
LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1529 and 1537 South Mint Street

SUMMARY OF REQUEST: Commercial building rehabilitation (fenestration, murals, signage, awnings, lighting)

APPLICANT/OWNER: Stephen Overcash/Nick Lischerong

The application was continued from October for the following items:

- **Fenestration:** *Submit evidence as to which windows are original versus not. Provide more information as to the current conditions of the windows, and information to justify that the windows should be replaced versus repaired.*

Details of Proposed Request

Existing Conditions

1529 South Mint Street was constructed c. 1962 and 1537 South Mint Street was constructed c. 1967. Both structures are utilitarian concrete block buildings constructed as service garages. Lot size is 150 x 150. Adjacent structures are commercial buildings, parking lots and single family residential to the rear along Westwood Avenue and Wickford Place.

1529 South Mint appears to originally have been a small flat roof building, and a later addition with shallow pitch gable roof added to the back. Window and door opening sizes also vary between the front portion and back addition. The most notable features on 1529 South Mint street are the original windows on the left and right elevations.

1537 South Mint Street is four-bay concrete block building. The fourth bay on the right elevation appears to be a later addition to the structure. The building has a minimalist parapet roof delineated by Roman brick found on many mid-century buildings, which is difficult to see because the brick is painted. This brick feature wraps around the left elevation for a few courses under the flat roof. There appear to be two original windows on the far rear right elevation.

Proposal

The proposed project is for new window/door openings, changes to existing openings, and the addition of awnings, lighting, signage and murals.

- Fenestration openings and material is confirmed, the final locations and designs of all doors and windows are not. Material: 2" x 4" aluminum storefront. Design: fixed storefront, roll-up doors, roll-up windows.
- Mural locations are confirmed. Design: Abstract, realistic, or historical to tell the story of the Gold District. Materials: Either painted or three dimensional with use of metals, woods, synthetic materials, clays or stones.
- Signage locations are estimates and not confirmed.
- Awning locations and dimensions are estimates; materials to be wood and metal.
- Lighting location are conceptual; form is to be downward-directed goose neck lighting and sconces. Design may include contemporary, industrial and period lighting.

Revised Proposal – October 9

- Window design changed.
- Awning and lighting specs provided.
- Additional information provided about dumpster locations and screening.

Revised Proposal – November 13

- Additional information provided about existing windows.
- Revised elevation drawings.

Design Guidelines – Secretary of the Interiors Standards for Historic Rehabilitation, page 2.5

1. A property shall be used for its historical purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires the replacement of a distinctive feature, the new one shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historical materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Design Guidelines – Windows, page 4.12-4.14

1. Retain and preserve windows that contribute to the overall historic character of a building, including frames, sash, glass, muntins, sills, trim, surrounds, and shutters. Ensure that all hardware is in good operating condition.
2. Repair original windows by patching, splicing, consolidating, or otherwise reinforcing. Wood that appears to be in bad condition because of peeling paint or separated joints often can, in fact, be repaired rather than replaced. Ensure that caulk and glazing putty are in good condition and that water drains off the sills.
3. Replace only those features of the window that are beyond repair.
4. Uncover and repair covered-up windows and reinstall windows with their original dimensions where they have been blocked in.
14. Match window replacements to the height and width of the original openings.
20. Use translucent or low-e glass.

Design Guidelines – Additions, page 7.2

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

Design Guidelines – Sidewalks and Parking, page 8.2

For Non-Residential Projects:

9. Parking should be located to the side or rear of the property if at all possible. Front parking is allowed only when it is an established practice in commercial corridors, and when such a parking scheme would not otherwise violate the historic character of a particular streetscape. When allowed, such parking areas must be buffered from the sidewalk. Any parking or paving plan must include a screening plan to buffer non-residential parking areas from adjacent residential uses.
10. Parking beyond that required by local ordinance will be considered if the area is landscaped and relates to the streetscape in an appropriate manner.
11. Parking must be screened in some manner so that the parking is not the dominant feature of the property.
12. Any parking structures must meet the requirements of new construction for historic districts.

Design Guidelines – Site Appurtenances, page 8.8

1. Place site appurtenances in inconspicuous areas to the rear of the building or in side yards and screen with appropriate plantings or fencing. Site appurtenances are not allowed in the front yard.
2. Place above-ground backflow preventers in locations that are not substantially visible from a street.
3. Antennae and satellite dishes can be located on rooftop locations not visible from the public right-of-way.
4. Store trash containers and dumpsters in screened locations not visible from public rights-of-way.
5. Dumpsters in Local Historic Districts must be screened.

Design Guidelines – Light Fixtures, page 8.11

1. Retain any historic light fixtures on the site and house.
2. Repair and refurbish historic light fixtures when possible.
3. Replace an historic light fixture only when parts for the existing fixture can no longer be found or replicated.
4. Use fixtures that are compatible with the character of the historic building and the surrounding area.
5. Choose light levels that provide for adequate safety but do not overly emphasize the residential site or building. Often, existing porch lights may be sufficient.
6. Avoid bright security lighting mounted at eave heights of buildings.

Staff Analysis

Staff has the following concerns with the proposal:

1. Awnings may be reviewed under 'Additions'; additional information (dimensions/materials) needed about proposed awnings.
2. Murals may be reviewed under applicable Secretary of the Interiors Standards 1, 2, 5, 7, 9, and 10.
3. Limit LED lighting warmth levels to 2500k.
4. Verify that signage meets HDC standards in addition to the TOD standards outlined in the proposal.
5. Brick rowlock detail missing from elevation drawings.
6. Details/specs needed about roll up doors.
7. Information about outdoor seating area wall surround.
8. Minor revisions may be reviewed by staff.



HDCCMA 2019-00529

PID: 11908411

LOCAL HISTORIC DISTRICT: WILMORE

PROPOSED PROJECT: COMMERCIAL

November Meeting 2019





November 4, 2019

Charlotte Planning, Design + Design Development
City of Charlotte
600 E. Fourth Street, 8th Floor
Charlotte, NC 28202

Attn: Kristi Harpst, AICP
Program Manager, Historic District Division

Re: 1529 / 1537 South Mint Street Commercial Renovations

Dear Kristi,

This letter is in reference to the existing and proposed windows at 1529 and 1537 South Mint Street that Lischerong Development Group is proposing to re-purpose. We have analyzed all of the existing windows in the various buildings. Most of the buildings contain a few original steel windows. Many of the original windows have been removed, or modified from their original condition. For the new uses proposed for these buildings, the developer will be needing to add additional windows in some of the buildings for daylight.

We appreciate the Committee's consideration to allow the developer to replace the few existing windows for the following reasons:

1. Some of the windows contain chrysotile asbestos (see attached report, by Hart Hickman, dated September 27, 2019). The Environmental Consultant recommends removal of the window glazing prior to building renovations, to prevent asbestos fiber release.
2. The developer would like to be environmentally sensitive in providing new insulated windows in order to reduce the carbon footprint of the buildings.
3. The developer feels that it would help the exterior appearance to have consistency in the storefront windows, whether a new opening and window, or a new window in an existing opening. There will be 37 window / door openings once the renovations are complete: 19 will be new windows in non-existing openings; 10 will be new windows into existing openings in which the windows have been previously replaced; and 8 new windows that are replacing the existing historical widows. Only 22% of all windows could be restored historical windows.

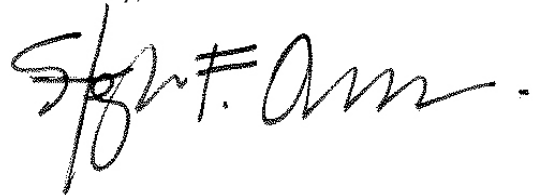
The Design Team has analyzed and photographed each window that is still existing. The Team has also tried to simulate the overall design of the original windows, as illustrated in the Exhibits being submitted. These Exhibits contain a photograph of the original window, to compare to the proposed design of the new windows.

The developer and design team explored other buildings in the immediate area that have been renovated, but were of a similar time period and character. We analyzed buildings that had replaced the windows with new storefront and others that had renovated the existing windows. We have tried to emulate these conditions and provide an appropriate industrial appearance.

The Design Team is using a combination of 1" snap-on mullions, 2" and 4" mullions to give the buildings and windows the character of other industrial buildings in the Southend area that were built between the 1920's and the 1960's. The design reduces the scale of the large areas of glass with grids of additional mullions, keeping the same number of panes as the original windows. Where the windows have been closed up, and we could not find photos of the original structure, we are proposing industrial-style windows similar to the adjacent buildings.

Thank you for your consideration to approve these windows.

Sincerely,

A handwritten signature in black ink, appearing to read "S.F. Overcash", with a stylized flourish at the end.

Stephen F. Overcash, RA,
Principal



Via E-Mail

September 27, 2019

Lischerong Enterprises and Holdings
310 Arlington Avenue, Suite 402
Charlotte, North Carolina 28203

Attn: Mr. Nick Lischerong

Re: Asbestos-Containing Window Glazing
1525, 1529, and 1537 S. Mint Street
and 404 Westwood Avenue
Charlotte, North Carolina
H&H Job No. LEH-005

Dear Nick:

Hart & Hickman, PC (H&H) recently completed asbestos sampling activities at the commercial properties located at 1525, 1529, and 1537 S. Mint Street and 404 Westwood Avenue in Charlotte, Mecklenburg County, North Carolina (Site). The Site consists of three contiguous parcels of land that are developed with an approximate 7,450-square foot (sq ft) warehouse building that was constructed in 1933, an approximate 3,584-sq ft automotive service garage that was constructed in 1962, and an approximate 5,960-sq ft two-story automotive service garage that was constructed in 1967.

Based on the results of laboratory analysis, certain window glazing at the Site contains three percent chrysotile asbestos. H&H understands that renovations have been proposed for the Site buildings. As such, H&H recommends that the window glazing be removed prior to building renovations to prevent an asbestos fiber release, to address worker protection in accordance with Occupational Safety and Health Administration (OSHA) regulations, and for waste disposal purposes. Further,

H&H recommends that the window glazing be removed in a manner which will not render the material friable (e.g., removal of the entire window including glass panes, glazing, and framing).

We appreciate the opportunity to assist you with this project. If you have any questions concerning this letter, please do not hesitate to contact us.

Sincerely,
Hart & Hickman, PC



Bo Cappleman, PG
Due Diligence Manager

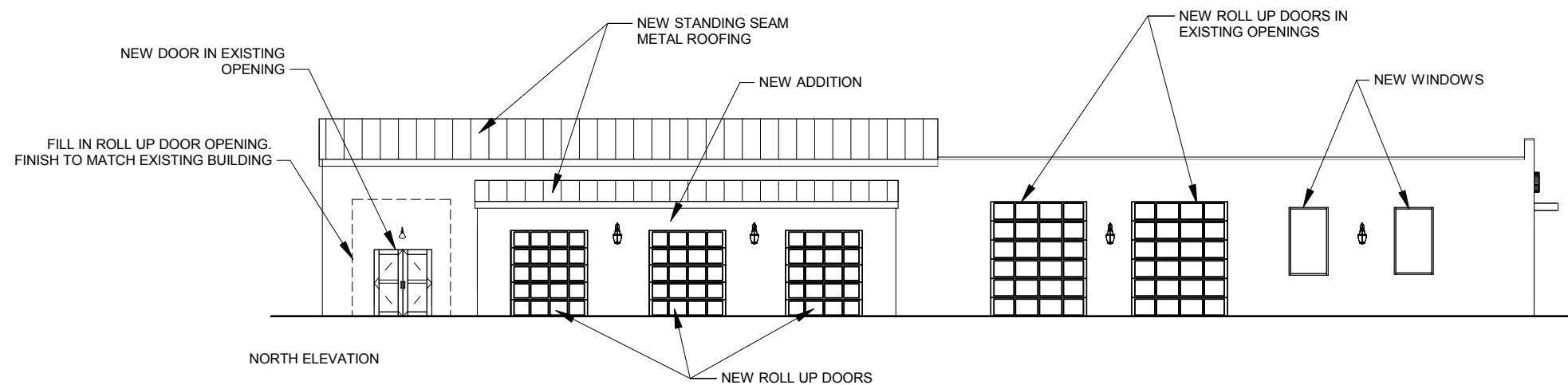
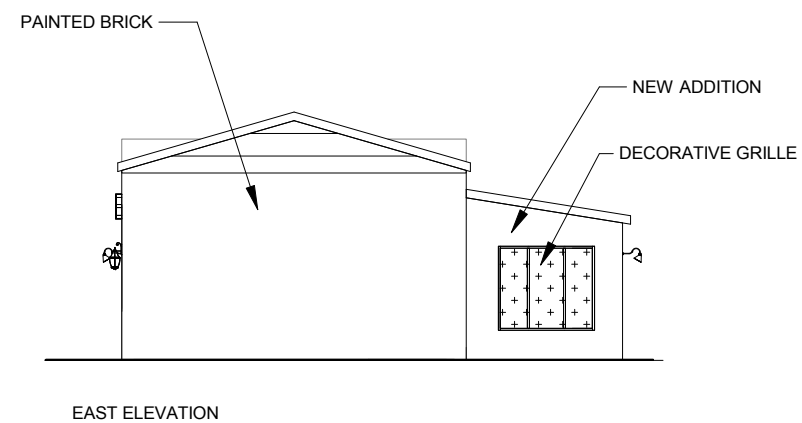
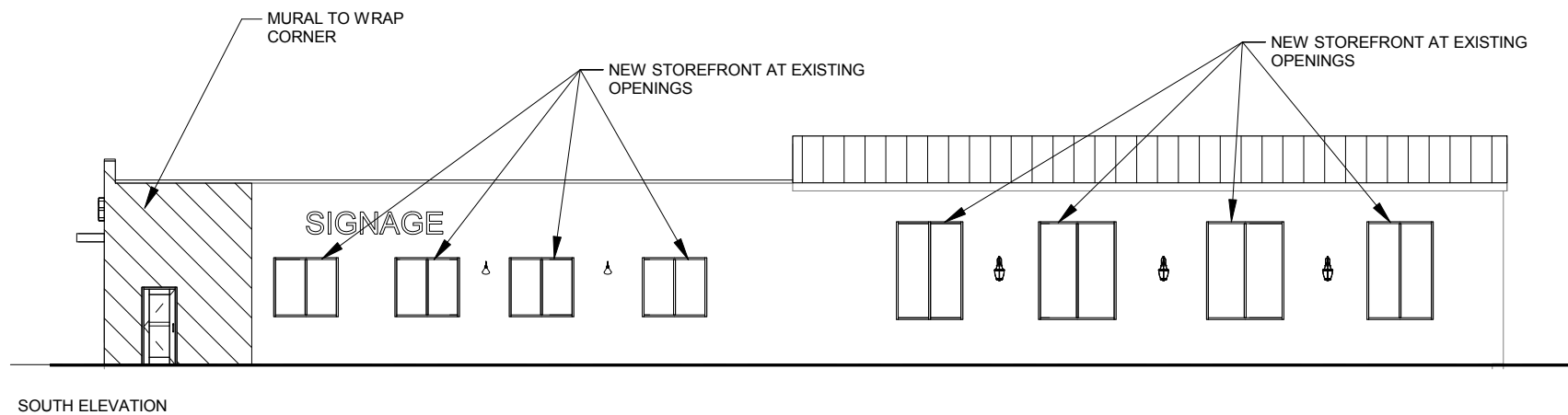
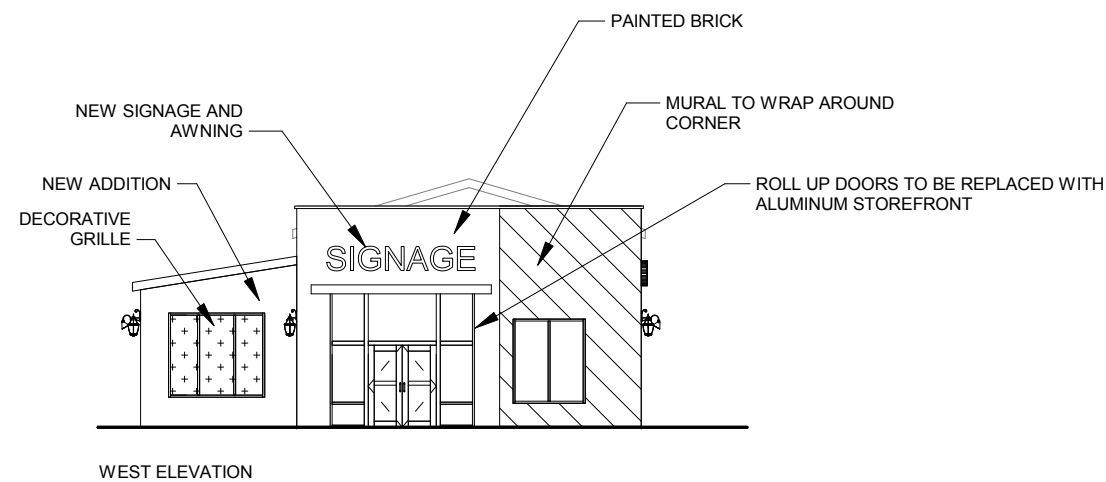


Ralph McGee, PG
Project Manager



Ayla Homer, PG
Assistant Project Geologist
NC Accredited Asbestos Inspector

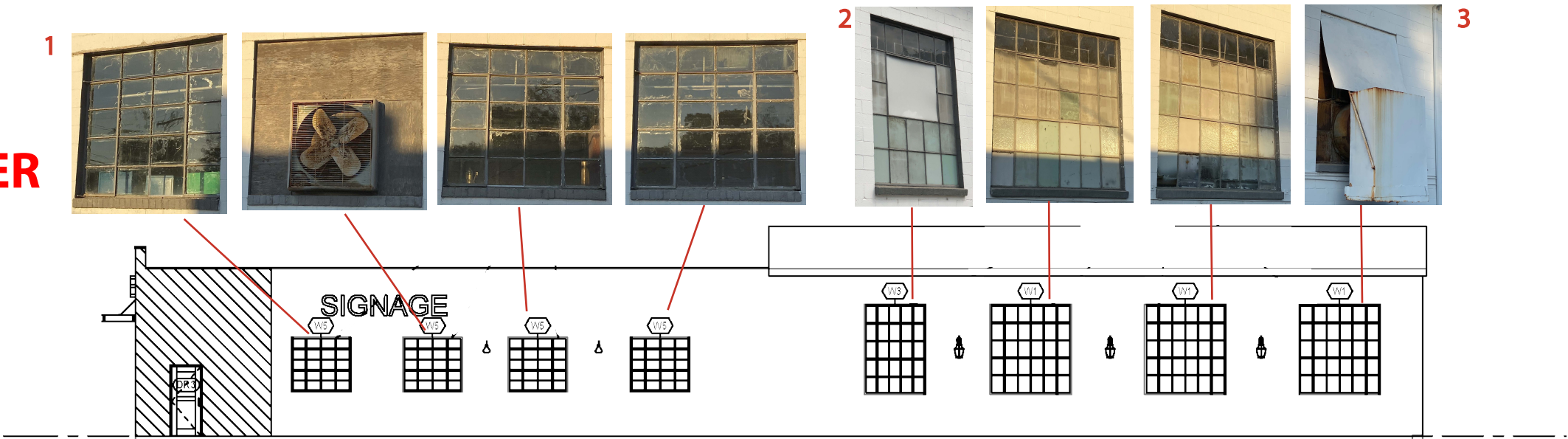
OCTOBER



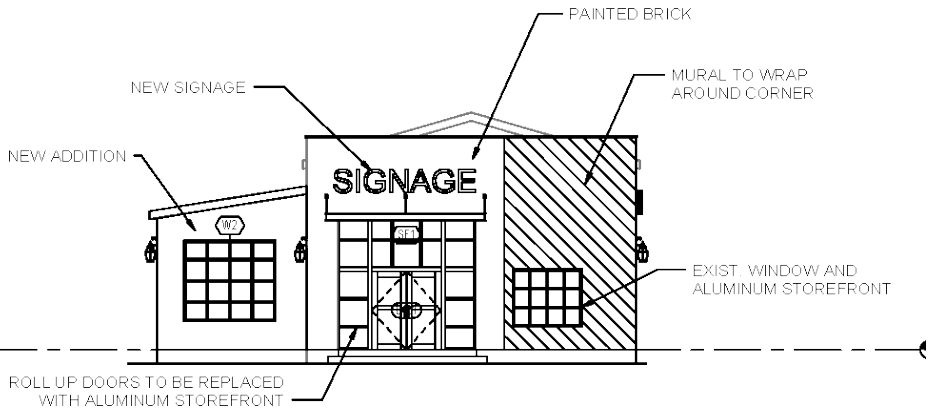
1529 South Mint Street
Charlotte, NC



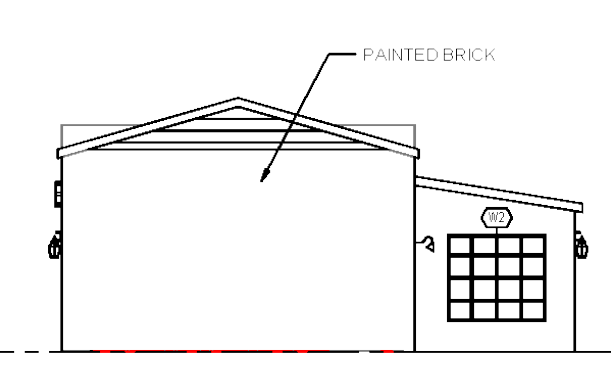
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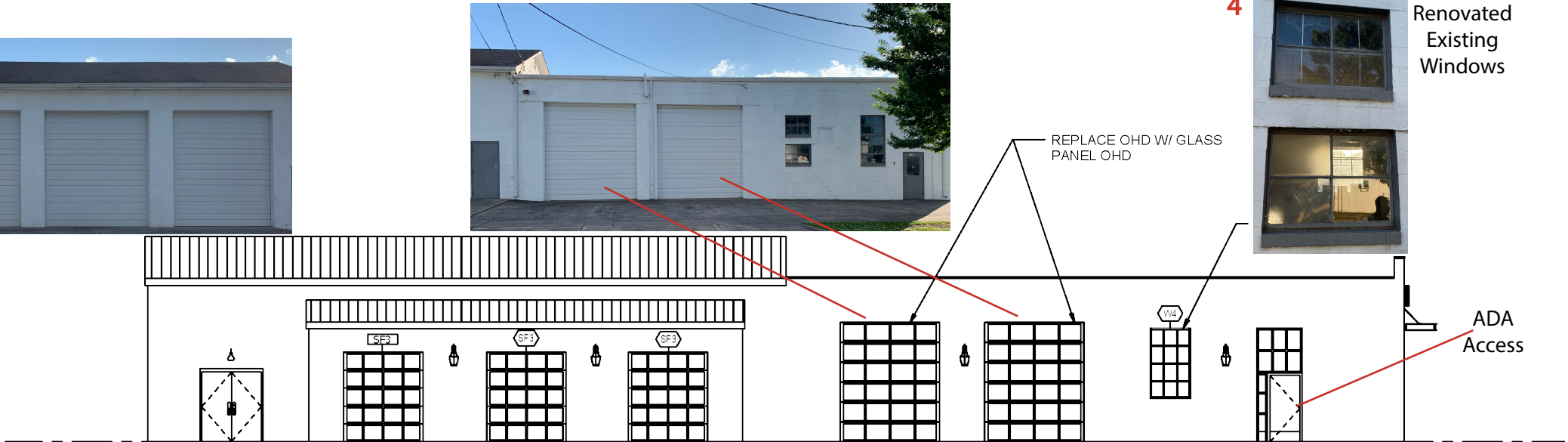
Existing Exterior



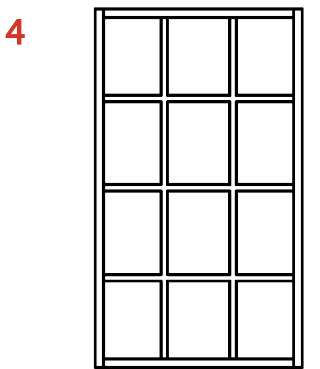
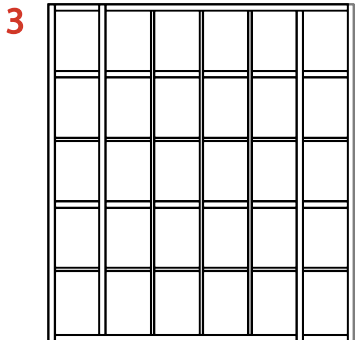
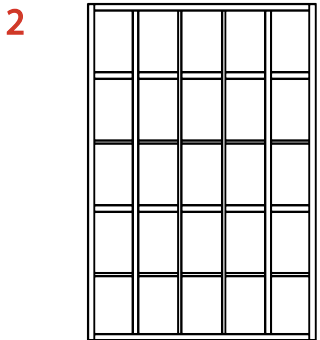
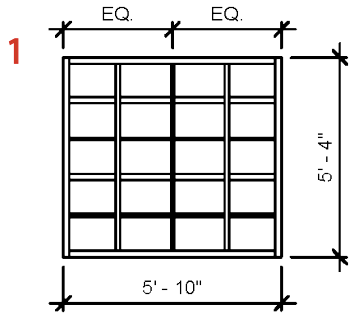
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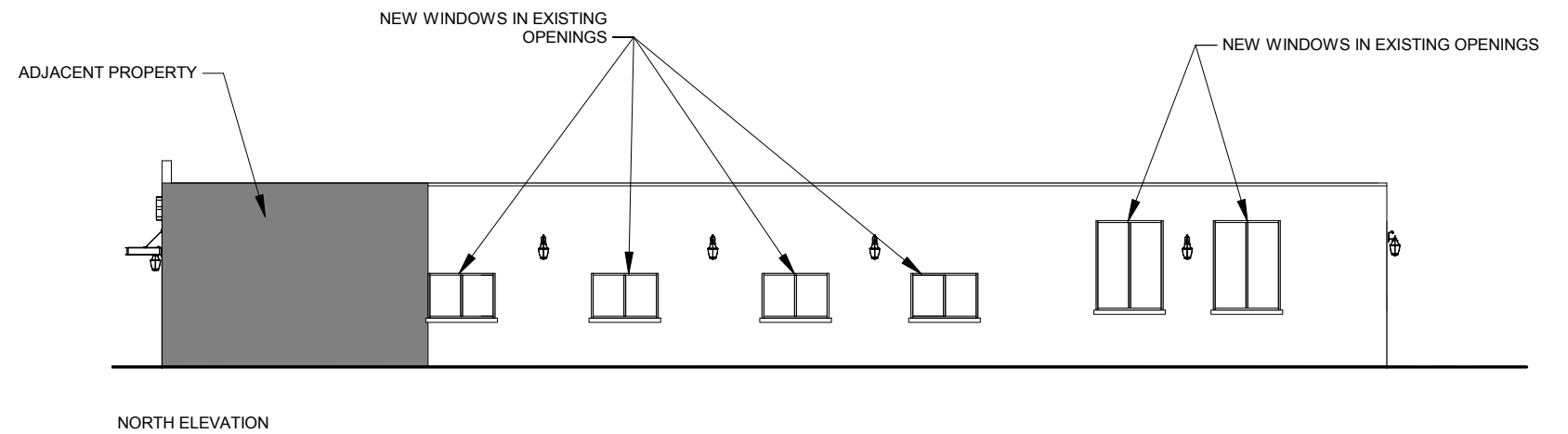
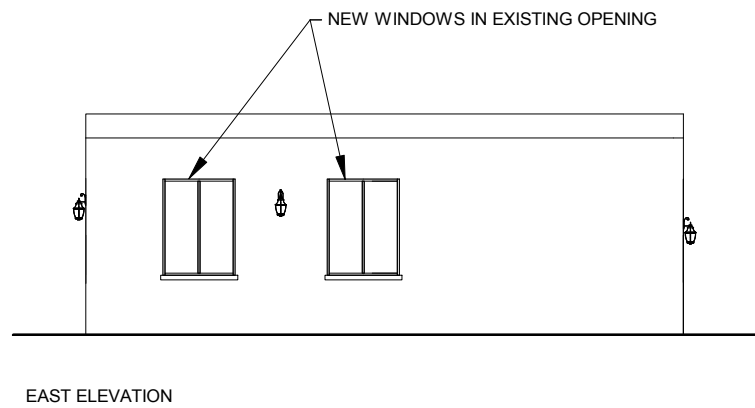
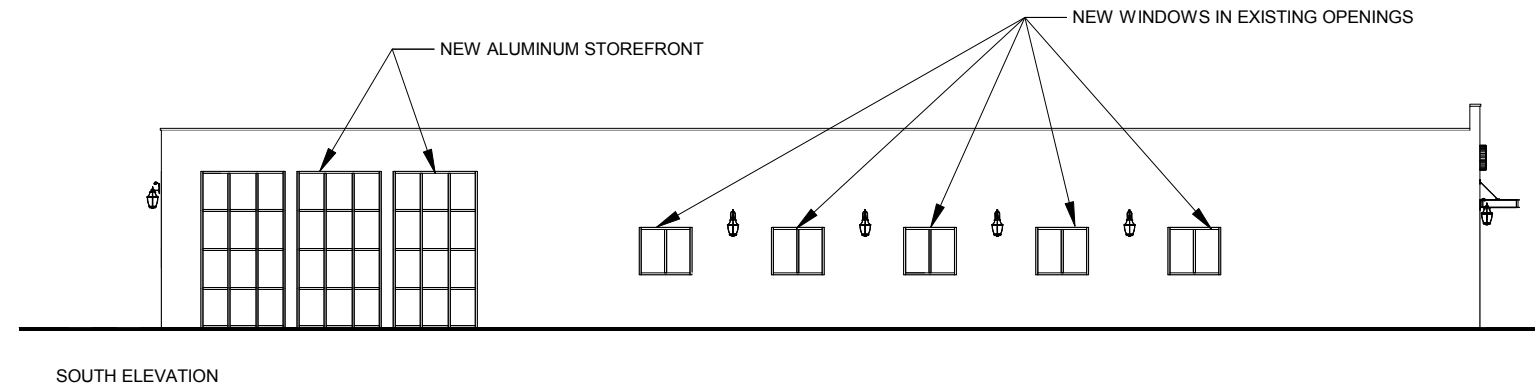
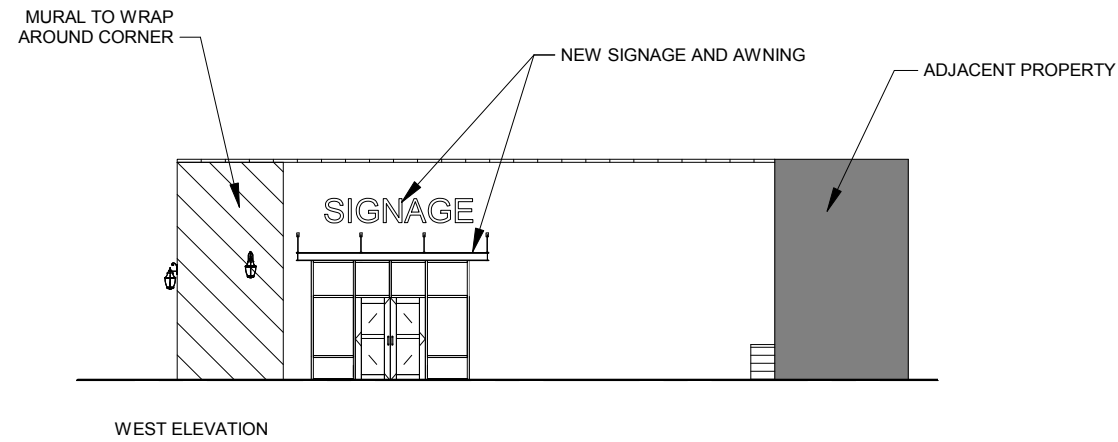
Existing Exterior



Renovated Existing Windows



OCTOBER



1537 South Mint Street
Charlotte, NC

09/30/19

HDC Elevations



ODa

NOVEMBER

Existing Exterior



1

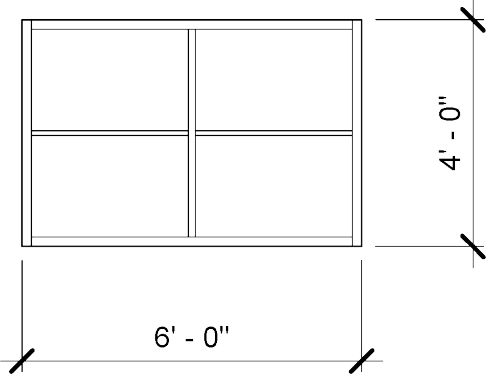


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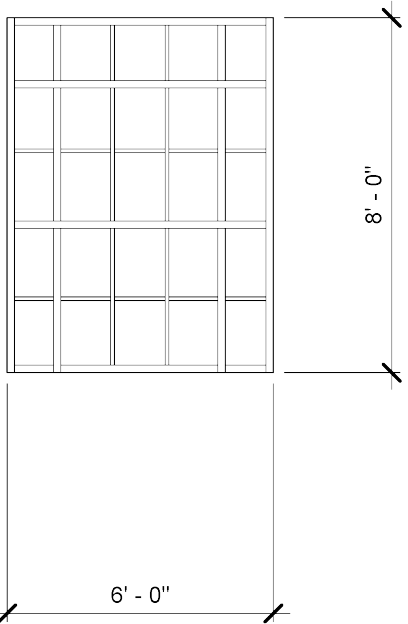


Replacement Windows

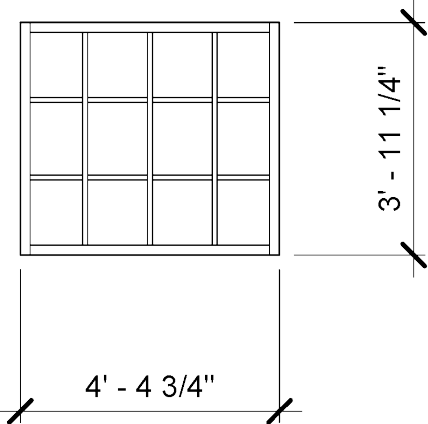
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2

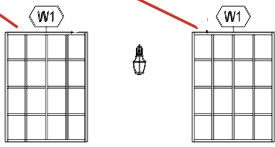


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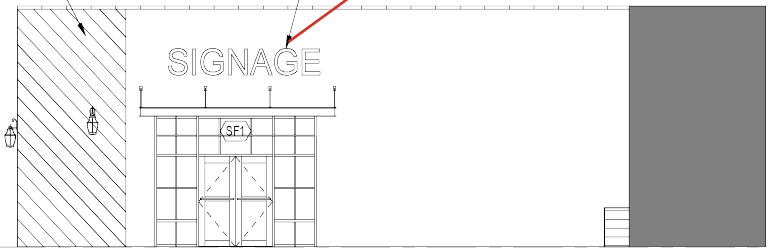


Existing Openings

New Door
in Existing Opening



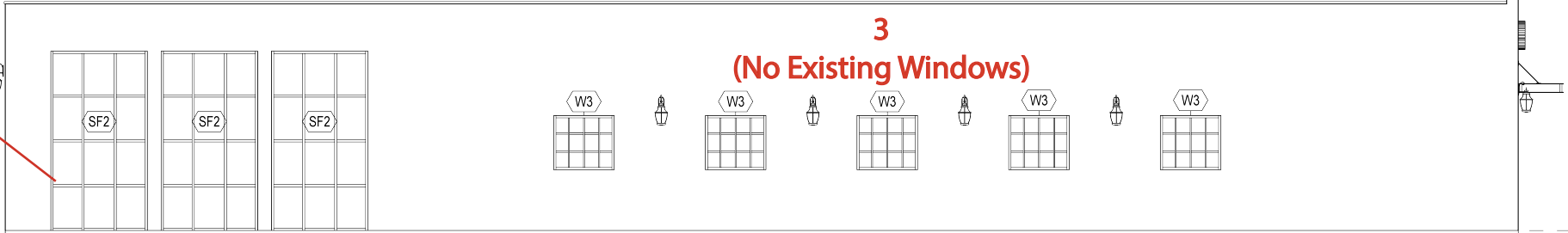
MURAL TO WRAP AROUND
CORNER



New
Signage



Existing Roll-Up Door



1529 South Mint
Street
Charlotte, NC

ODA Project No. 173256

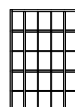
**75% CONSTRUCTION
DOCUMENT SET**
10/30/2019

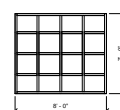
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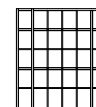


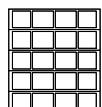
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11 W4

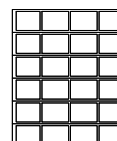
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9 W2

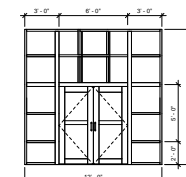


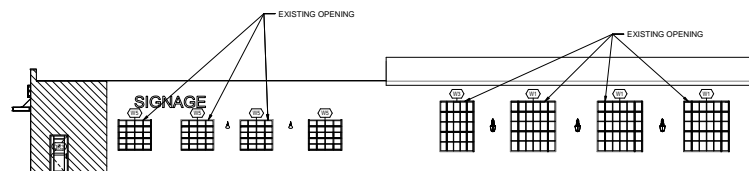
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7 SF3



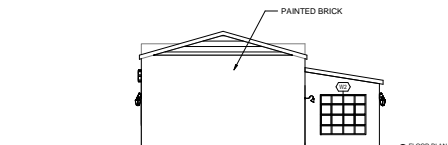
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5 SF1

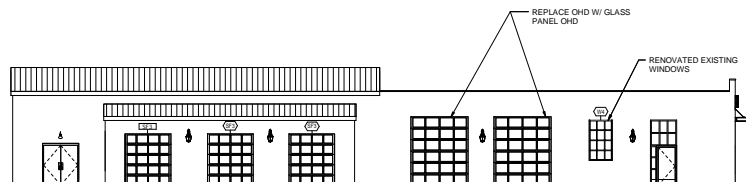
4	South
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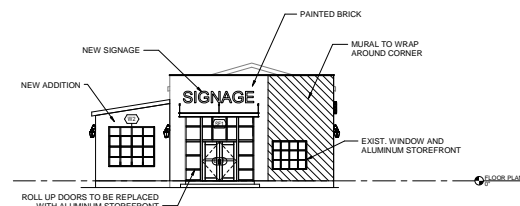
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2	North
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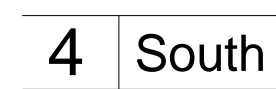
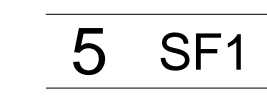
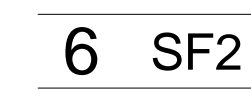
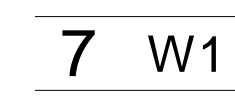
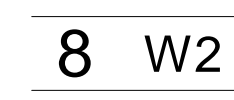
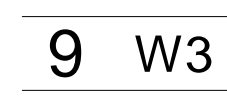
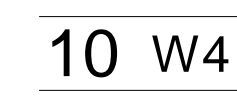
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1	West
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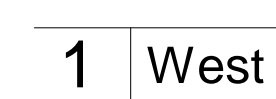
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Copyright 2018 Overcash Demmitt Architects



Black
10" x 10"
11" from wall
5" Backplate



Aluminum
18" x 14"
20" from wall
3" x 10" Backplate



Black
16.75" x 14"
22.5" from wall
6.75" Backplate



1529 & 1537 Mint Street
CHARLOTTE, NORTH CAROLINA

CONTEXTUAL PLAN

LDG LISCHERONG
DEVELOPMENT
GROUP

Overcash Demmitt Architects • www.oda.us.com





Front Facade



Parking Facade



Rear Facade



Westwood Ave. Facade



Front Facade



Parking Facade



Rear Facade



Street View Facade

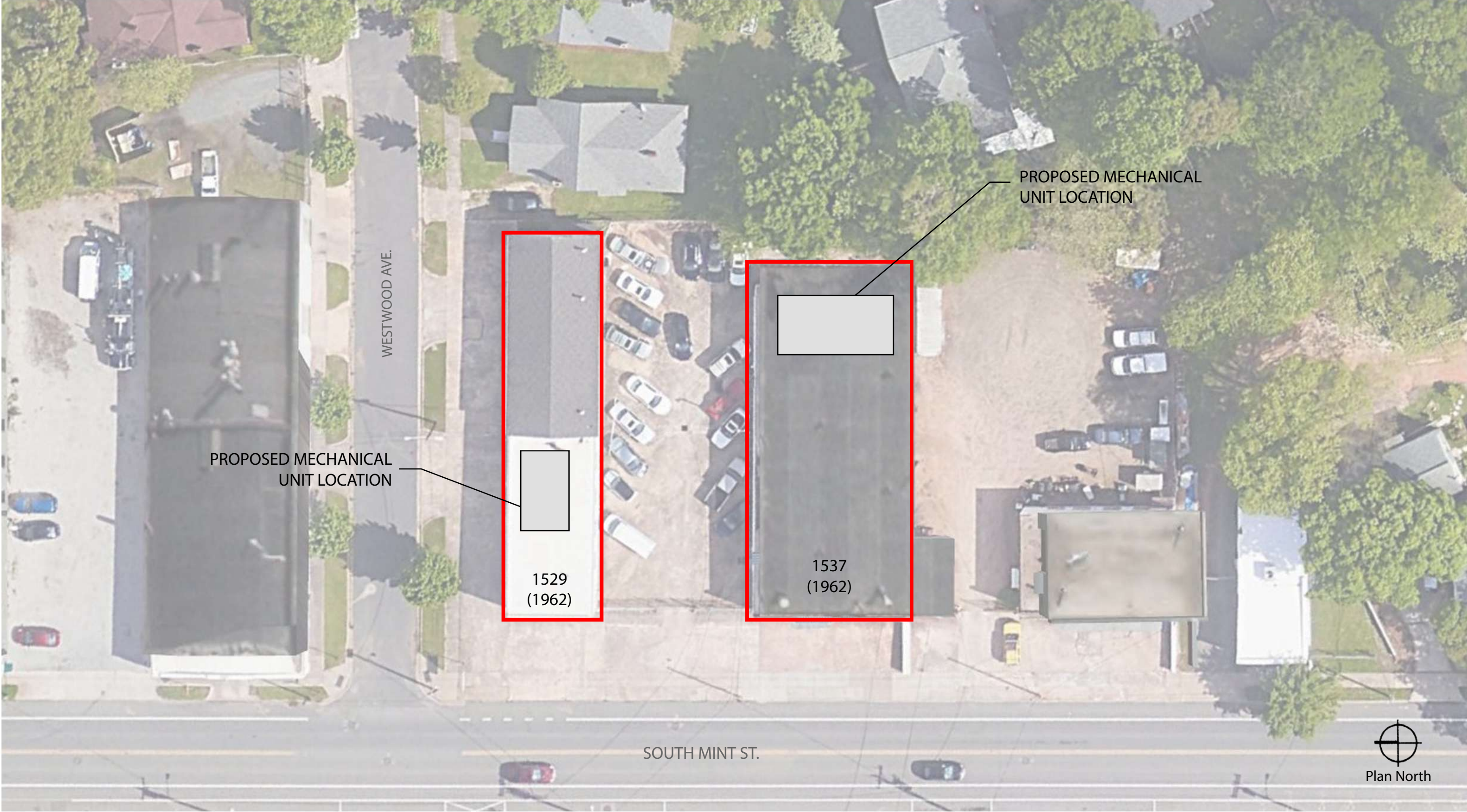
1537 South Mint Street
Charlotte, North Carolina

LDG LISCHERONG
DEVELOPMENT
GROUP



Existing Exterior Conditions

ODA

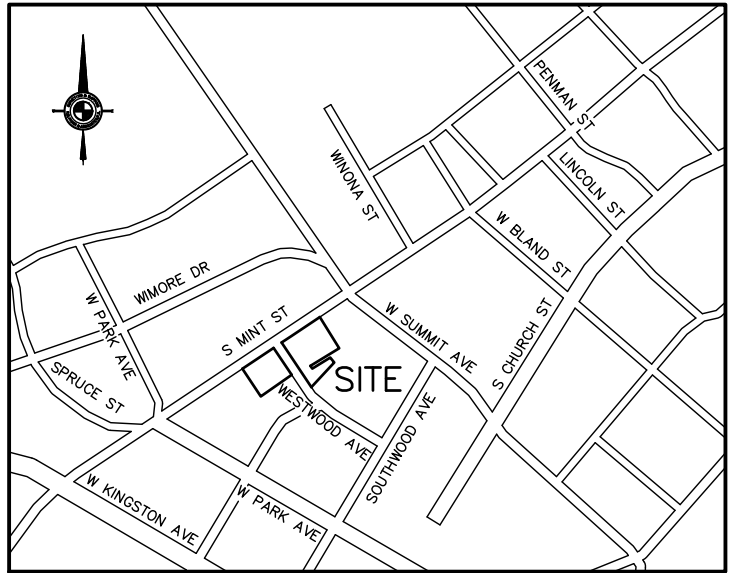
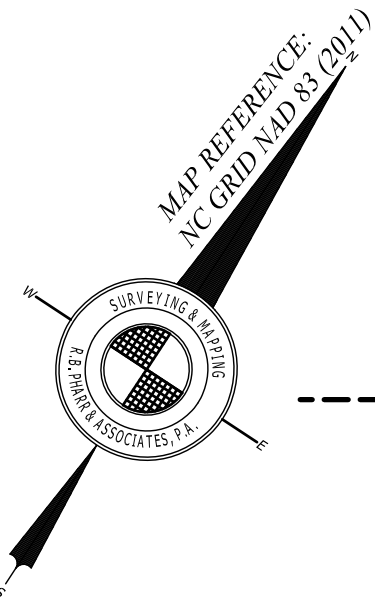


1529 & 1537 South Mint Street
Charlotte, North Carolina

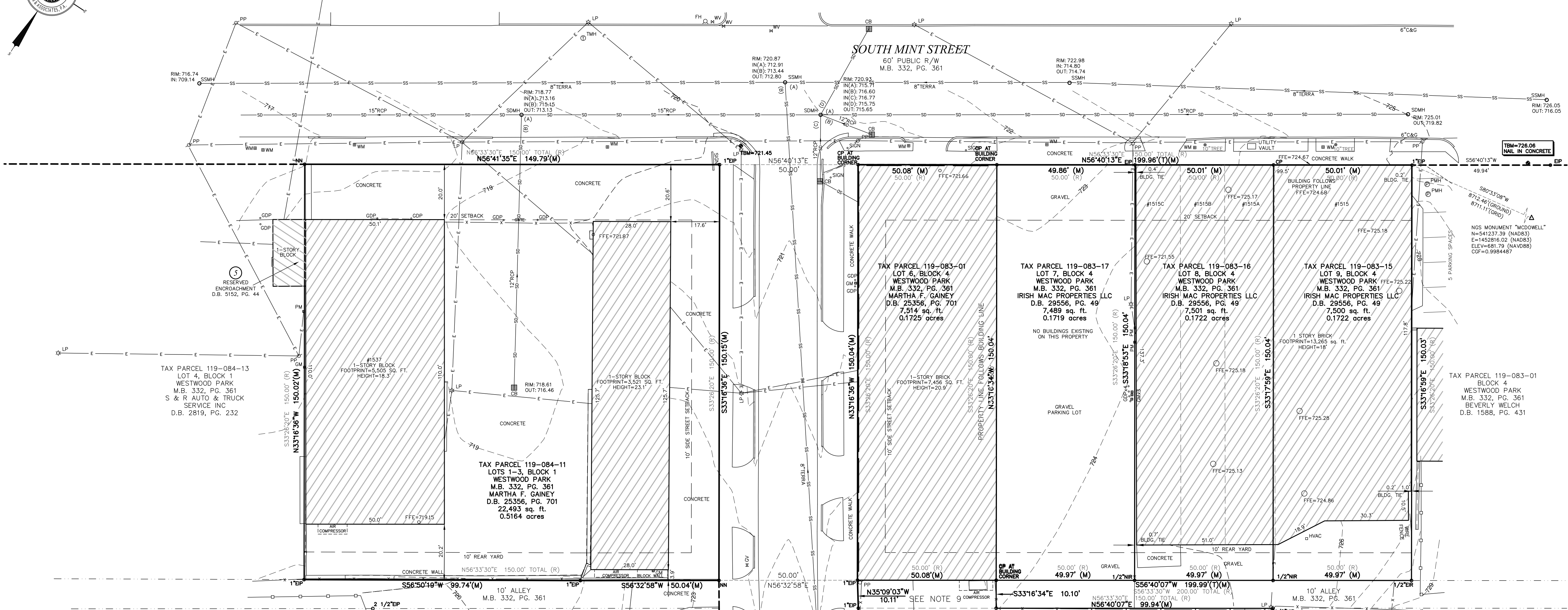
LDG LISCHERONG
DEVELOPMENT
GROUP



SITE PLAN



VICINITY MAP
NOT TO SCALE



CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO: 18-05727CH, EFFECTIVE DATE: MAY 13, 2019
SCHEDULE B - II (EXCEPTIONS)

4. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP BOOK 332, PAGE 361, (AFFECTS SUBJECT PROPERTY, BUT CONTAINS NO PLOTTABLE MATTERS.)

5. RESERVATION (OR GRANT) OF OIL, GAS, AND OTHER MINERAL RIGHTS AS DISCLOSED BY INSTRUMENT RECORDED IN BOOK 1076, PAGE 110, AND ALL RIGHTS AND EASEMENTS RELATED THERETO, (AFFECTS LOT 9 BY RESERVATION OF MINERAL RIGHTS LOCATED MORE THAN 50 FEET BENEATH THE SURFACE OF THE LAND, WITH COVENANT TO NOT DISTURB THE SURFACE OF THE LAND NOR ANY IMPROVEMENTS THEREON.)

TITLE DESCRIPTION

LYING AND BEING SITUATE IN MECKLENBURG COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF LOTS 7, 8, AND 9, BLOCK 4, WESTWOOD PARK, AS SHOWN ON THE MAP THEREOF RECORDED IN MAP BOOK 332 AT PAGE 361, IN THE OFFICE OF THE REGISTER OF DEEDS OF MECKLENBURG COUNTY, NORTH CAROLINA.

LEGEND:

BLDG - BUILDING
CGF - COMBINED GRID FACTOR
C&G - CURB & GUTTER
CB - CATCH BASIN
CP - CALCULATED POINT
CO - CLEAN OUT
D.B. - DEED BOOK
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EN - EXISTING NAIL
FFE - FINISH FLOOR ELEVATION
GDP - GUARD POST
GM - GAS METER
HVAC - HEATING, VENTILATION, AIR COND.
ILP - LIGHT POLE
(M) - MEASURED
M.B. - MAP BOOK
N.G.S. - NATIONAL GEODETIC SURVEY
NIR - NEW IRON ROD
NN - NEW NAIL
PIN - PARCEL IDENTIFICATION NUMBER
PM - POWER METER
PMH - POWER MANHOLE
PP - POWER POLE
PG - PAGE
(R) - RECORDED
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SDMH - STORM DRAIN MANHOLE
SSMH - SANITARY SEWER MANHOLE
(T) - TOTAL
TBM - TEMPORARY BENCHMARK
TERR - TERRACOTTA PIPE
WM - WATER METER

LINE LEGEND:

EASEMENT
FENCE
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
POWER LINE
SANITARY SEWER PIPE
STORM DRAIN PIPE
WOOD FENCE

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO: 19-12556CH, EFFECTIVE DATE: JULY 19, 2019
SCHEDULE B - II (EXCEPTIONS)

4. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP BOOK 332, PAGE 361, (AFFECTS SUBJECT PROPERTY, BUT CONTAINS NO PLOTTABLE MATTERS.)

5. COVENANTS, CONDITIONS, OBLIGATIONS, RESTRICTIONS AND EASEMENTS PROVIDED FOR IN NORTH CAROLINA GENERAL WARRANTY DEED RECORDED IN BOOK 5152, PAGE 44, (RESERVED ENCROACHMENT AS SHOWN HEREON)

6. RESERVATION (OR GRANT) OF OIL, GAS, AND OTHER MINERAL RIGHTS AS DISCLOSED BY INSTRUMENTS RECORDED IN BOOK 518, PAGE 448; BOOK 561, PAGE 92; BOOK 578, PAGE 23; BOOK 731, PAGE 211; BOOK 739, PAGE 306; BOOK 776, PAGE 192; BOOK 780, PAGE 226; BOOK 790, PAGE 466; AND BOOK 793, PAGE 16, AND ALL RIGHTS AND EASEMENTS RELATED THERETO, (BLANKET)

TITLE DESCRIPTION

LYING AND BEING SITUATE IN MECKLENBURG COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

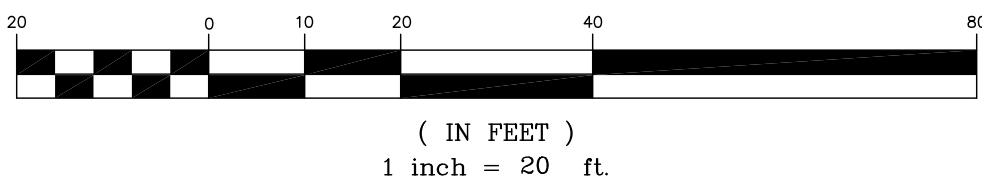
TRACT 1:
BEING ALL OF LOTS 1, 2 AND 3, BLOCK 1, WESTWOOD PARK, AS THE SAME IS SHOWN ON A MAP THEREOF RECORDED IN MAP BOOK 332, PAGE 361, MECKLENBURG PUBLIC REGISTRY.

TRACT 2:
BEING ALL OF LOT 6, BLOCK 4, WESTWOOD PARK, AS THE SAME IS SHOWN ON A MAP THEREOF RECORDED IN MAP BOOK 332, PAGE 361, MECKLENBURG PUBLIC REGISTRY.

TRACT 3:
BEING ALL OF LOT 5, BLOCK 4, WESTWOOD PARK, AS THE SAME IS SHOWN ON A MAP THEREOF RECORDED IN MAP BOOK 332, PAGE 361, MECKLENBURG PUBLIC REGISTRY.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	485.11'	45.78'	N35°59'41"W	45.77'
C2	485.11'	46.20'	N41°25'37"W	46.19'

GRAPHIC SCALE



Know what's below.
Call before you dig.

SOUTH MINT STREET

60' PUBLIC R/W
M.B. 332, PG. 361

WESTWOOD AVENUE

50' PUBLIC R/W
M.B. 332, PG. 361

NOTES:

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. ELEVATIONS BASED ON N.G.S. MONUMENT "MCDOWELL", ELEVATION = 681.79 FEET, NAVD 88.
6. BROKEN LINES UNLESS THEY HAVE A METES AND BOUNDS DESCRIPTION, INDICATE PROPERTY LINES NOT SURVEYED.
7. SOUTH MINT STREET IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ADJACENT PROPERTIES.
9. NO DOCUMENT PROVIDED REFERRING ABANDONMENT OF THIS SECTION OF 10 FT ALLEY.

ZONING:

SUBJECT PROPERTY ZONED: I-1
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
MINIMUM SETBACK: 30 FT
MINIMUM SIDE YARD: 0 OR 1*
MINIMUM REAR YARD: 10 FT
MINIMUM BUILDING HEIGHT: 40 FT
*NO SIDE YARD IS REQUIRED, BUT IF ONE IS PROVIDED, IT MUST BE A MINIMUM OF FIVE (5) FEET.
FOR FURTHER INFORMATION CONTACT THE
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT
AT 704-336-3569.

PARKING:

NO MARKED SPACES WERE
OBSERVED AT THE TIME OF
SURVEY.

GPS CERTIFICATION:

I, CHARLES E. BELL, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
(1) CLASS OF SURVEY: AU-10(M)
(2) POSITIONAL ACCURACY: HORIZ. NORTH = 0.00045 EAST = 0.0016 VERT. = 0.005
(3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
(4) DATES OF SURVEY: JUNE 13, 2019
(5) DATUM/EPOCH: NAD83(2011) NAVD83
(6) PUBLISHED/FIXED-CONTROL USE: NGS MONUMENT "MCDOWELL"
(7) GEOID MODEL: GEOID12B (CONUS)
(8) COMBINED GRID FACTORS: 0.9994487
(9) UNITS: US SURVEY FEET

ALTA/NSPS CERTIFICATION:

TO: LISCHERONG DEVELOPMENT GROUP; CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 25, 2019.

CHARLES E. BELL
NCPLS, L-4804
cbell@rpharr.com

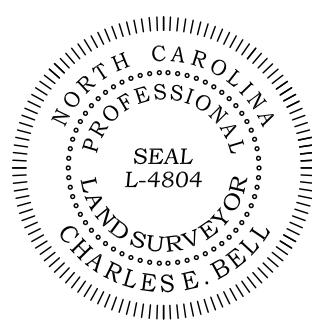
DATE

PRELIMINARY
FOR REVIEW AND APPROVAL

TOTAL AREA: 58,905SQ. FT. OR 1.3523 ACRE

REVISIONS	ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: LISCHERONG DEVELOPMENT GROUP
	1513,1515,1521, 1525, AND 1537 SOUTH MINT ST 404 WESTWOOD AVE CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C. DEED REFERENCE: 25356-701 AND 29556-49 TAX PARCEL NO: AS SHOWN HEREON
	R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING 420 HAWTHORNE LANE, CHARLOTTE, N.C. 28204 TEL: (704) 376-2186
CREW: JR/BS DRAWN: PH/CB REVISED:	SCALE: 1" = 20' DATE: AUGUST 25, 2019 FILE NO: JOB NO. 90311

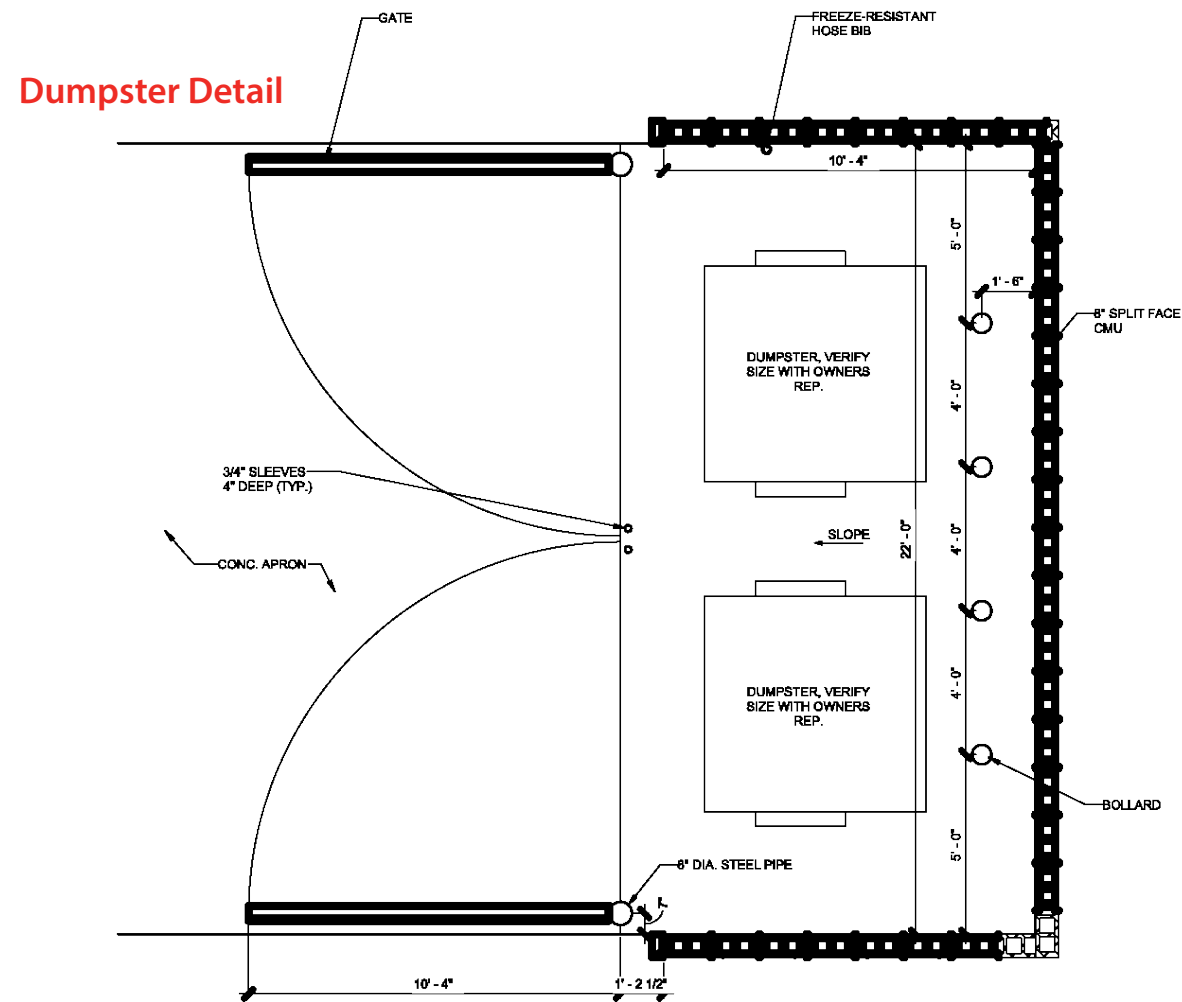
PLOTTED: 8/28/2019
G:\90311\90311\DWG\90311.DWG



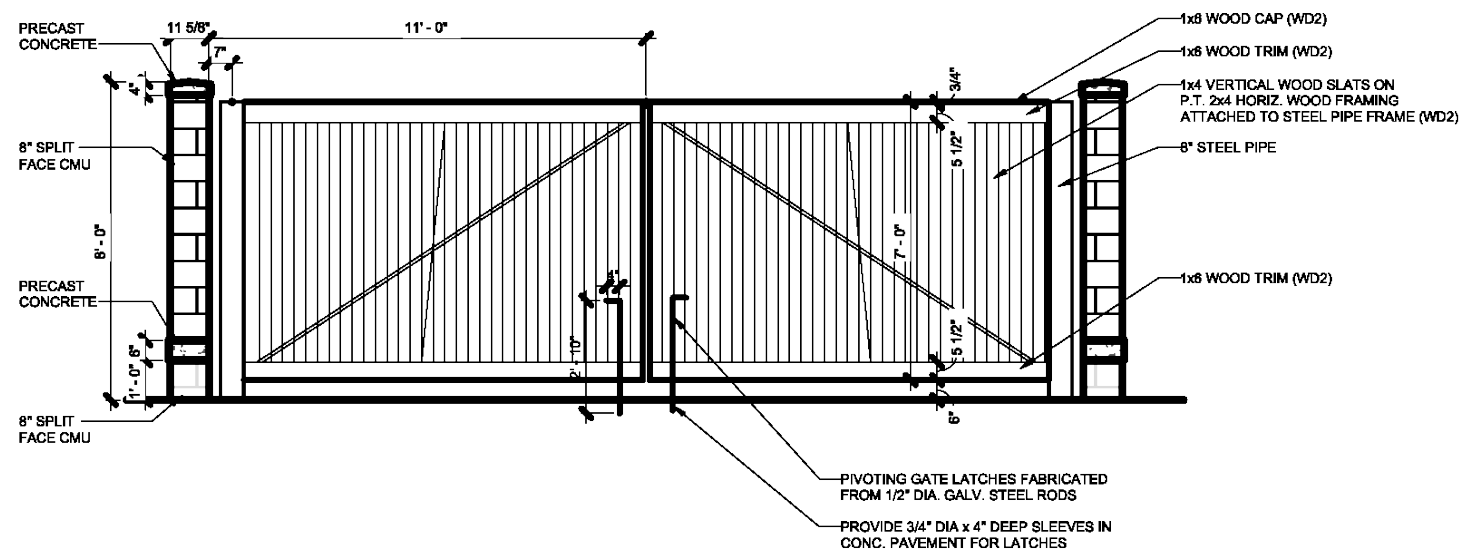
FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED SEPTEMBER 2, 2015.
MAP NUMBER: 3710454300L; ZONE X

THIS IS TO CERTIFY THAT ON THE 25 DAY OF AUGUST, 2019, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (2) NCAC 36 AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED



Front Elevation



Side Elevation

