
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 2001 Thomas Avenue

SUMMARY OF REQUEST: Accessory Building

OWNER/APPLICANT: Chris Barth, applicant

Details of Proposed Request

Existing Context

The main building is a 1-story Colonial Revival style bungalow house constructed in 1932. Existing materials include asbestos siding over wood, a painted brick foundation, vinyl windows, and tile over the original concrete porch. Original architectural features include decorative cornice returns, original wood siding in the front pediment, wood front door, wood vents, and brick chimney. Adjacent structures are 1 and 1.5 story single family homes. The lot size is 50' x 150'.

Project

The proposal is the demolition of an existing 12'x 16' shed building from the mid-1990s and the construction of a new one-story accessory building. The new accessory building is 16'-11" in height as measured from grade to ridge, which is significantly shorter than the primary structure. The footprint measures approximately 13' x 24'. Siding material is Hardie Artisan lap siding with a 7" reveal and mitered corners, wood windows, and wood carriage-style doors. The 'driveway' material is crushed slate chosen for both visual and permeability reasons. The addition of a pergola over an existing wood deck is also proposed. The pergola material is painted wood and will be approximately 9'-6" in height tying in well below the existing ridge of the house.

Design Guidelines for Accessory Buildings, page 8.9

1. Retain and repair historic outbuildings. Do not demolish existing historic outbuildings.
2. Place new outbuildings, such as garages or sheds, to the rear of lots that are large enough to accommodate them, following the applicable zoning requirements. New outbuildings cannot be located in front or side yards.
3. Design new outbuildings to be compatible with the style and character of the primary historic building on the site, especially in scale, elements and roof form. Any new outbuilding must be clearly secondary to the main structure on the site.
4. Stamped metal and vinyl doors are considered to be inappropriate materials for outbuildings, and are discouraged. For more information on appropriate new construction see Chapter 6.
5. Prefabricated outbuildings that are not in keeping with the historic character of the district are not allowed where visible from the public street.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Recommendation

1. The proposal is not incongruous with the District and meets the guidelines for Accessory Buildings, 8.9 above.
2. Hardie siding should be smooth finish.
3. Minor revisions may be reviewed by staff.

LOCAL HISTORIC DISTRICT: PLAZA MIDWOOD

 PROPOSED PROJECT: ACCESSORY STRUCTURE

4 February 2019



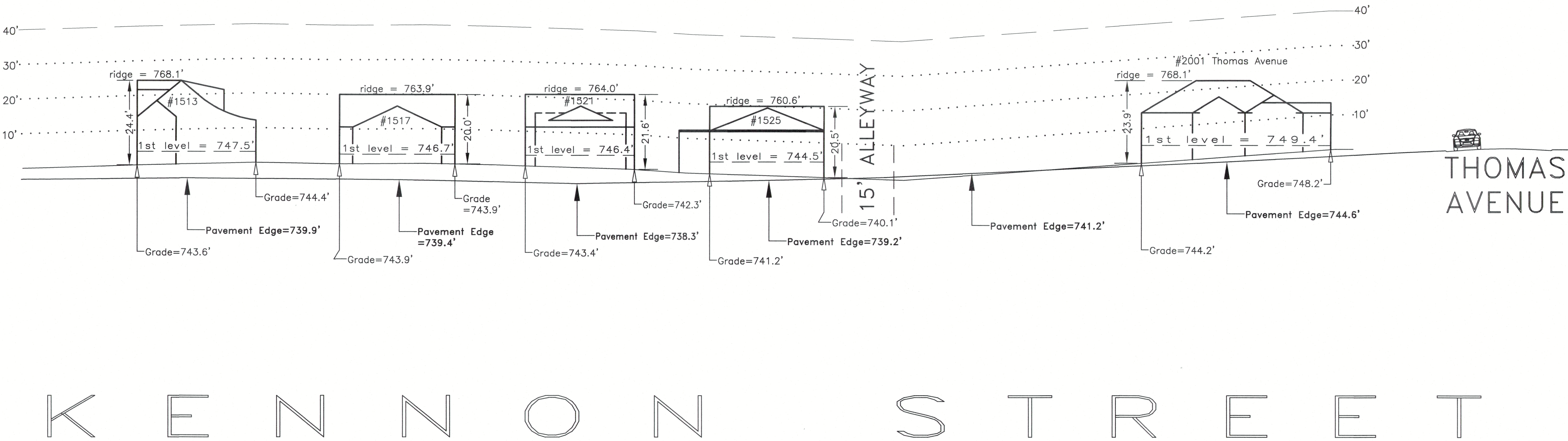
I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 6th day of February, 2019.



Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

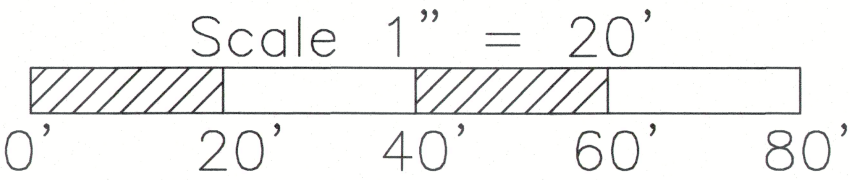
To HAWTHORNE LANE



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Firm Licensure Number C-1054

Building Heights Sketch of
KENNON STREET at THOMAS AVENUE
FACING NORTHEAST
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
February 5, 2019

General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





1513 Kennon St.



1517 Kennon St.

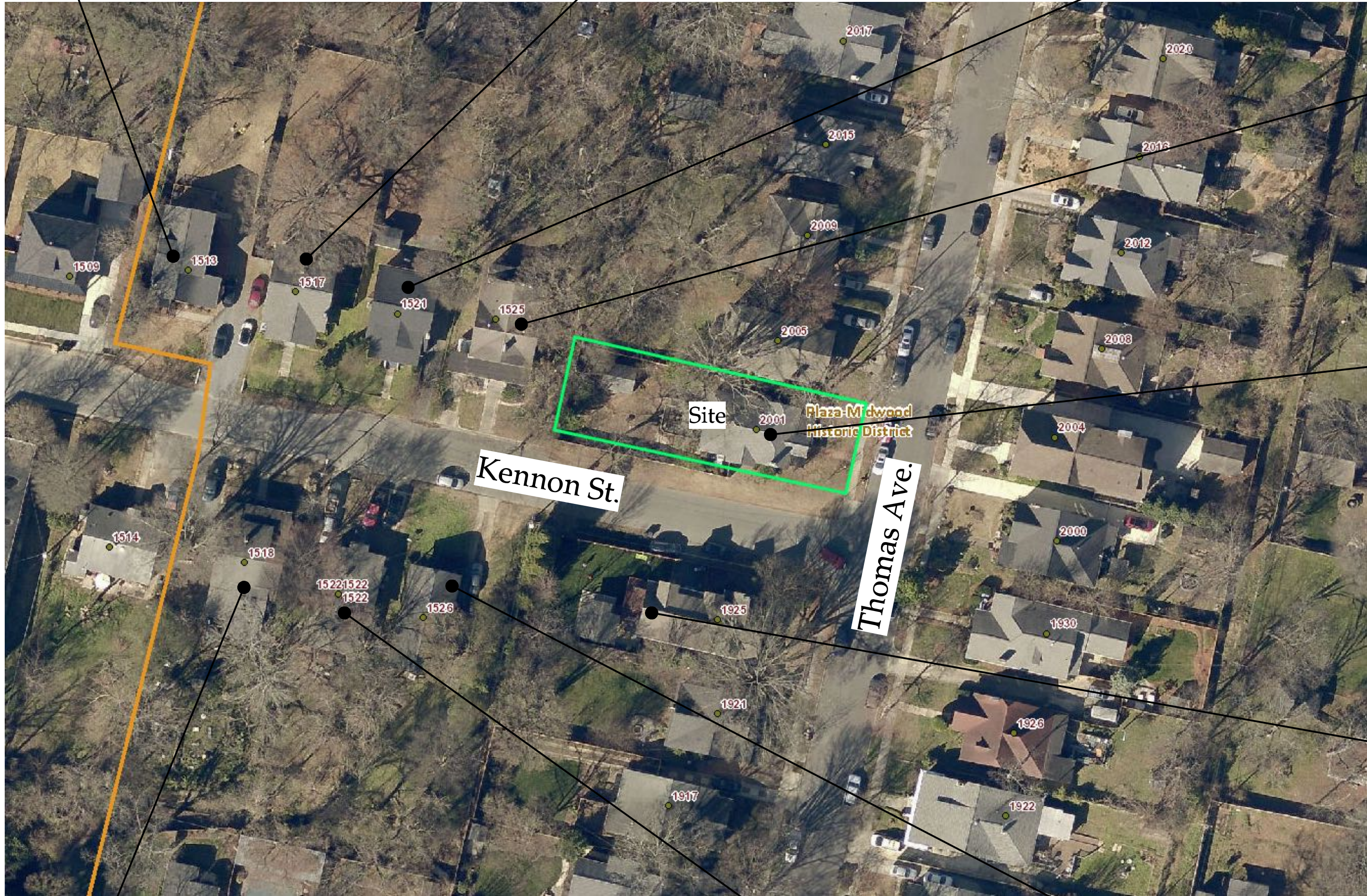


1521 Kennon St.



1525 Kennon St.

Barth Residence
2001 Thomas Ave.
Site Improvements



2001 Thomas Ave. (viewed from Kennon St.)



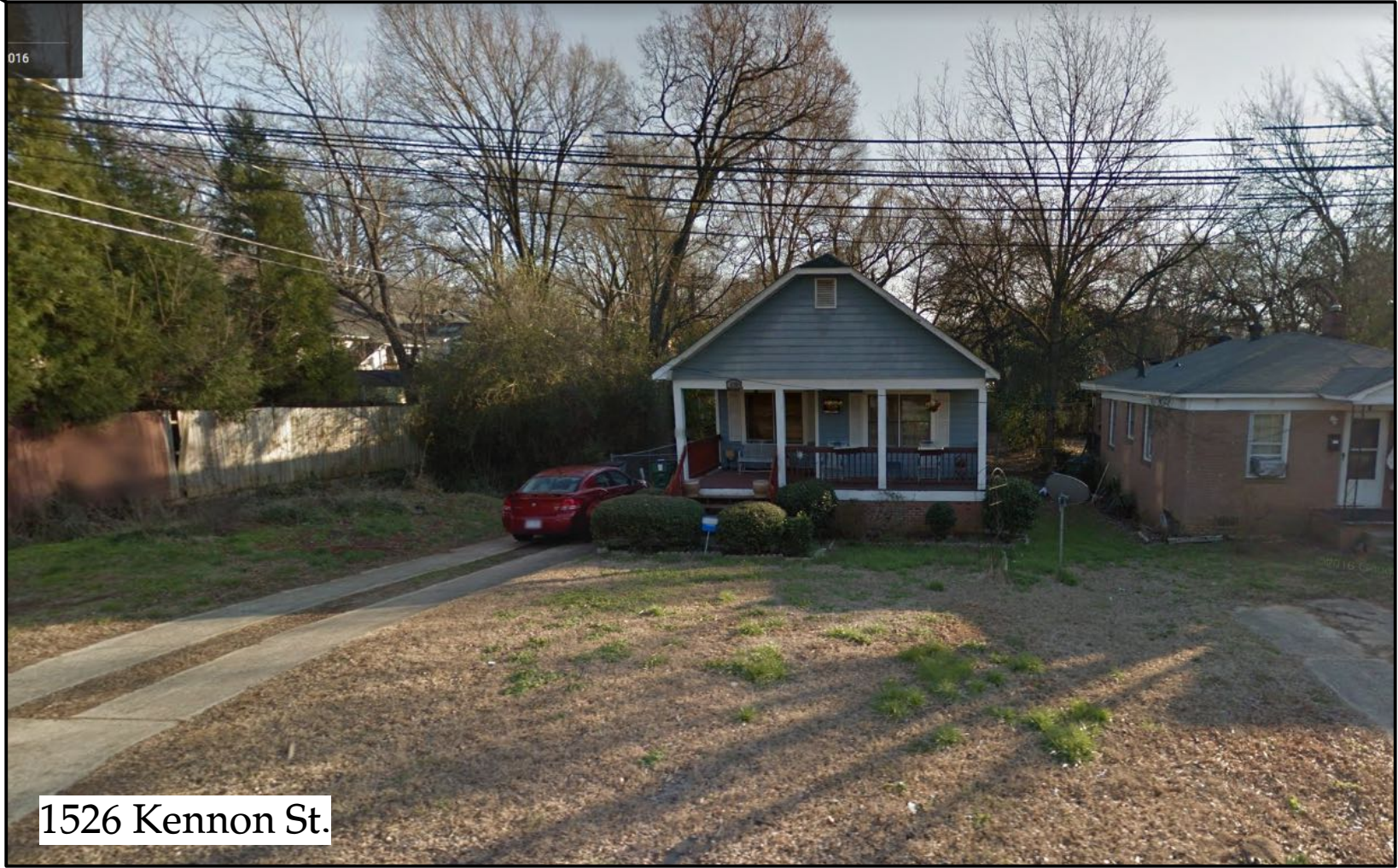
1925 Thomas Ave. (viewed from Kennon St.)



1518 Kennon St.



1522 Kennon St.

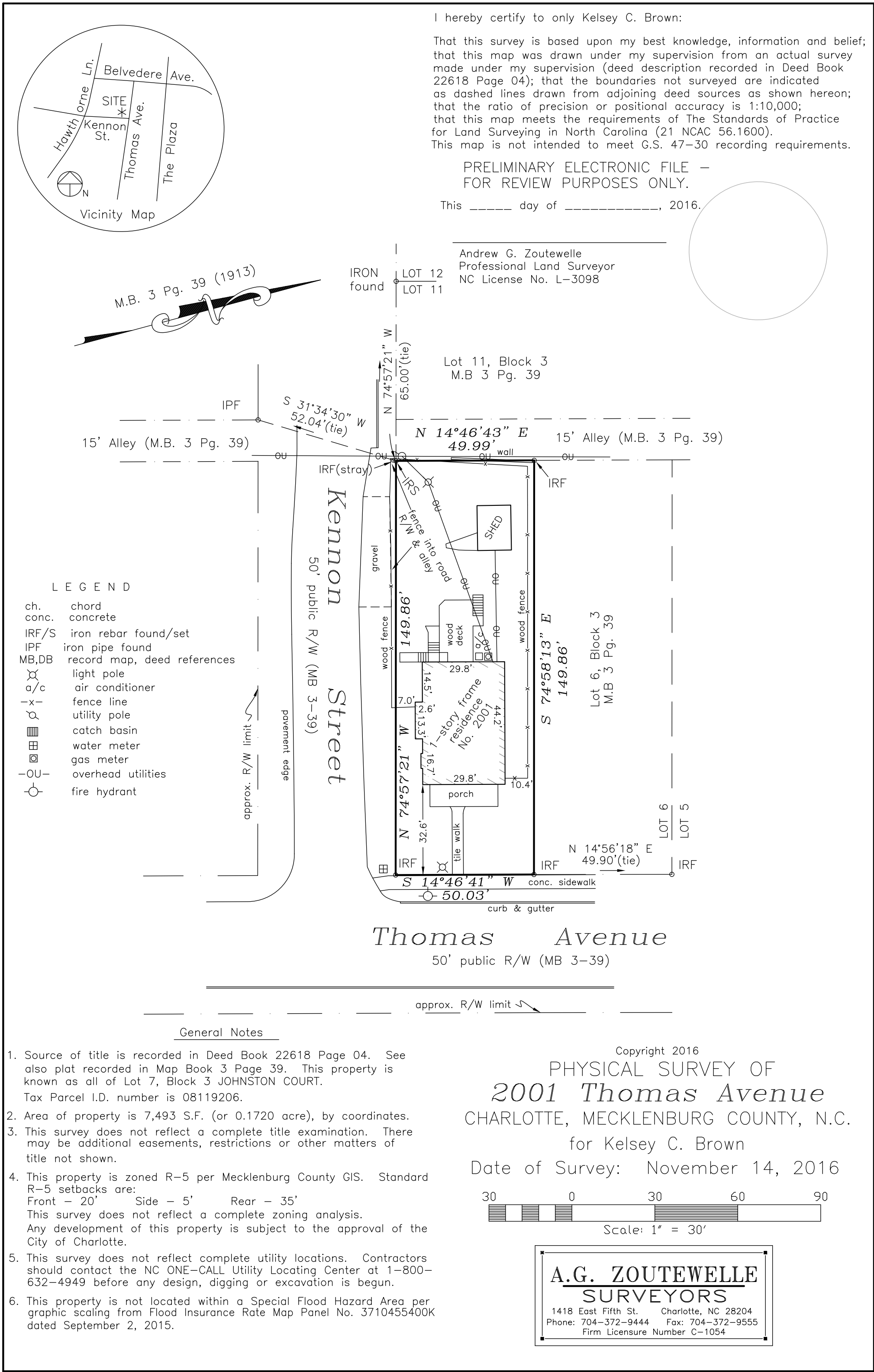


1526 Kennon St.

NOT FOR CONSTRUCTION

Neighborhood Context	Revisions:
February 13, 2019	
CAB	
	L-1.0

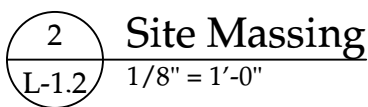
Barth Residence
2001 Thomas Ave.
Site Improvements



NOT FOR CONSTRUCTION

Existing Survey	Revisions:
February 13, 2019	
AZ	
	L-1.1

THOMAS AVE.



Site Plan and Massing	Revisions:
February 13, 2019	
CAB	
	L-1.2

NOT FOR CONSTRUCTION

A-1.0