/4" = 1'-0"

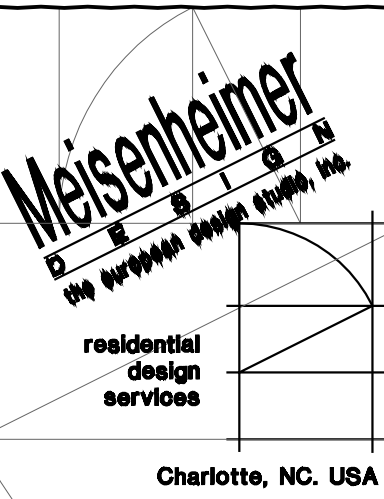


Existing First Level Floor Plan

Scale: 1/4" = 1'-0"

FOOTAGE CALCULATIONS	
FIRST FLOOR	1354
SECOND FLOOR	911
REAR DECK	163
UPPER TERRACE	163
FRONT PORCH	194
TOTAL	2785
TOTAL HEATED	2265

\*PORCH SQ. FT. INCLUDES STEPS



704-908-8361 Phone

DLMisenheimer@gmail.com  
www.facebook.com/MisDesign



1418 Hamorton Place  
**1418 Hamorton Place**  
Charlotte, North Carolina 28205

REVISIONS	DATE
1/ ABC	

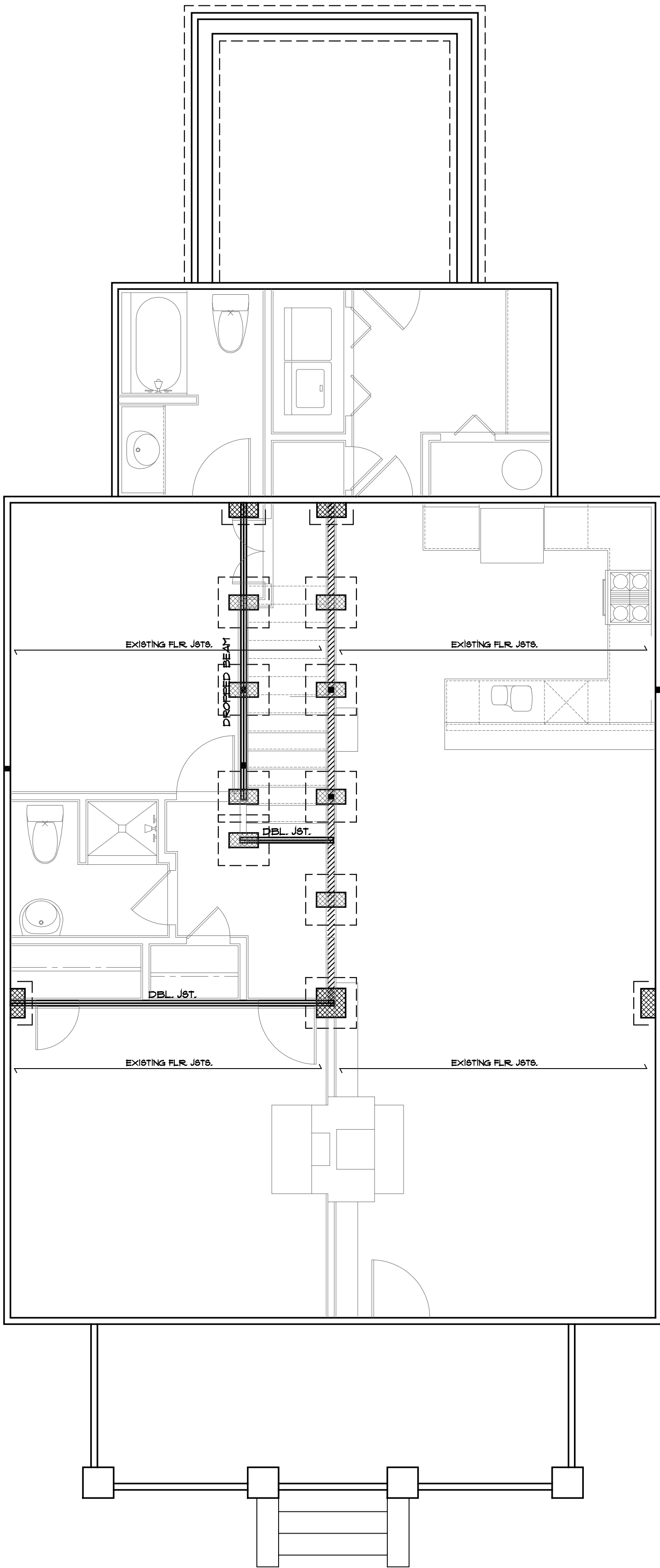
DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: A3.0

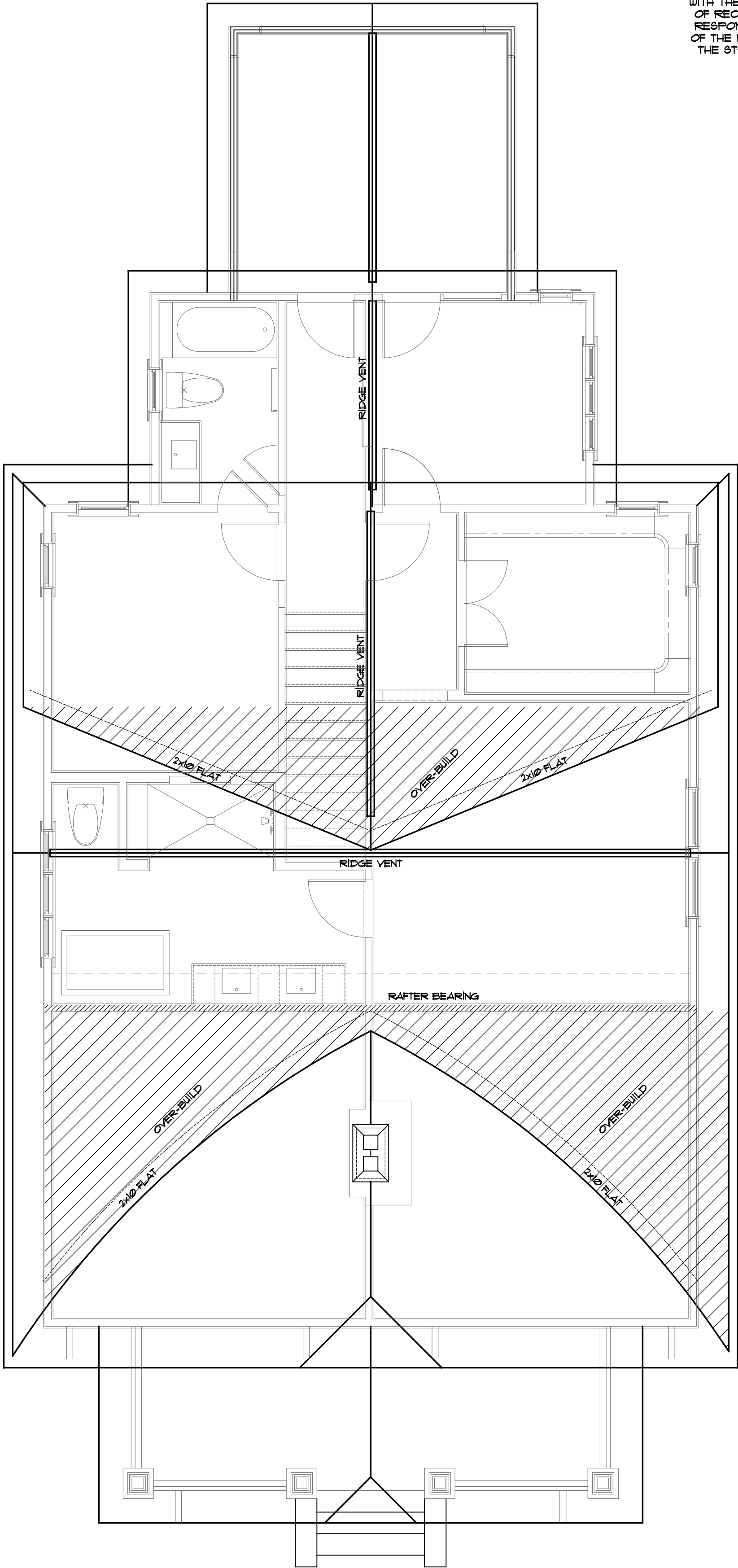
PROPOSED  
FIRST FLOOR AND  
SECOND FLOOR PLANS

**A3.0**





Proposed Foundation Plan  
Scale: 1/4"=1'-0"



ATTIC VENTILATION CALCULATIONS  
1/31 OF DIVIDED BY 300 OF 566 SQUARE FEET OF VENT AREA REQUIRED  
2093 SQUARE FEET OF VENT AREA PROVIDED

Proposed Roof Plan  
Scale: 1/4"=1'-0"

NOTE TO BUILDERS AND/OR LUMBER SUPPLIERS:  
DO NOT ALTER THE FRAMING PLANS. ANY  
CHANGES MADE WITHOUT THE REVIEW AND  
APPROVAL OF THE ENGINEER OF RECORD SHALL  
ABSOLVE HIM OR HER OF ALL RESPONSIBILITY  
FOR ALL ASPECTS OF THE ENGINEERED DESIGN.

HOWARD VERNIA ENGINEERING'S  
STANDARD NOTES SHALL BE USED  
WITH THESE PLANS. THE ENGINEER  
OF RECORD DOES NOT ACCEPT  
RESPONSIBILITY FOR ANY PART  
OF THE PLANS NOT RELEVANT TO  
THE STRUCTURAL INFORMATION.

**HE**  
Howard - Verna Engineering, P.C.  
5109-A Monroe Rd.  
Charlotte, NC 28205  
704-531-9219  
NC License #C-3328 SC License #4185



1418 Hamorton Place  
**1418 Hamorton Place**  
Charlotte, North Carolina 28205

REVISIONS	DATE
1/ ABC	

DATE: 16 January 2019

DRAWN BY: DLM  
SHEET NUMBER: S1.0

PROPOSED  
FOUNDATION &  
ROOF PLAN

**S1.0**